

# CANADIAN NATIONAL RAILWAY



**LEGEND:**

	GFA
	UNIT NET AREA INTERNAL PARKING & LOADING AREAS, MECH SHAFTS, WASHROOMS, WASTE / RECYCLING ROOMS, STAFF LOCKERS / LUNCH ROOMS EXCLUDED.
	EXCLUSIVE UNIT YARD AREA

**SITE STATISTICS**

LOT:	31,718.38 m <sup>2</sup>	100.0%
BUILDING A (GFA):	8,750.68 m <sup>2</sup>	27.6%
BUILDING B (GFA):	5,686.32 m <sup>2</sup>	17.9%
PAVING & SIDEWALK:	15,887.71 m <sup>2</sup>	50.1%
LANDSCAPE:	1,393.67 m <sup>2</sup>	4.4%

**ZONING BY-LAW 108-81**  
ZONING - M(H) - SELECT INDUSTRIAL (HOLDING)

	REQUIRED	PROVIDED
MINIMUM LOT FRONTAGE	30 m	219.6 m
MINIMUM LOT AREA	0.4 ha	3.17 ha
MINIMUM FRONT YARD	36 m	38.0 m
(to C/L of JOHN STREET)		
MINIMUM REAR YARD	12 m	6.2 m
MINIMUM SIDE YARD	6.0 m	13.6 m
LOADING SPACE DIMENSIONS	3.6 m wide x 12.0 m length x 4.2 m height	
LOADING SPACE REQUIRED	(GFA > 1,860 m <sup>2</sup> - 2 SPACES / BUILDING) - 4 SPACES	
LOADING SPACE PROVIDED	4 SPACES	

**MARKHAM PARKING BY-LAW 28-97**  
 DRIVEWAY WIDTH LEADING TO A PARKING AREA OR PARKING LOT (ONE WAY) - 3.0 m  
 DRIVEWAY WIDTH LEADING TO A PARKING AREA OR PARKING LOT (TWO WAY) - 6.0 m  
 STANDARD PARKING SPACE - 2.75 m (WIDTH), 5.8 m (LENGTH)  
 ACCESSIBLE PARKING SPACE - 2.6 m (WIDTH), 5.8 m (LENGTH)  
 ACCESSIBLE PARKING SPACE ACCESS AISLE - 1.5 m WIDE ADJACENT TO PARKING AREA

**UNIT NET AREAS / PARKING SPACES**  
 INDUSTRIAL USES:  
 NET FLOOR AREA OF EACH PREMISES UP TO 1000 m<sup>2</sup> - 1 PARKING SPACE / 40 m<sup>2</sup>  
 OR PORTION THEREOF OF NET FLOOR AREA

BUILDING	UNIT	Area (m <sup>2</sup> )	Spaces
BUILDING 1	UNIT 101:	150.37	4
	UNIT 102:	71.17	2
	UNIT 103:	70.74	2
	UNIT 104:	88.77	2
	UNIT 105:	78.82	2
	UNIT 106:	72.58	2
	UNIT 107:	71.26	2
	UNIT 108:	99.21	2
	UNIT 109:	131.29	3
	UNIT 110 - 111:	278.46	7
	UNIT 112:	74.31	2
	UNIT 113 - 114:	179.28	4
UNIT 115 - 118:	611.16	13	
UNIT 119 - 121:	513.64	13	
UNIT 122:	231.66	6	
UNIT 123:	156.61	4	
UNIT 124:	159.19	4	
UNIT 125:	152.34	4	
UNIT 126 - 127:	293.55	7	
UNIT 128:	244.15	6	
BUILDING 2	UNIT 201:	293.47	7
	UNIT 202:	387.77	10
	UNIT 203:	378.49	10
	UNIT 204 - 205:	699.73	17
	UNIT 206:	599.19	15
	UNIT 207:	208.27	5
	UNIT 208:	187.58	5
	UNIT 209:	189.00	5
	UNIT 210:	150.63	4
	UNIT 211:	172.89	4
	UNIT 212:	187.60	5
	UNIT 213:	180.01	5
	UNIT 214:	390.00	10
	UNIT 215:	142.77	4
UNIT 216:	161.31	4	
UNIT 217:	194.08	5	
UNIT 218:	167.10	4	
UNIT 219:	166.62	4	
UNIT 220 - 221:	336.64	8	
UNIT 222:	353.01	9	
UNIT 223 - 224:	387.95	9	
<b>TOTAL</b>	<b>149</b>	<b>149</b>	

**PARKING STATISTICS**  
 BARRIER-FREE ACCESSIBLE PARKING 5% OF REQUIRED

	REQUIRED	PROVIDED
STANDARD SPACES	88 (BLDG 1) 142 (BLDG 2)	91 (BLDG 1) 113 (BLDG 2)
BARRIER-FREE SPACES	5 (BLDG 1) 7 (BLDG 2)	8 (BLDG 1) 8 (BLDG 2)
<b>TOTAL</b>	<b>93 (BLDG 1) 149 (BLDG 2)</b>	<b>99 (BLDG 1) 121 (BLDG 2)</b>
	<b>242</b>	<b>220</b>

NOT FOR CONSTRUCTION

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This drawing shall not be used for construction purposes unless countersigned by:  
  
 Signature: Giovanni A. Tassone

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ARCHITECT



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**ISSUE**

NO.	DATE	DESCRIPTION
2	2024.06.21	REISSUED FOR SPA
1	2024.02.26	ISSUED FOR SITE PLAN APPROVAL

SEALS

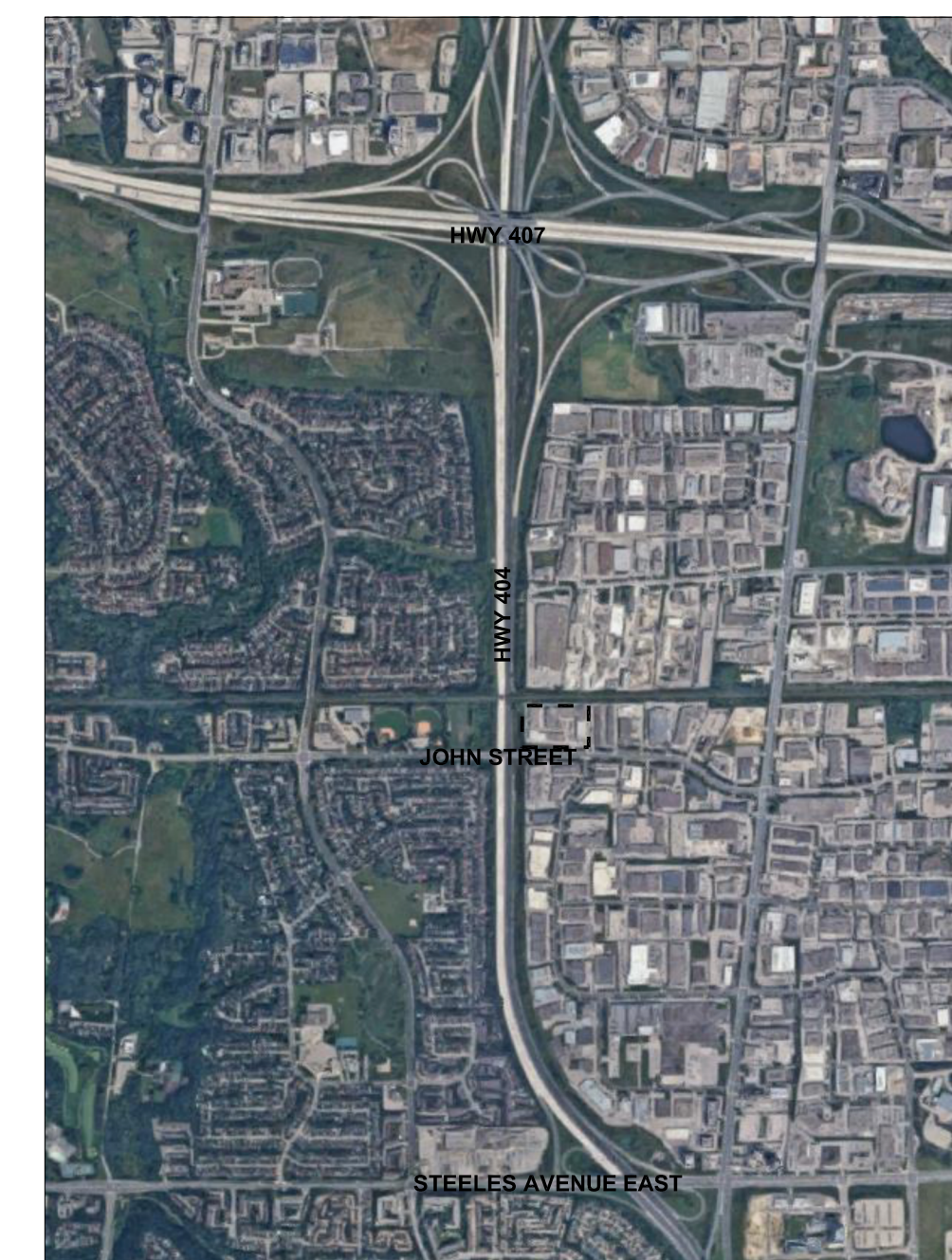
PLAN NORTH

PROJECT NUMBER & PROJECT NAME  
 24-0001 - 2600 JOHN STREET  
 MARKHAM, ONTARIO

SHEET NAME  
 SITE PLAN

PROJECT DIRECTOR  
 GIOVANNI TASSONE  
 PROJECT MANAGER  
 HOWARD AHN

QA/QC



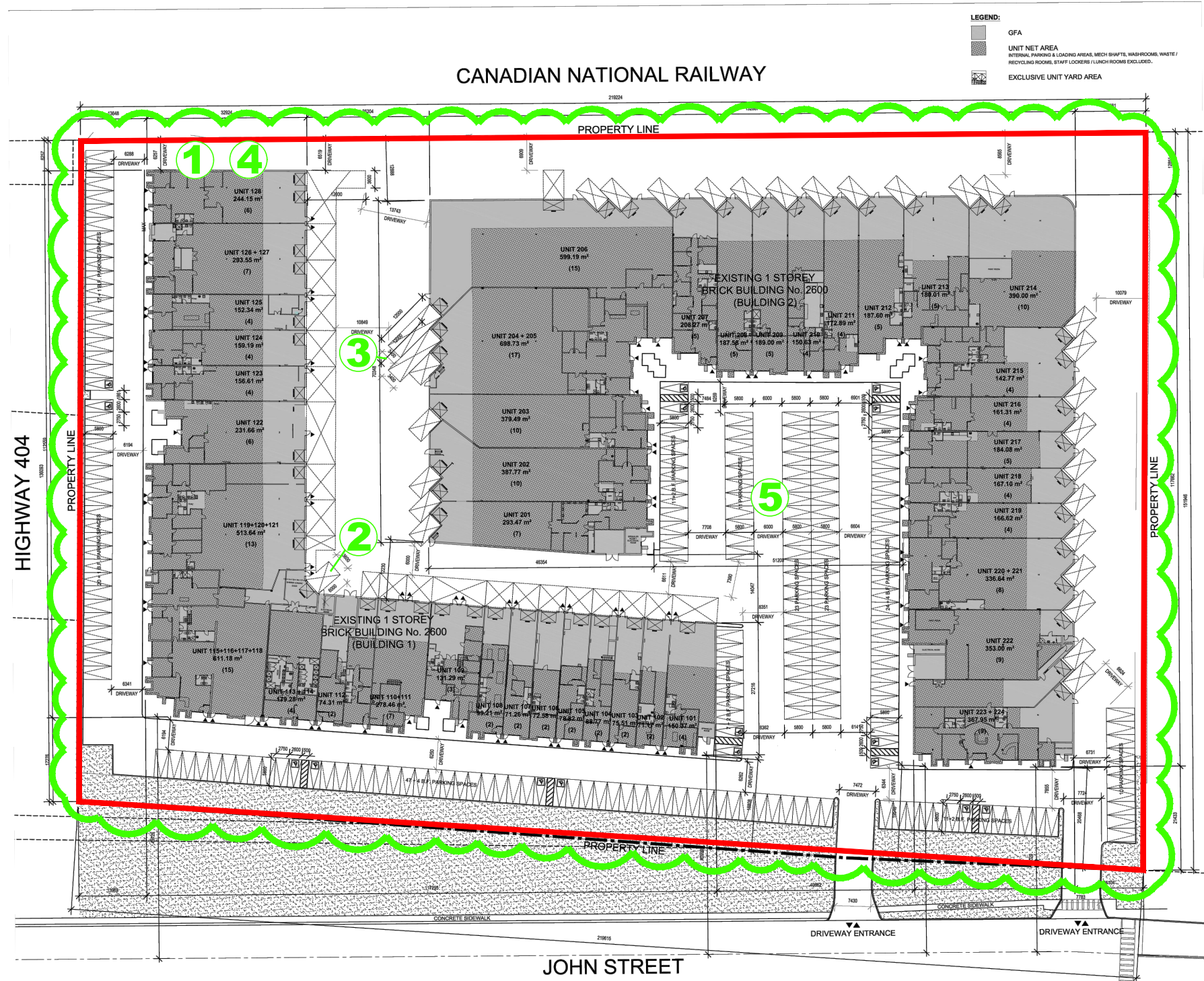
SITE PLAN  
 1:400 ②

CONTEXT PLAN  
 N.T.S. ①

SCALE  
 AS NOTED

SHEET NUMBER  
**A1.01**





**LEGEND:**  
 GFA  
 UNIT NET AREA  
 INTERNAL PARKING & LOADING AREAS, MECH. SHAFTS, WASHROOMS, WASTE / RECYCLING ROOMS, STAFF LOCKERS / LUNCH ROOMS EXCLUDED.  
 EXCLUSIVE UNIT YARD AREA

**CANADIAN NATIONAL RAILWAY**

**JOHN STREET**

**HIGHWAY 404**

Base Drawing Information is based on Site Plan Drawing prepared by Lemay Architecture & Design Ltd., dated June 21, 2024

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	<b>242</b>	<b>220</b>

**MINOR VARIANCES**

- Zoning By-law 108-81**
- To permit a minimum rear yard setback of 6.0 metres; whereas the By-law requires a minimum rear yard setback of 12.0 metres
  - To permit a loading space to have minimum length of 6.0 metres; whereas the By-law requires a loading space to have a minimum length of 12.0 metres
  - To permit a loading space to have minimum width of 3.4 metres; whereas the By-law requires a loading space to have a minimum width of 3.6 metres
- Zoning By-law 2024-19**
- To permit a minimum rear yard setback of 6.0 metres; whereas the By-law requires a minimum rear yard setback of 9.0 metres

- Parking By-law 28-97**
- To permit 215 parking spaces; whereas the By-law requires 242 parking spaces



**KEYMAP**    SUBJECT SITE    N.T.S.

- LEGEND**
- PROPERTY BOUNDARY
  - MINOR VARIANCES

**MINOR VARIANCE PLAN**  
**SITE PLAN**  
**INDUSTRIAL DEVELOPMENT**  
 John Street Industrial GP Inc., John Street Industrial LP.  
 2600 John Street  
 PCL F-1, SEC M-1707; BLK F, PL M-1707  
 City of Markham, Ontario, Ward 8  
 Plan of Condominium: 19CDM-23019  
 City of Markham File: CND0 23 141251

P.N.: 23.3268	Date: June 24, 2024
Scale: N.T.S.	Revised:
Drawn By: D.S.	File No.: PN 3268_CofA_Plan

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