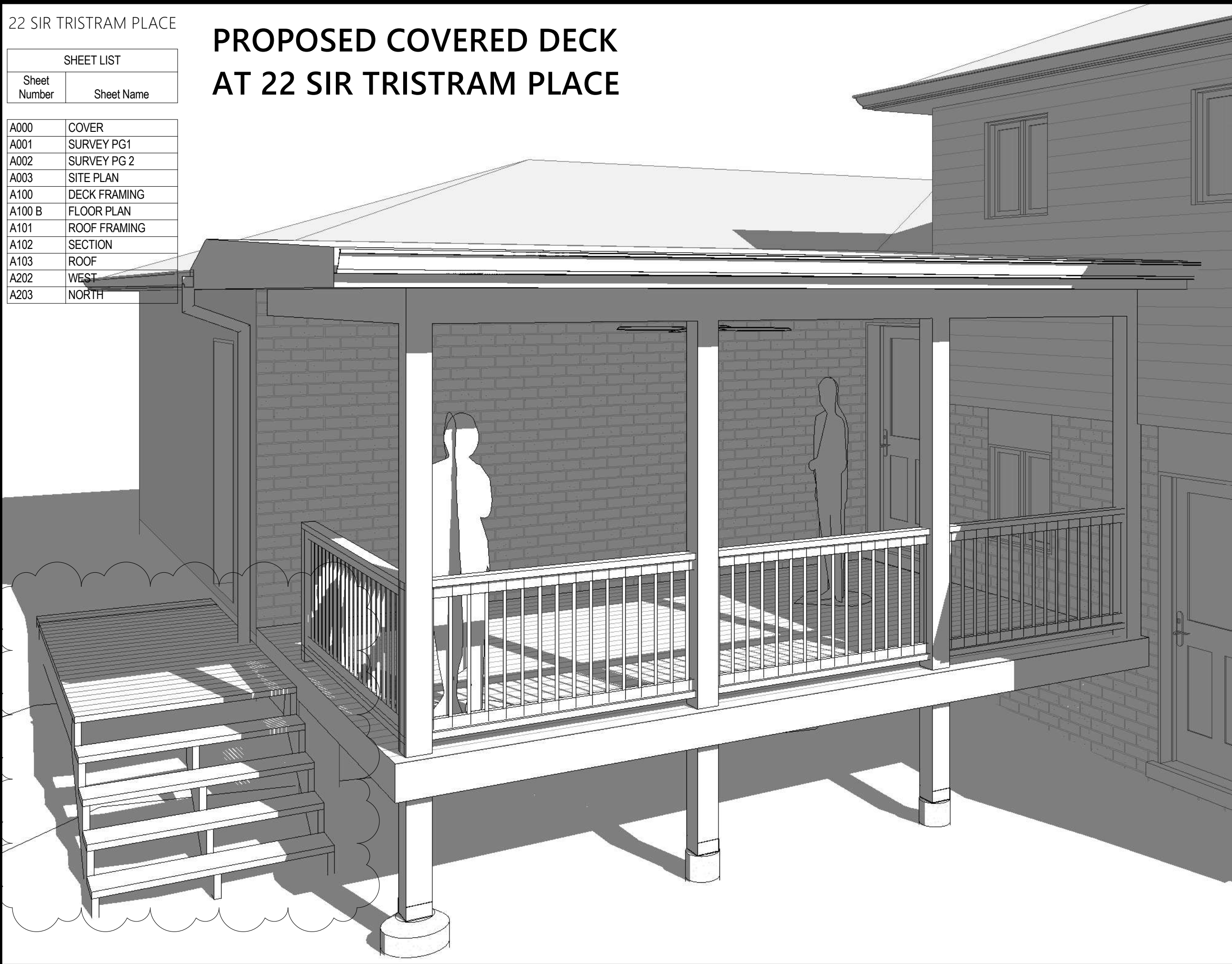


PROPOSED COVERED DECK AT 22 SIR TRISTRAM PLACE

SHEET LIST	
Sheet Number	Sheet Name
A000	COVER
A001	SURVEY PG1
A002	SURVEY PG 2
A003	SITE PLAN
A100	DECK FRAMING
A100 B	FLOOR PLAN
A101	ROOF FRAMING
A102	SECTION
A103	ROOF
A202	WEST
A203	NORTH



COVER
A000
SCALE:

4. By-Law 1229, Section 11.2

To permit an eaves encroachment of 51.2 inches; whereas the by-law allows a maximum of 18 inches

NEW STEPS IN THE SIDE YARD, REPLACEMENT OF THE EXISTING STEPS TO FACILITATE ACCESS TO THE EXISTING GARAGE AND DECK

1. By-Law 2024-19, Section 4.8.8(F)

To permit a stair or landing with a setback of 0m; whereas the bylaw permits a stair or landing no closer than 1.2m to the interior side yard.

3. By-Law 2024-19, Section 4.8.9.2(a)(i)

To permit a minimum landscaping strip of 0m; whereas the bylaw requires a minimum of 1.5m.

2. By-Law 2024-19, 6.3.2.2(I)

To permit a combined side yard of 2.52m; whereas they bylaw requires the combined side yard of 4.57m



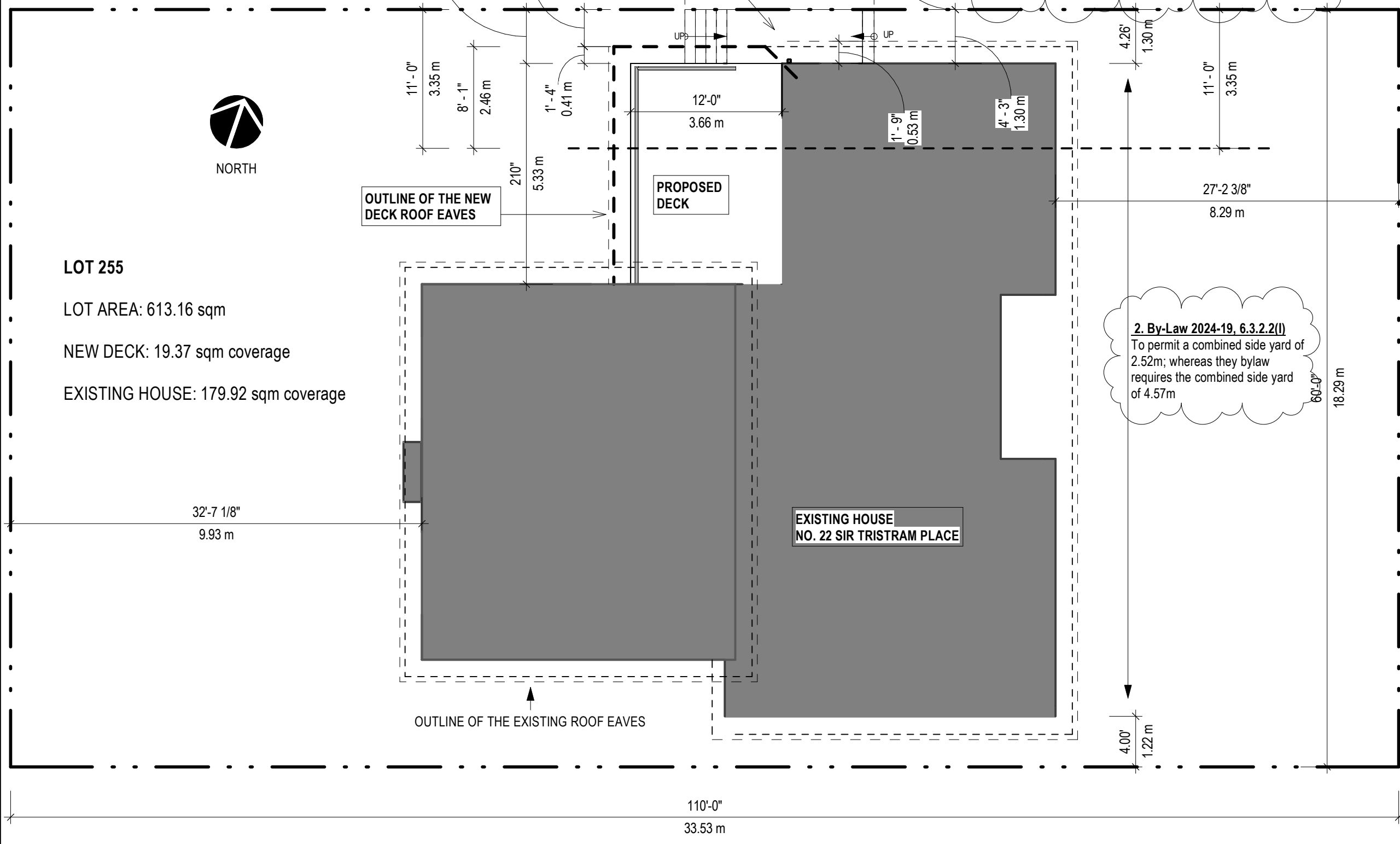
NORTH

LOT 255

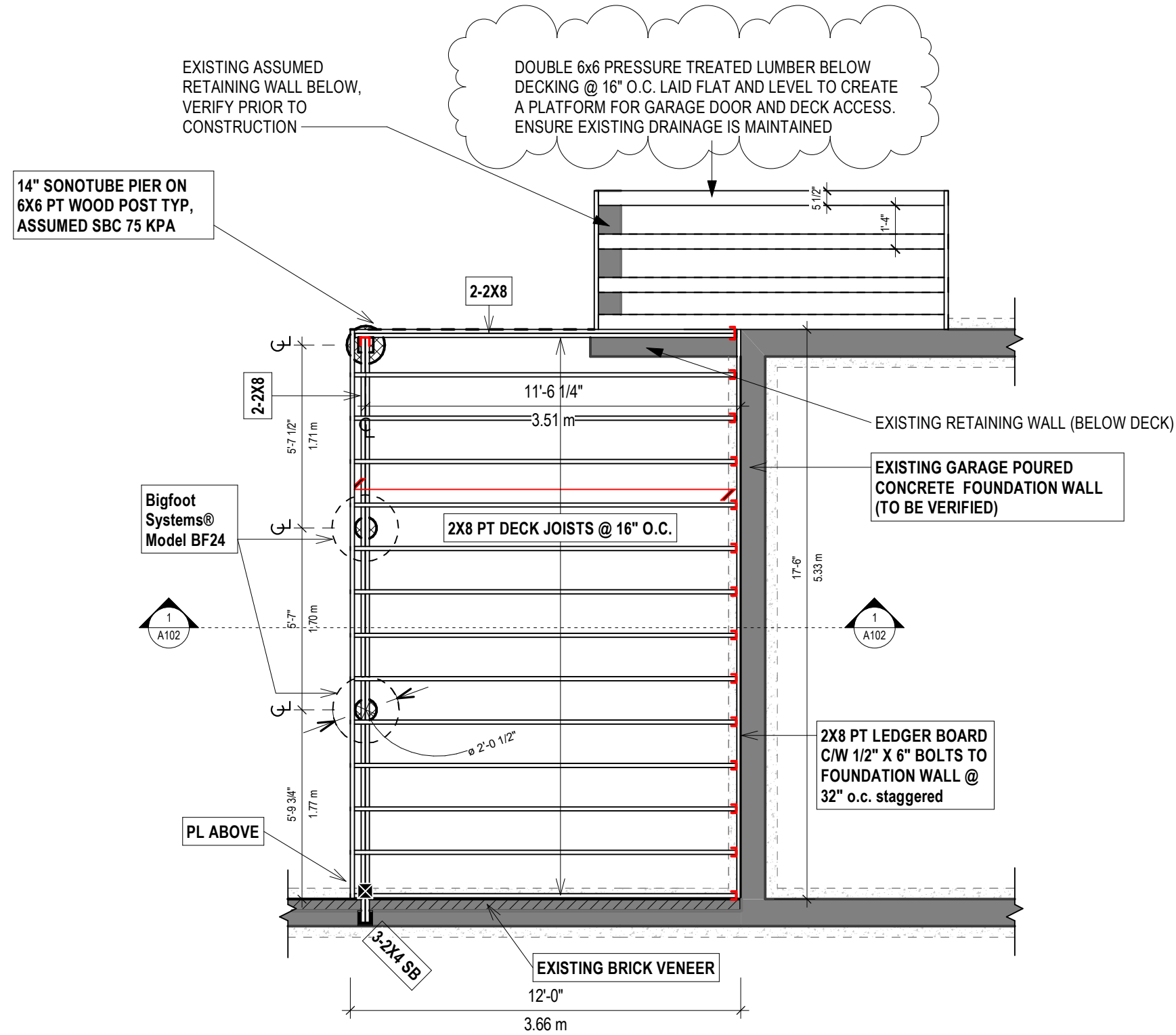
LOT AREA: 613.16 sqm

NEW DECK: 19.37 sqm coverage

EXISTING HOUSE: 179.92 sqm coverage



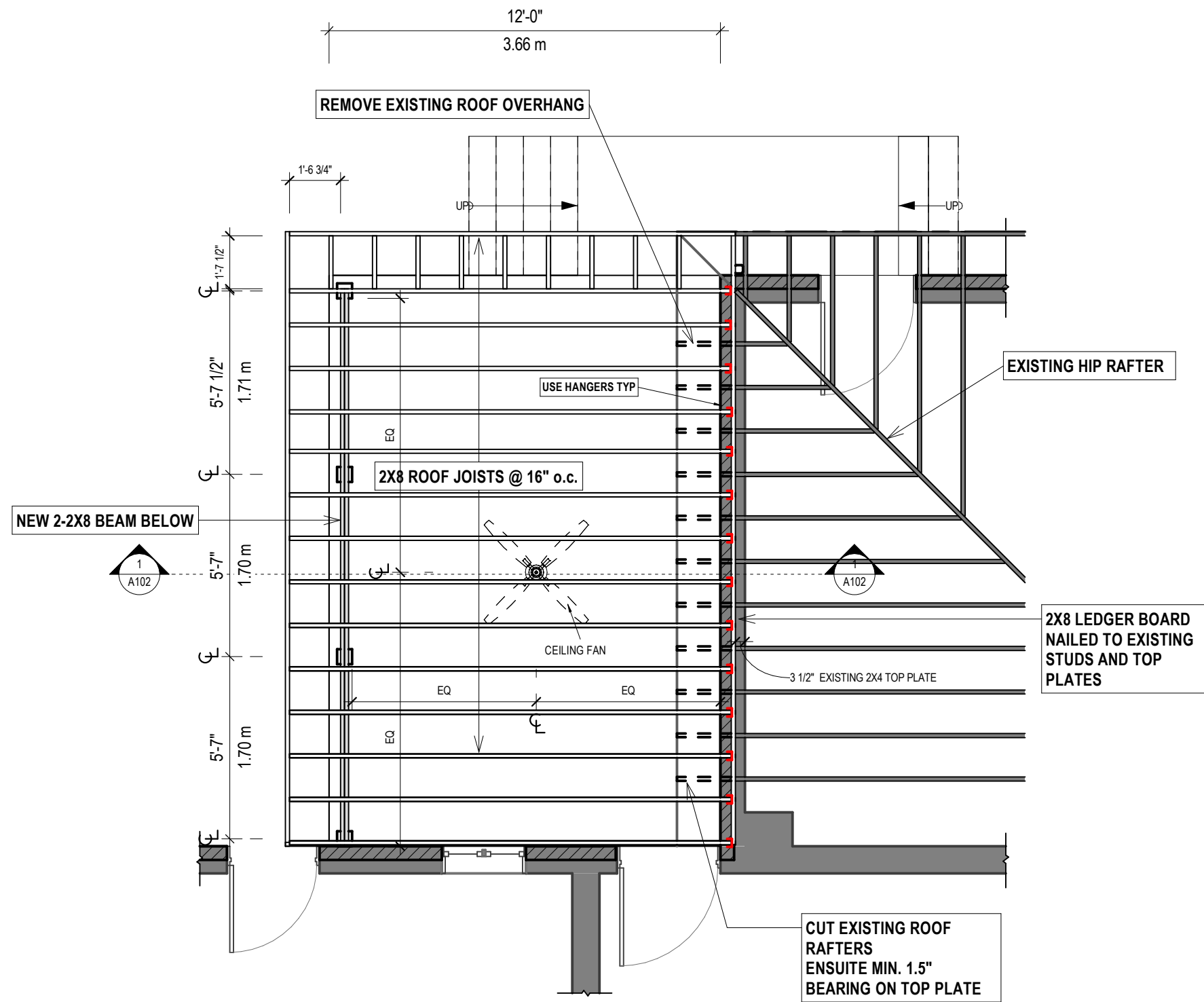
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.	
Qualification Information	
Required unless design is exempt under Div. C-3.2.5.1. of the building code	
OSREN STAMBUK	46080
Name	BCR#
Registration Information	
Required unless design is exempt under Div. C-3.2.4.1. of the building code	
STAMBUK HOMES	106172
Form Name	BCR#



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 OZREN STAMBUK *Ozren Stambuk* 46080
 Name Signature BCR#

Registration Information
 Required unless design is exempt under Div. C-3.2.4.1. of the building code
 STAMBUK HOMES 106172
 Firm Name BCR#



ROOF FRAMING
A101

SCALE: 1/4" = 1'-0"

RIPPED FURRING STRIPS
PROVIDE SLOPE AS PER PLANS TO
A NEW GUTTER

11'-6 1/4"
3.51 m

GARAGE CEILING
8'-3"
U/S GARAGE SOFFIT
7'-8 1/2"

MATCH EX. GARAGE EAVES OVERHANG

1'-4"
0.41 m
1'-7"
0.48 m

2X8 ROOF JOISTS @ 16" O.C.
+ 5/8" T&G PLYWOOD SHEATHING

REMOVE EXISTING EAVES

REMOVE EXISTING BRICK
VENEER ROW IF REQUIRED TO
MAKE ROOM FOR THE NEW
LEDGER

EXISTING 2X4 BRICK VENEER WALL

NEW 2X8 LEDGER NAILED TO EACH
STUD AND TO THE DOUBLE TOP
PLATE OF THE EXISTING WALL

UNDERSIDE OF THE NEW 2X8
LEDGER TO MATCH THE
UNDERSIDE OF THE EXISTING
GARAGE ROOF SOFFIT /
EAVES

NEW LOW SLOPE ROOF

- Approved 2 ply modified bitumen membrane or PVC membrane for walking surfaces installed as per manufacturer specification.
- 3/4" tongue and groove OSB or plywood sheathing nailed to purlins
- Purlins nailed to joists (toe nail where required) with 3-1/4" nails @ 16" o.c. ripped to provide a minimum 2% slope to a scupper, drain or eavestrough as specified on plans.
- Roof joists as per plans

PIER FOOTING AND POST

- Poured conc. footing min. 48" below grade to bear on undisturbed soil with min. 75 kPa bearing capacity
- 6x6 pressure treated wood post connected w/ metal post anchor embedded min. 4" into top of pier

2X8 PRESSURE TREATED FLOOR JOISTS @ 16" O.C.
+ 5/4" X 6" PRESSURE TREATED DECKING

12'-0"
3.66 m

EXISTING GARAGE INTERIOR

5 1/2"

LEDGER CONNECTION

- 2x8 wood ledger (pressure treated for exterior applications)
- Attached to the solid concrete wall w/ 6" x 1/2" diameter sleeve anchors @ 32" o.c.

EXISTING
CONCRETE
FOUNDATION WALL
(verify for ledger
attachment)

ASSUMED SOIL BEARING CAPACITY 75 KPA

MINIMUM
4'-0"

1.22 m

11'-6 1/4"
3.51 m

Bigfoot Systems® Model BF24

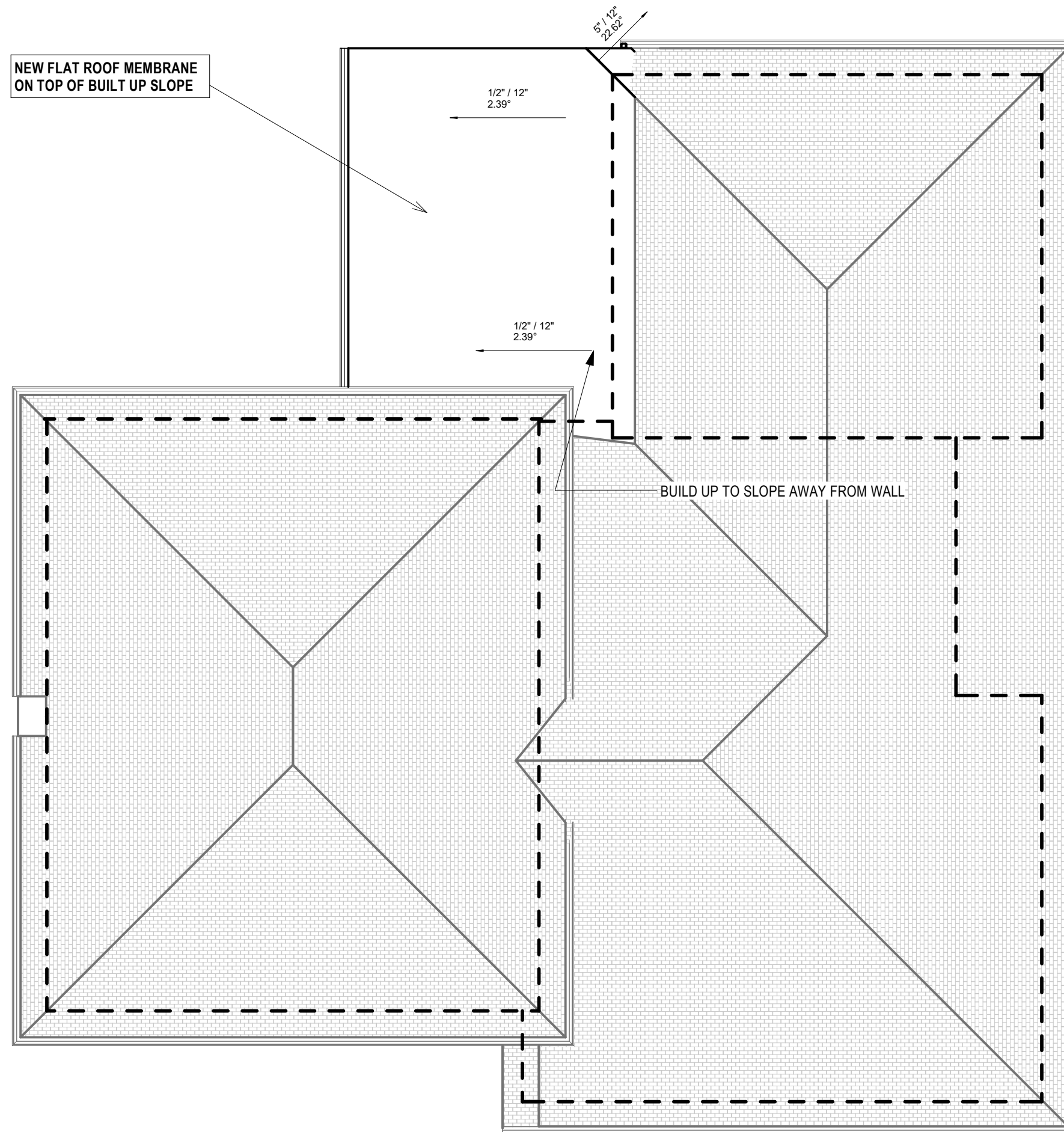
25 1/2"

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OSREN STAMBUK	46080
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Registration Information	
Required unless design is exempt under Div. C-3.2.4.1. of the building code	
STAMBUK HOMES	106172
Firm Name	BCR#

SECTION
A102

SCALE: 1/2" = 1'-0"



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Name	BCR#
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STAMBUK HOMES	106172
Firm Name	BCR#



T/O ROOF
19'-0"

CLG. 2
13'-2 11/16"

U/S GARAGE SOFFIT
7'-8 1/2"

2 --- SECOND FLOOR
5'-2 11/16"

1 --- FIRST FLOOR
CLG. 0
-10"

0.5 --- GROUND
-3'-3"

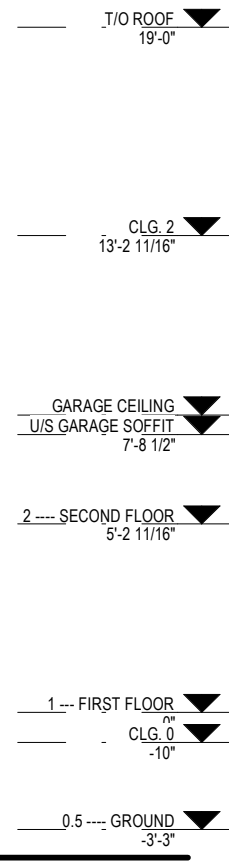
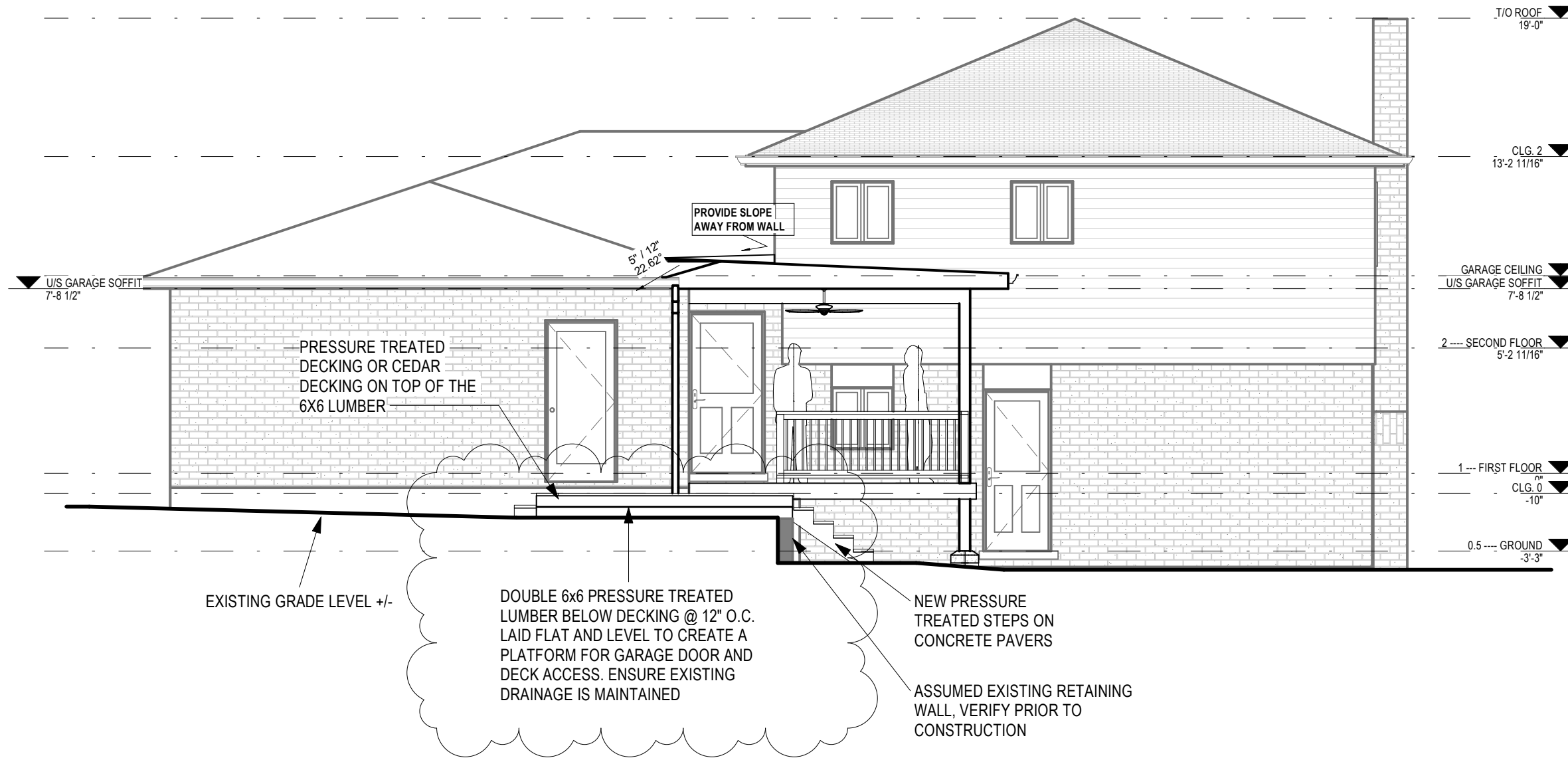
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 OZREN STAMBUK *Ozren Stambuk* 46080
 Name Signature BCRC

Registration Information
 Required unless design is exempt under Div. C-3.2.4.1. of the building code
 STAMBUK HOMES 106172
 Firm Name BCRC

WEST
A202

SCALE: 3/16" = 1'-0"



STAIRS, GUARDS AND HANDRAILS

STAIR MAXIMUMS:
 Rise = 7-7/8" (200 mm)
 Run = 14" (355 mm)
 Tread = 14" (355 mm)
 Nosing = 1" (25 mm)

STAIR MINIMUMS:
 Stair width interior = 2'-10"
 Stair width exterior = 3'-0"
 Rise = 5" (125 mm)
 Run = 10"
 Tread = 11"
 Headroom = 6'-4 3/4" (1950 mm)
 Landing width turning > 90° = 2'-10"
 Landing width turning < 90° = 3' 7-1/2"

GUARDS AND RAILINGS

Min. Height interior @ LANDING = 3'-0" (900 mm)
 Min. Height when over 5'-11" above adjacent surface = 3' 6-1/8" (1070 mm)
 Min. Heights when 10m above adjacent ground = 1500 mm
 Max. Space between pickets = 4"
 No member to facilitate climbing between 7" and 34"

HANDRAILS

Max. Height above nosing = 42" (1070 mm)
 Min. Height above nosing = 2'-10" (865 mm)
 Max. Distance of supports in wall = 48" o.c. (1200 mm)
 Max Distance of last support from end of rail = 11"
 Min. Clearance to wall = 2" from smooth surfaces
 Max. Projection into width of stair = 4" (100 mm)

A handrail is not required for stairs and ramps serving a house or an individual dwelling unit, where,
 (a) interior stairs have not more than two risers,
 (b) exterior stairs have not more than three risers, or
 (c) ramps rise not more than 400 mm.
 Only one handrail is required on exterior stairs having more than three risers, provided such stairs serve a house or an individual dwelling unit

For stairs or ramps serving a house or an individual dwelling unit, at least one required handrail shall be continuous throughout the length of the stair or ramp, except where interrupted by,
 (a) doorways,
 (b) landings, or
 (c) newel posts at changes in direction.

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Qualification Information	
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Name: OZREN STAMBUK	BCR#: 46080
Signature: <i>Ozren Stambuk</i>	
Registration Information	
Required unless design is exempt under Div. C-3.2.4.1. of the building code	
STAMBUK HOMES	106172
Form Name:	BCR#:

**NORTH
A203**

SCALE: 3/16" = 1'-0"

July 16, 2024
Page 11 of 11

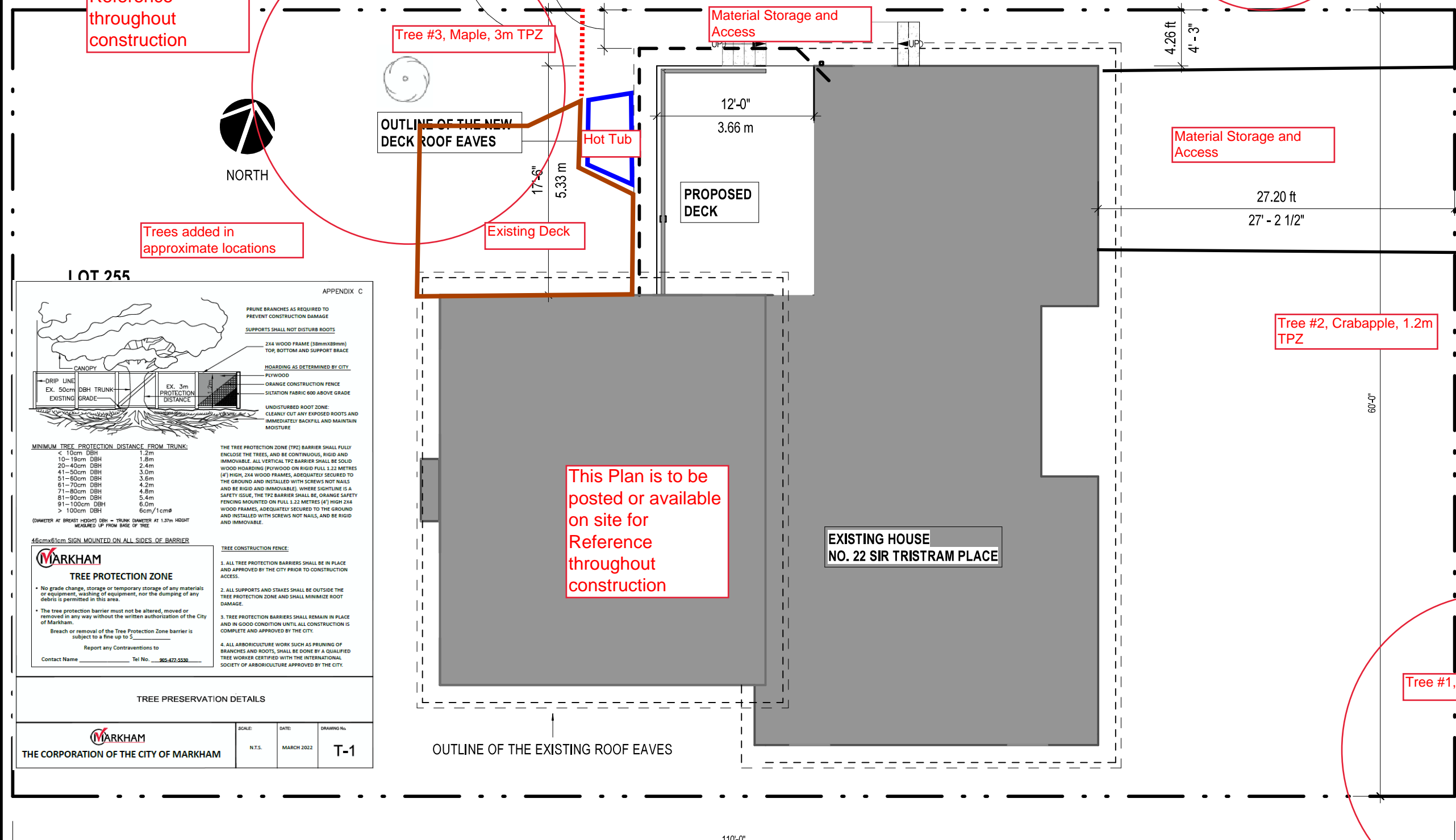
Tree Protection Plan, Appendix "A"
To be read in conjunction with Arborist
Report, July 16, 2024 by P & A Urban Forestry Consulting Ltd.
info@paurbanforestryconsulting.com

This Plan is to be posted or available on site for Reference throughout construction

Tree Legend

..... Vertical Tree Protection

○ Tree Protection Zone



Trees added in approximate locations

This Plan is to be posted or available on site for Reference throughout construction

Trees added in approximate locations

LOT 255

APPENDIX C

PRUNE BRANCHES AS REQUIRED TO PREVENT CONSTRUCTION DAMAGE

SUPPORTS SHALL NOT DISTURB ROOTS

2x4 WOOD FRAME (38mmx89mm) TOP, BOTTOM AND SUPPORT BRACE

HOARDING AS DETERMINED BY CITY

PLYWOOD

ORANGE CONSTRUCTION FENCE

SILTATION FABRIC 600 ABOVE GRADE

UNDISTURBED ROOT ZONE: CLEARLY CUT ANY EXPOSED ROOTS AND IMMEDIATELY BACKFILL AND MAINTAIN MOISTURE

MINIMUM TREE PROTECTION DISTANCE FROM TRUNK:	
< 10cm DBH	1.2m
10 - 19cm DBH	1.8m
20 - 40cm DBH	2.4m
41 - 50cm DBH	3.0m
51 - 60cm DBH	3.6m
61 - 70cm DBH	4.2m
71 - 80cm DBH	4.8m
81 - 90cm DBH	5.4m
91 - 100cm DBH	6.0m
> 100cm DBH	6cm/1cm ϕ

(DIAMETER AT BREAST HEIGHT) DBH = TRUNK DIAMETER AT 1.37m HEIGHT MEASURED UP FROM BASE OF TREE

46cmx61cm SIGN MOUNTED ON ALL SIDES OF BARRIER

MARKHAM

TREE PROTECTION ZONE

- No grade change, storage or temporary storage of any materials or equipment, washing of equipment, nor the dumping of any debris is permitted in this area.
- The tree protection barrier must not be altered, moved or removed in any way without the written authorization of the City of Markham.

Breach or removal of the Tree Protection Zone barrier is subject to a fine up to \$5,000.

Report any Contraventions to: _____

Contact Name: _____ Tel No: 905-477-5338

TREE CONSTRUCTION FENCE

- ALL TREE PROTECTION BARRIERS SHALL BE IN PLACE AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION ACCESS.
- ALL SUPPORTS AND STAKES SHALL BE OUTSIDE THE TREE PROTECTION ZONE AND SHALL MINIMIZE ROOT DAMAGE.
- TREE PROTECTION BARRIERS SHALL REMAIN IN PLACE AND IN GOOD CONDITION UNTIL ALL CONSTRUCTION IS COMPLETE AND APPROVED BY THE CITY.
- ALL ARBORICULTURE WORK SUCH AS PRUNING OF BRANCHES AND ROOTS, SHALL BE DONE BY A QUALIFIED TREE WORKER CERTIFIED WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE APPROVED BY THE CITY.

TREE PRESERVATION DETAILS

SCALE: N.T.S. DATE: MARCH 2022 DRAWING No: T-1

THE CORPORATION OF THE CITY OF MARKHAM

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Qualification Information

Required unless design is exempt under Div. C-3.2.5.1 of the building code

OZREN STAMBUK Signature: [Signature] 46080 BCN

Registration Information

Required unless design is exempt under Div. C-3.2.4.1 of the building code

STAMBUK HOMES 06172 BCN

Tree Protection to be installed prior to any construction activity and subject to review by City staff.
No construction is permitted until city approval of installation and no work to take place within tree hoarding and TPZs and to remain for the duration of work, and that no debris, material and fill is permitted within the hoarding.
The owner/contractor to contact the City seeking permission to remove the Tree protection barrier when grading/sodding stage is reached.
No tree protection barriers to be moved, altered, or removed without permission of the City of Markham Urban Forestry Section.