

PART 1
PLAN 65R-4027

PART 2
PLAN 65R-4027

PART 1, PLAN 65R-4307

PART 2, PLAN 65R-4307

2368

PART 3
PLAN 65R-4307

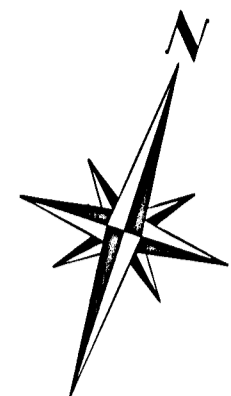
PART 1

PART 2

PLAN

REGISTERED

CLARK AVENUE
(BY REGISTERED PLAN 2368)



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 65R-38829

RECEIVED AND DEPOSITED

DATE January 30, 2020

DATE February 24, 2020

Z. ZENG

C. Boyle

Z. ZENG
ONTARIO LAND SURVEYOR

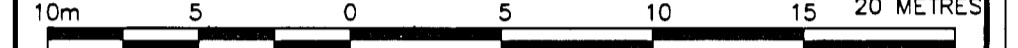
REPRESENTATIVE FOR THE
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF YORK REGION (No. 65)

SCHEDULE

PART	ALL OF LOT	REGISTERED PLAN	ALL OF PIN	AREA(m ²)
1				929.0
2	86	2368	03024-0085(LT)	929.0

PLAN OF SURVEY OF
LOT 86, REGISTERED PLAN 2368
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

SCALE 1:250



MANDARIN SURVEYORS LIMITED, O.L.S.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- RIB DENOTES ROUND IRON BAR
- WT DENOTES WITNESS
- RP DENOTES REGISTERED PLAN 2368
- P1 DENOTES PLAN OF SURVEY BY W.S. WINTERS, O.L.S. DATED JULY 14, 1955
- P2 DENOTES PLAN OF SURVEY BY P. SALNA, O.L.S. DATED OCTOBER 26, 1981
- P3 DENOTES PLAN 65R-4307
- P4 DENOTES PLAN 65R-4027
- CAL'C DENOTES CALCULATED BY P3 & P4
- 921 DENOTES P. SALNA COMPANY LTD., O.L.S.
- 1160 DENOTES ROBERT N. CLARKE, O.L.S.
- C.N.R. DENOTES CANADIAN NATIONAL RAILWAYS
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
- B.F. DENOTES BOARD FENCE
- M DENOTES MEASURED
- SCP DENOTES SPECIFIED CONTROL POINTS
- WT DENOTES WITNESS

NOTES

BEARINGS ARE U.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS 092053073 AND 092053076, U.T.M. ZONE 17, NAD83
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99977717

SPECIFIED CONTROL POINTS (SCP's)		
U.T.M. ZONE 17, NAD83		
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG.216/10		
POINT ID	NORTHING	EASTING
SCP 092053073	4851969.098	627856.116
SCP 092053076	4852063.511	628143.693
1	4852220.31	628373.13
2	4852191.32	628382.53
3	4852201.45	628315.17

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON THE 30th DAY OF JANUARY, 2020

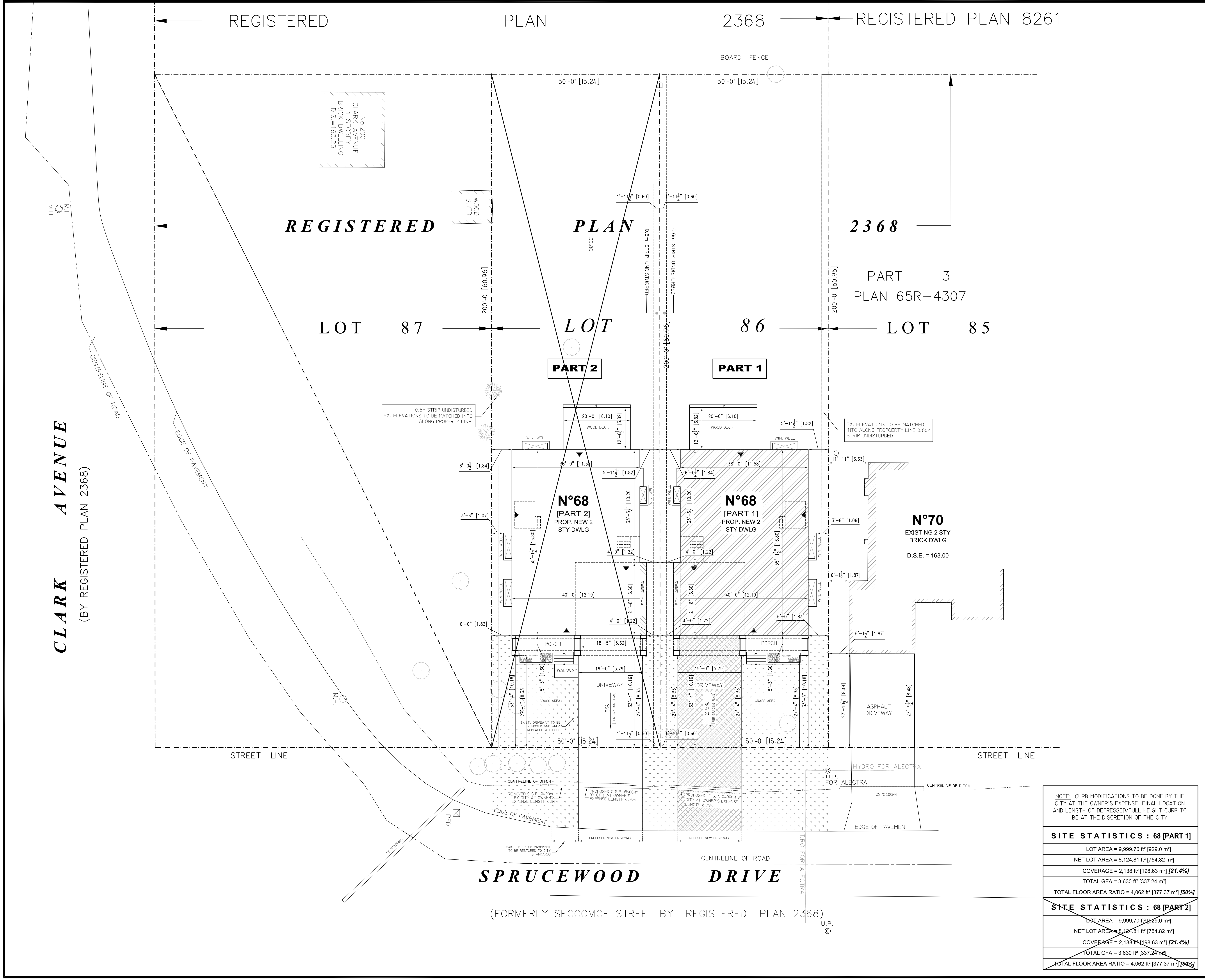
January 30, 2020
DATE

Z. ZENG
ONTARIO LAND SURVEYOR



MANDARIN SURVEYORS LIMITED
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR

42 RAVENCLIFF CRESCENT PHONE: (647)430-1366 FAX: (647)799-4068
TORONTO, ONTARIO, M1T 1R8 E-MAIL: MANDARINSURVEYOR@GMAIL.COM



CLARK AVENUE
(BY REGISTERED PLAN 2368)

SPRUCEWOOD DRIVE

(FORMERLY SECCOMOE STREET BY REGISTERED PLAN 2368)

NOTE: CURB MODIFICATIONS TO BE DONE BY THE CITY AT THE OWNER'S EXPENSE. FINAL LOCATION AND LENGTH OF DEPRESSED/FULL HEIGHT CURB TO BE AT THE DISCRETION OF THE CITY

SITE STATISTICS : 68 [PART 1]
LOT AREA = 9,999.70 ft ² [929.0 m ²]
NET LOT AREA = 8,124.81 ft ² [754.82 m ²]
COVERAGE = 2,138 ft ² [198.63 m ²] [21.4%]
TOTAL GFA = 3,630 ft ² [337.24 m ²]
TOTAL FLOOR AREA RATIO = 4.062 ft ² [377.37 m ²] [50%]
SITE STATISTICS : 68 [PART 2]
LOT AREA = 9,999.70 ft ² [929.0 m ²]
NET LOT AREA = 8,124.81 ft ² [754.82 m ²]
COVERAGE = 2,138 ft ² [198.63 m ²] [21.4%]
TOTAL GFA = 3,630 ft ² [337.24 m ²]
TOTAL FLOOR AREA RATIO = 4.062 ft ² [377.37 m ²] [50%]

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ISSUES:

No.	Date	Description

REVISIONS:

No.	Date	Description

Rubinoff Design Group
18 - 400 Gloucester Lane,
Toronto, Ontario, M4Y 1L5
TEL. 416.667-0322 FAX.416.667.0751 EMAIL. info@rubinoffdesign.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE

GLENN RUBINOFF 22370
NAME SIGNATURE BCIN/BCDN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE

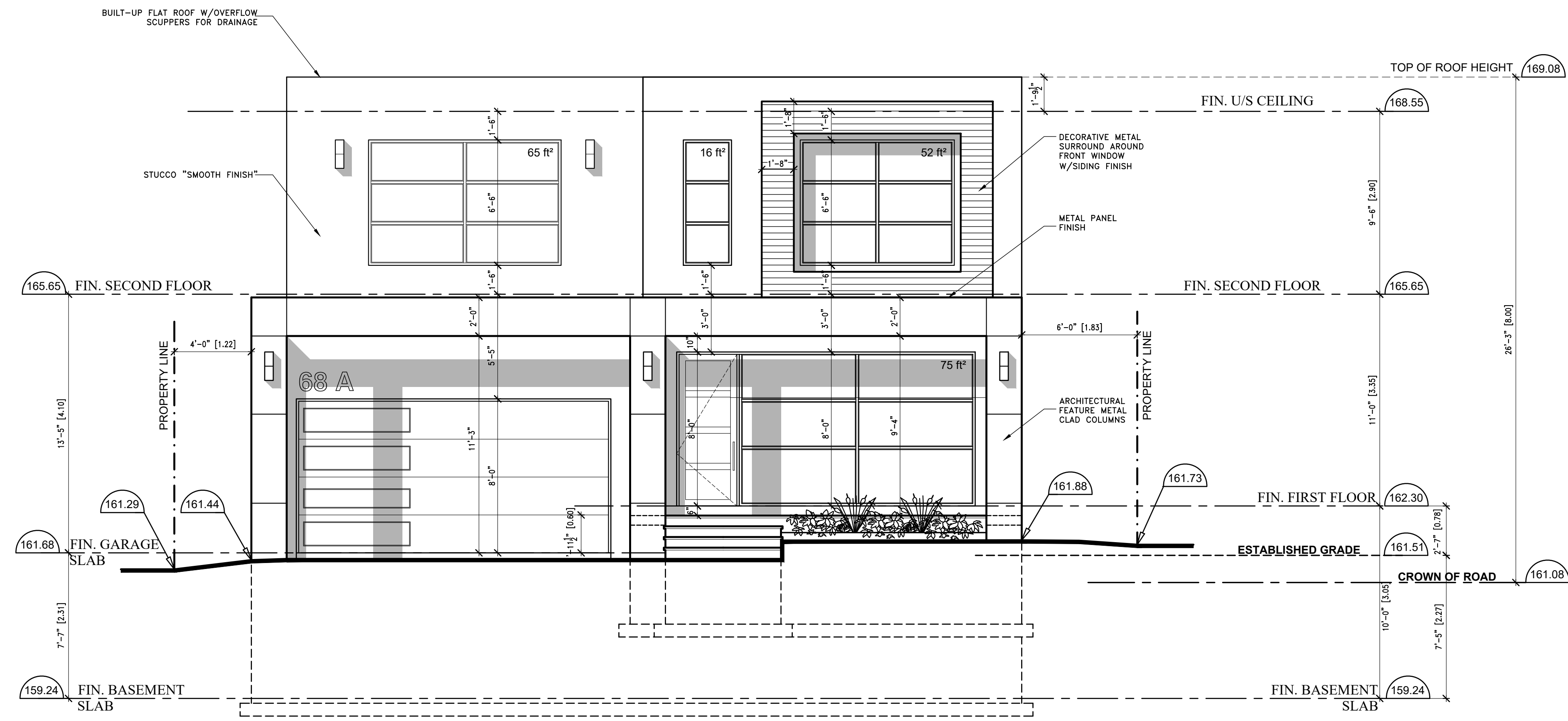
RUBINOFF DESIGN GROUP 27293
FIRM NAME BCIN/BCDN

CLIENT: **PRIVATE RESIDENCE**

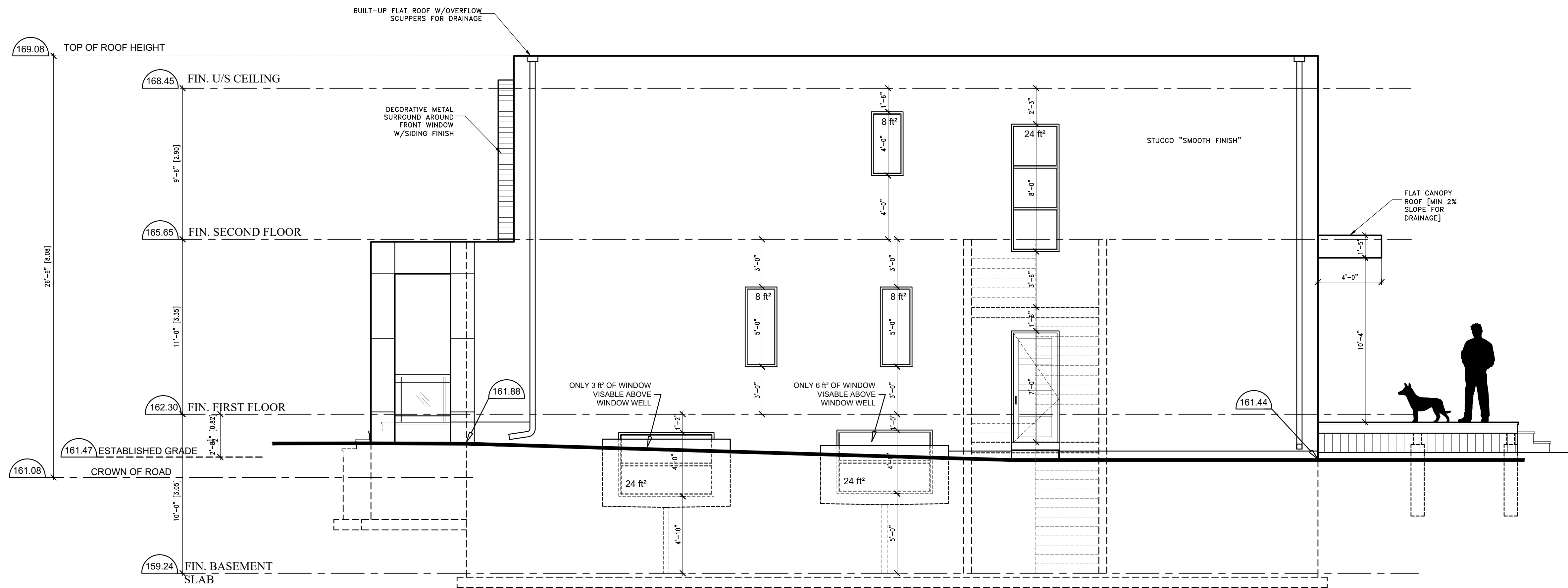
PROJECT: **68 SPRUCEWOOD DR [PTS 1 & 2]
MARKHAM, ONTARIO**

DRAWING: **SITE PLAN**

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.
DRAWN BY: P. NARANJO	DATE: SEPT/15/2022	A
CHECKED BY: G. R.	SCALE: 1 : 150	



FRONT ELEVATION
68 SPRUCEWOOD AVENUE [PT 1]
EAST SIDE ORIENTATION



RIGHT SIDE ELEVATION
68 SPRUCEWOOD AVENUE [PT 1]
NORTH SIDE ORIENTATION

LIMITING DISTANCE CALCULATION, (1.83m)
WALL FACE AREA = 1355 ft²
7% WINDOW ALLOWANCE = 94.85 ft²
WINDOW AREAS [57 x 0.9] = 51.30 ft²

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1	AUG/17/2022	SUBMITTED FOR ZONING REVIEW ONLINE
2	SEPT/22/2022	SENT REV. PLANS TO ENGINEER FOR REVIEW & STAMP

REVISIONS:		
No.	Date	Description
1	SEPT/06/2022	REVISED PORCH TO BE OPEN ABOVE TO COMPLY
2	OCT/04/2022	MADE COLD ROOM UNDER PORCH UNEXCAVATED
3	OCT/25/2022	APPROVED PLANS SENT TO ENG FOR REVIEW & STAMP

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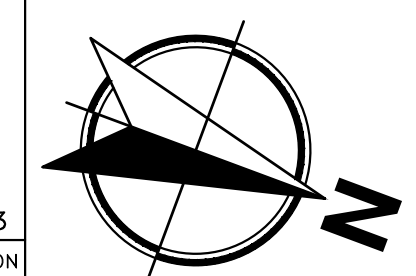
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FIRM NAME BCIN/BCDN

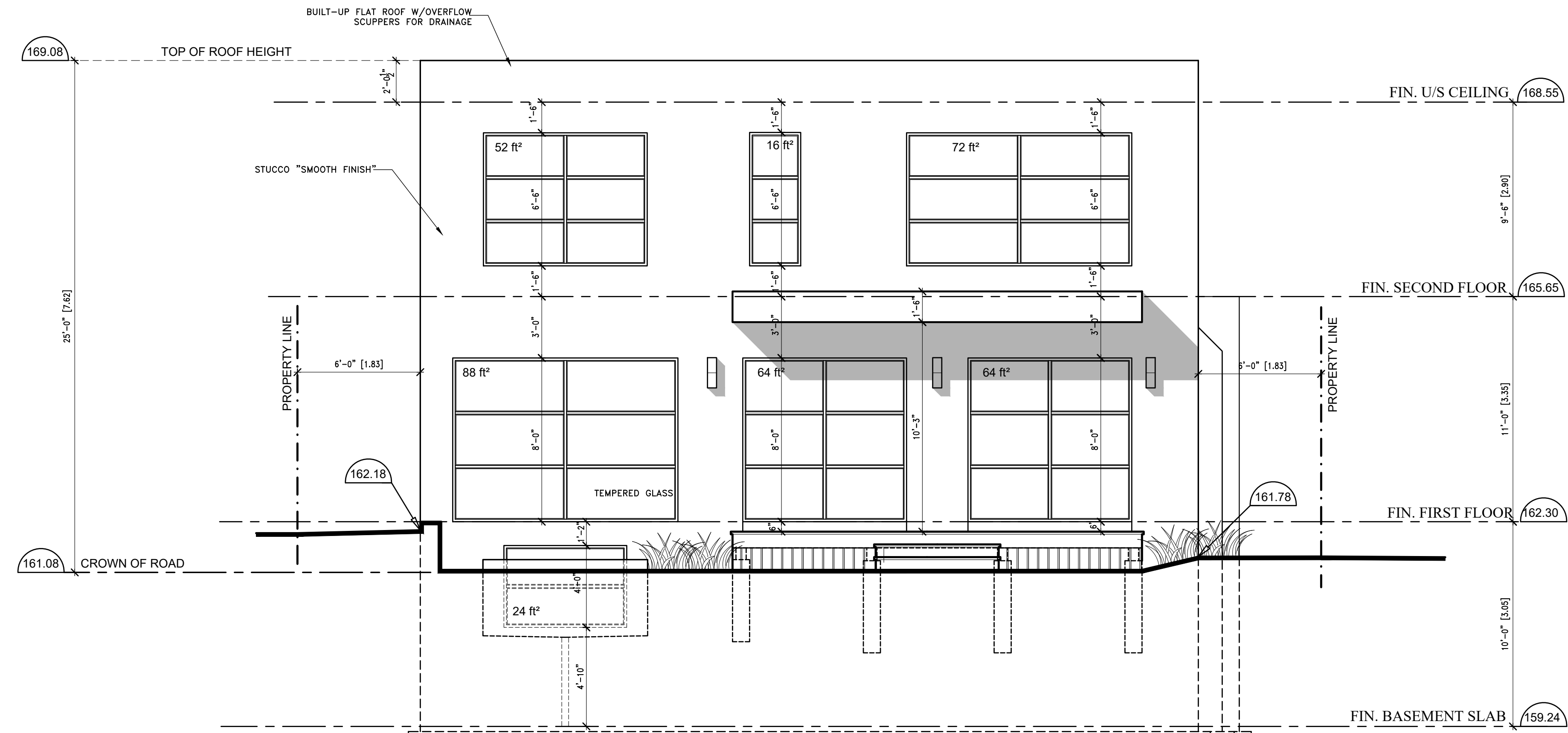


CLIENT: **PRIVATE RESIDENCE**

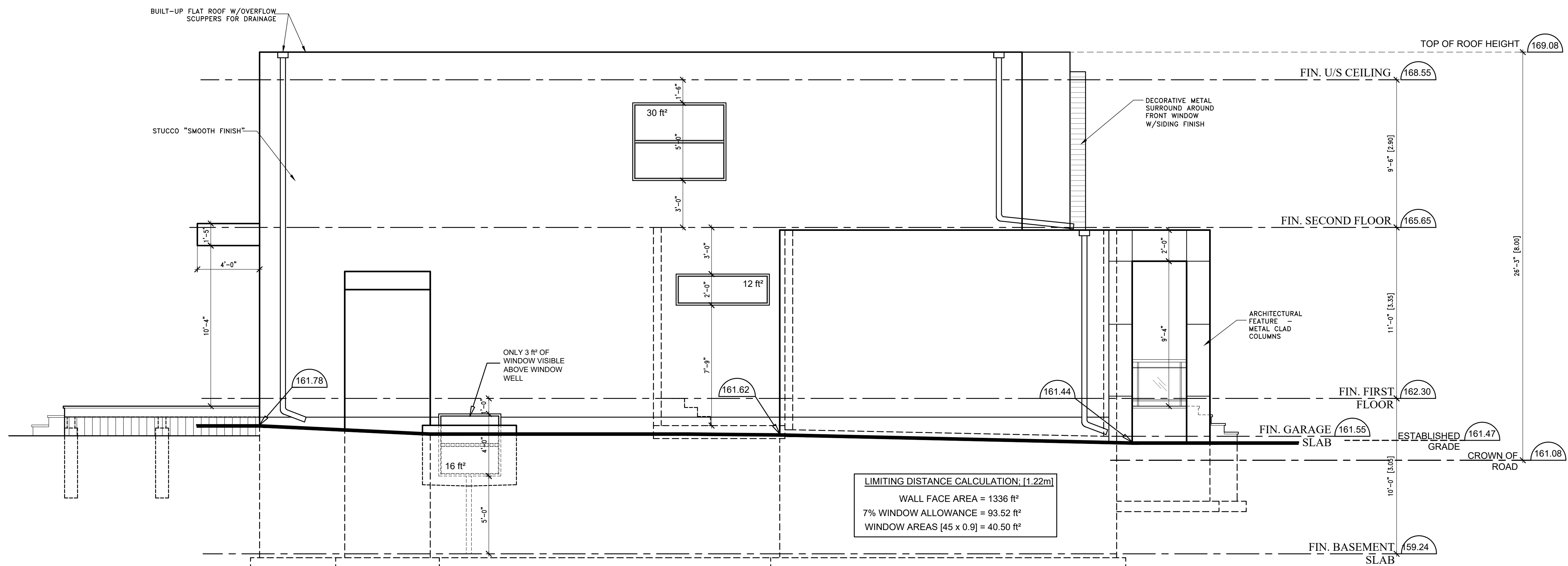
PROJECT: **68 SPRUCEWOOD DR [PT 1]
MARKHAM, ONTARIO**

DRAWING: **PROPOSED NEW FRONT
& RIGHT SIDE ELEVATIONS**

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO. A4
DRAWN BY: P. NARANJO	DATE: OCT/25/2022	
CHECKED BY: G. R.	SCALE: 1/4" = 1'-0"	



REAR ELEVATION
68 SPRUCEWOOD AVENUE [PT 1]
WEST SIDE ORIENTATION



LEFT SIDE ELEVATION
68 SPRUCEWOOD AVENUE [PT 1]
SOUTH SIDE ORIENTATION

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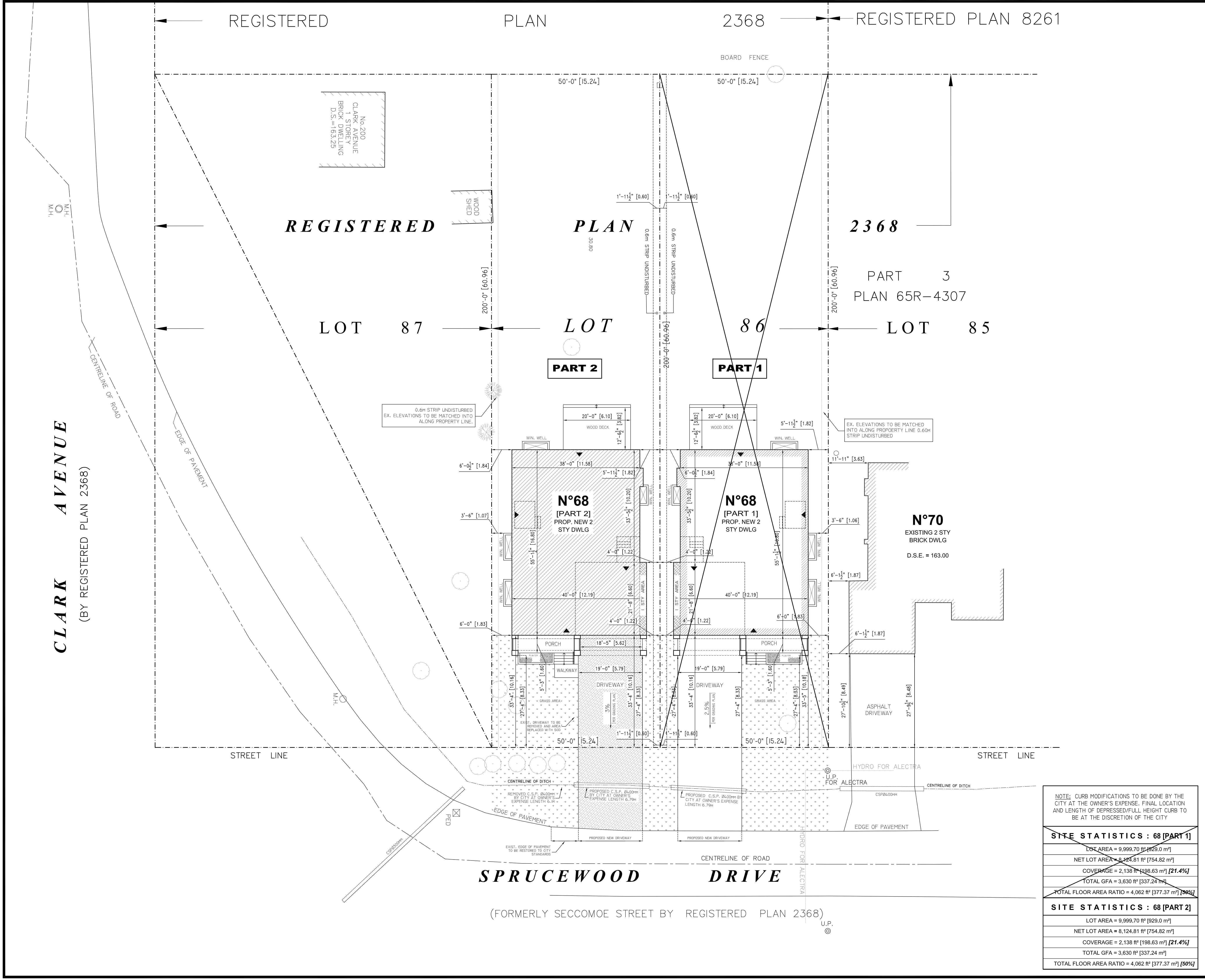
RUBINOFF DESIGN GROUP 27293
FIRM NAME BCIN/BCDN

CLIENT: **PRIVATE RESIDENCE**

PROJECT: **68 SPRUCEWOOD DR [PT 1]
MARKHAM, ONTARIO**

DRAWING: **PROPOSED NEW REAR
& LEFT SIDE ELEVATIONS**

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.
DRAWN BY: P. NARANJO	DATE: OCT/25/2022	A5
CHECKED BY: G. R.	SCALE: 1/4" = 1'-0"	



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RUBINOFF DESIGN GROUP 27293
 FIRM NAME BCIN/BCDN

CLIENT: **PRIVATE RESIDENCE**

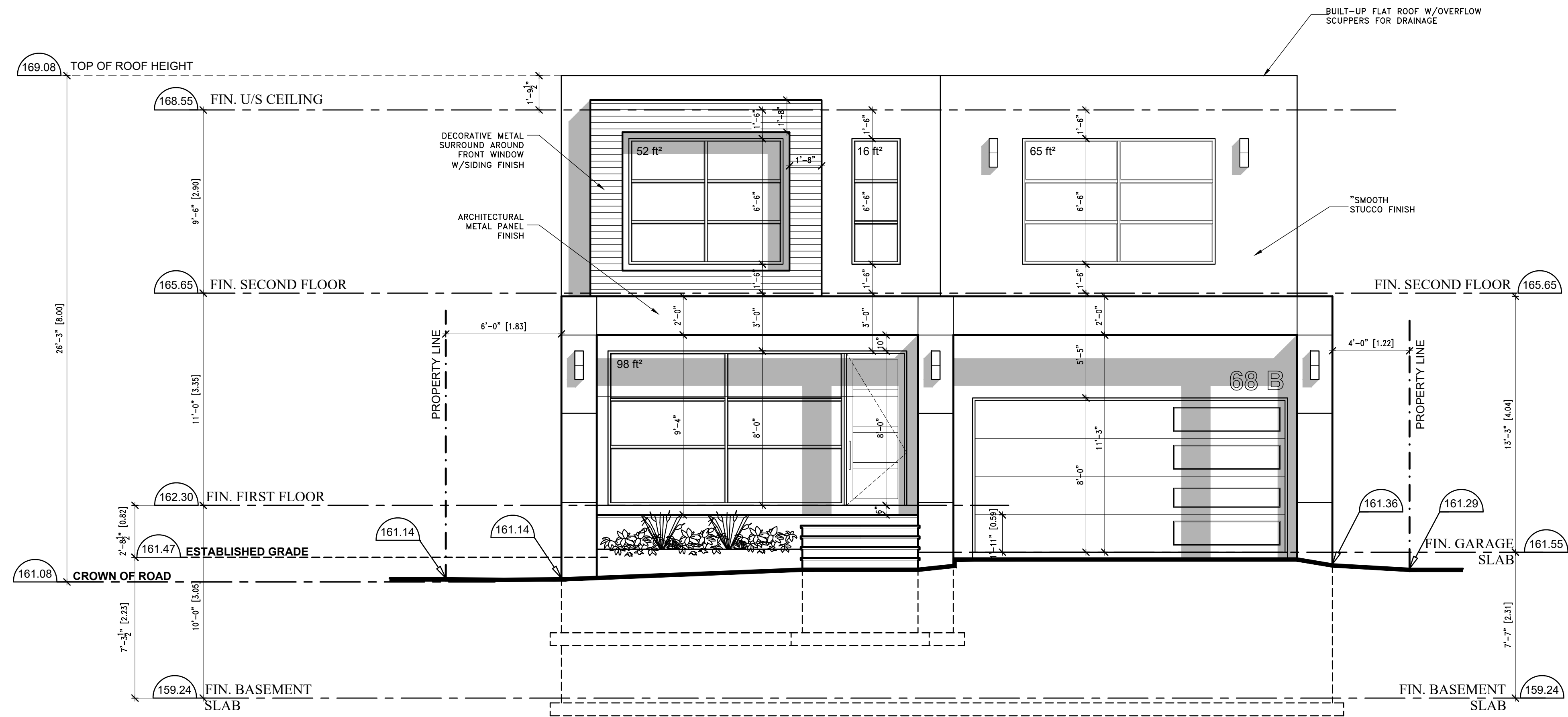
PROJECT: **68 SPRUCEWOOD DR [PTS 1 & 2] MARKHAM, ONTARIO**

DRAWING: **SITE PLAN**

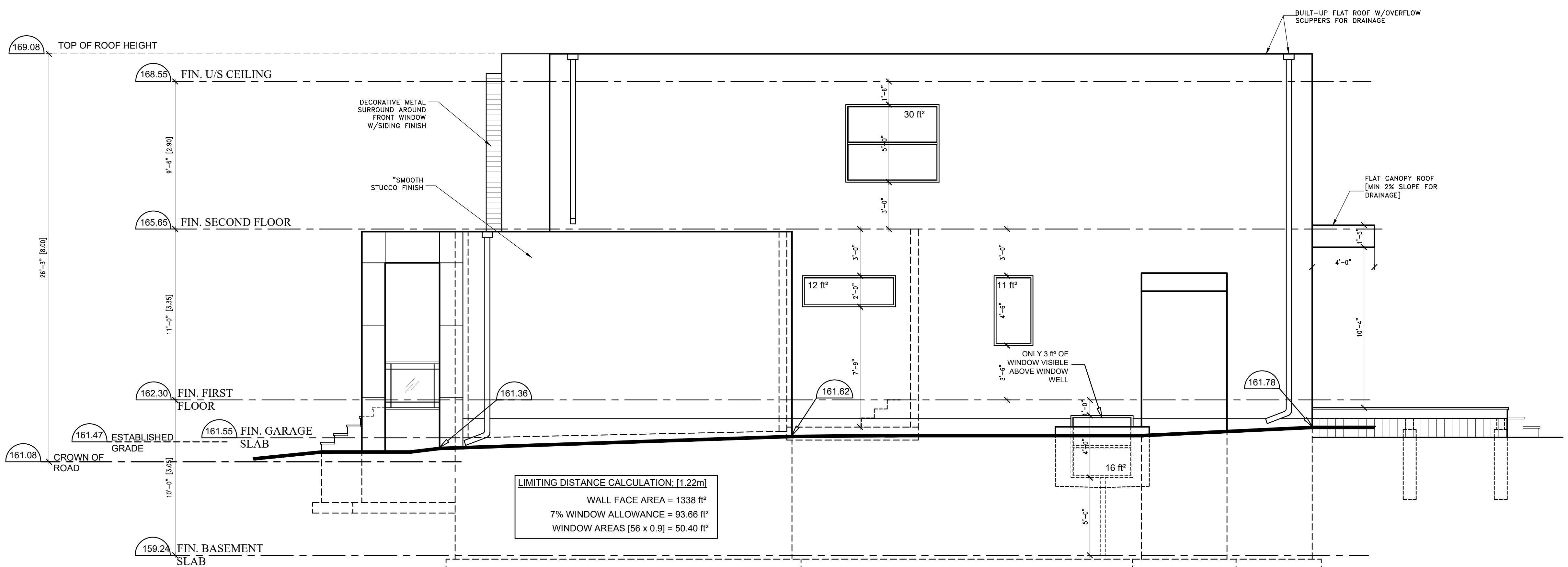
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DRAWN BY: P. NARANJO	DATE: SEPT/15/2022	A
CHECKED BY: G. R.	SCALE: 1 : 150	

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TOTAL FLOOR AREA RATIO = 4.062 ft ² [377.37 m ²] [50%]
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FRONT ELEVATION
68 SPRUCEWOOD AVENUE [PT 2]
EAST SIDE ORIENTATION



RIGHT SIDE ELEVATION
68 SPRUCEWOOD AVENUE [PT 2]
NORTH SIDE ORIENTATION

LIMITING DISTANCE CALCULATION: [1.22m]
WALL FACE AREA = 1338 ft²
7% WINDOW ALLOWANCE = 93.66 ft²
WINDOW AREAS [56 x 0.9] = 50.40 ft²

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GLENN RUBINOFF 22370
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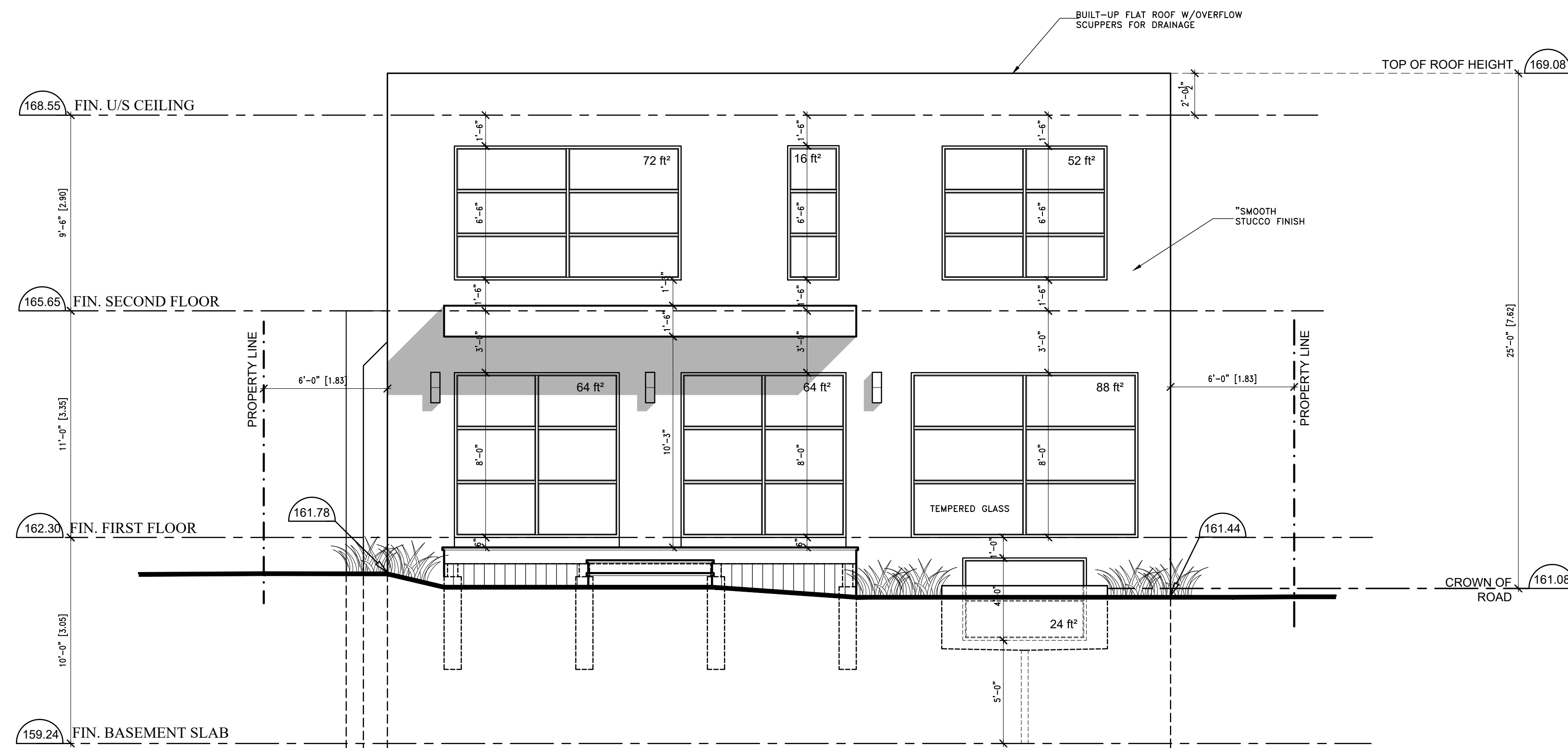
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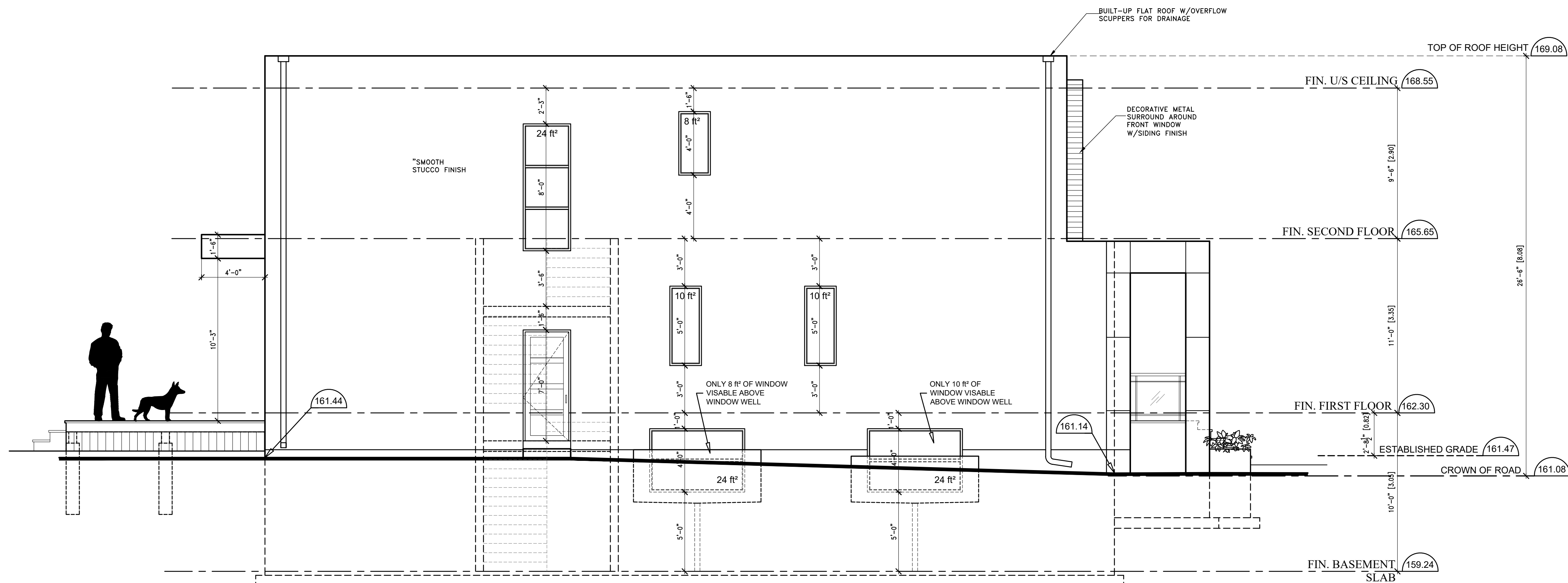
PROJECT: **68 SPRUCEWOOD DR [PT 2]
MARKHAM, ONTARIO**

DRAWING: **PROPOSED NEW FRONT
& RIGHT ELEVATIONS**

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.
DRAWN BY: P. NARANJO	DATE: OCT/25/2022	A4
CHECKED BY: G. R.	SCALE: 1/4" = 1'-0"	



REAR ELEVATION
68 SPRUCEWOOD AVENUE [PT 2]
WEST SIDE ORIENTATION



LEFT SIDE ELEVATION
68 SPRUCEWOOD AVENUE [PT 2]
SOUTH SIDE ORIENTATION

LIMITING DISTANCE CALCULATION: [1.83m]
WALL FACE AREA = 1355 ft²
7% WINDOW ALLOWANCE = 94.85 ft²
WINDOW AREAS [70 x 0.9] = 63.00 ft²

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FIRM NAME BCIN/BCDN

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MARKHAM, ONTARIO**

DRAWING: **PROPOSED NEW FRONT
& RIGHT ELEVATIONS**

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO.
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