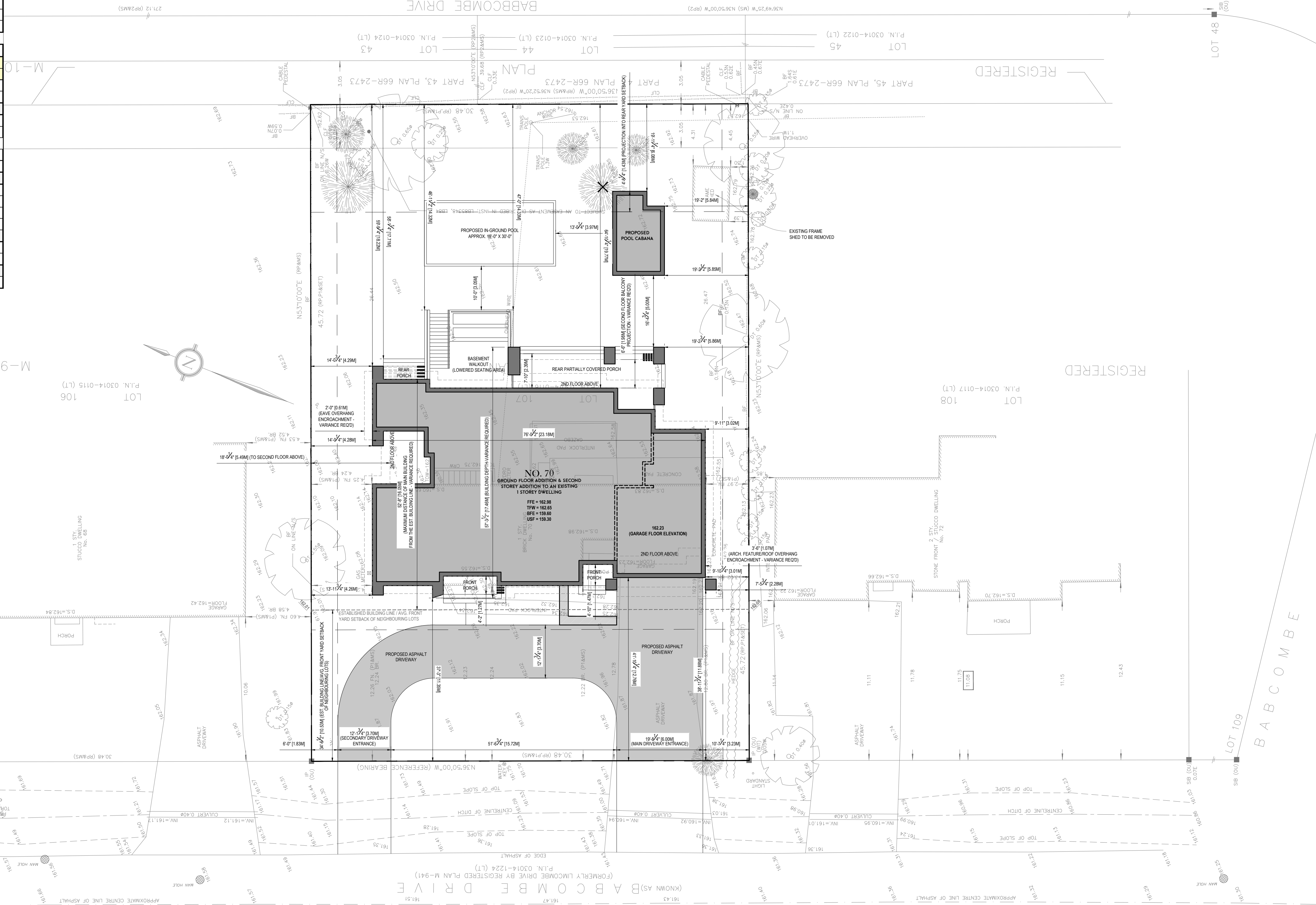


SITE STATISTICS	
ADDRESS:	70 BABCOMBE DRIVE
ZONING:	SR3 - SINGLE DETACHED RESIDENTIAL
LOT AREA	1393.5 m <sup>2</sup>
LOT FRONTAGE	30.48 m
CROWN OF ROAD	161.47
HEIGHT TO HIGHEST RIDGE	9.78 m
GFA	
GROUND FLOOR	232.47 m <sup>2</sup>
SECOND FLOOR	290.34 m <sup>2</sup>
GARAGE	54.25 m <sup>2</sup>
STAIRS + OPEN AREAS TO BE DEDUCTED	45.13 m <sup>2</sup>
<b>TOTAL</b>	<b>477.68 m<sup>2</sup></b>
LOT COVERAGE	
DWELLING FOOTPRINT (INCL GARAGE)	277.60 m <sup>2</sup>
FRONT PORCHES	8.2 m <sup>2</sup>
FRONT COLUMN	0.58 m <sup>2</sup>
REAR PORCHES	33.68 m <sup>2</sup>
SECOND FLOOR OVERHANG	9.53 m <sup>2</sup>
POOL CABANA	19.86 m <sup>2</sup>
<b>TOTAL LOT COVERAGE:</b>	<b>349.45 m<sup>2</sup></b>
	<b>25.0%</b>

SITE STATISTICS	
ADDRESS:	70 BABCOMBE DRIVE
ZONING:	NEW ZONING BYLAW * RES-ENLR
LOT AREA	1393.5 m <sup>2</sup>
LOT FRONTAGE	30.48 m
MAXIMUM MAIN BUILDING COVERAGE	
MAIN BUILDING AREA (FIRST STOREY + GARAGE)	286.72 m <sup>2</sup>
<b>TOTAL MAIN BUILDING COVERAGE (FIRST STOREY) - 30% MAX</b>	<b>20.6%</b>
MAIN BUILDING AREA (SECOND STOREY)	290.34 m <sup>2</sup>
<b>TOTAL MAIN BUILDING COVERAGE (ABOVE FIRST STOREY) - 20% MAX</b>	<b>20.8%</b>
MINIMUM COMBINED SIDE YARD SETBACKS	
LEFT SIDE YARD SETBACK	4.23 m
RIGHT SIDE YARD SETBACK	2.28 m
<b>MINIMUM COMBINED SIDE YARD SETBACKS (25% OF LOT WIDTH = 7.62m)</b>	<b>6.54 m</b>
MINIMUM COMBINED SIDE YARD SETBACKS	
<b>MAXIMUM OUTSIDE WALL HEIGHT (EST. GRADE TO T.O. TOP PLATE) - 7m MAX</b>	<b>7.69 m</b>
<b>MAXIMUM COMBINED MAIN BUILDING COVERAGE (500m<sup>2</sup> MAX)</b>	<b>577.06 m<sup>2</sup></b>



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FIRM NAME: B.C.I.N.

REVISION LIST	
1	AS PER ZONING COMMENTS
2	M.M.D.YYYY
3	M.M.D.YYYY
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5	M.M.D.YYYY

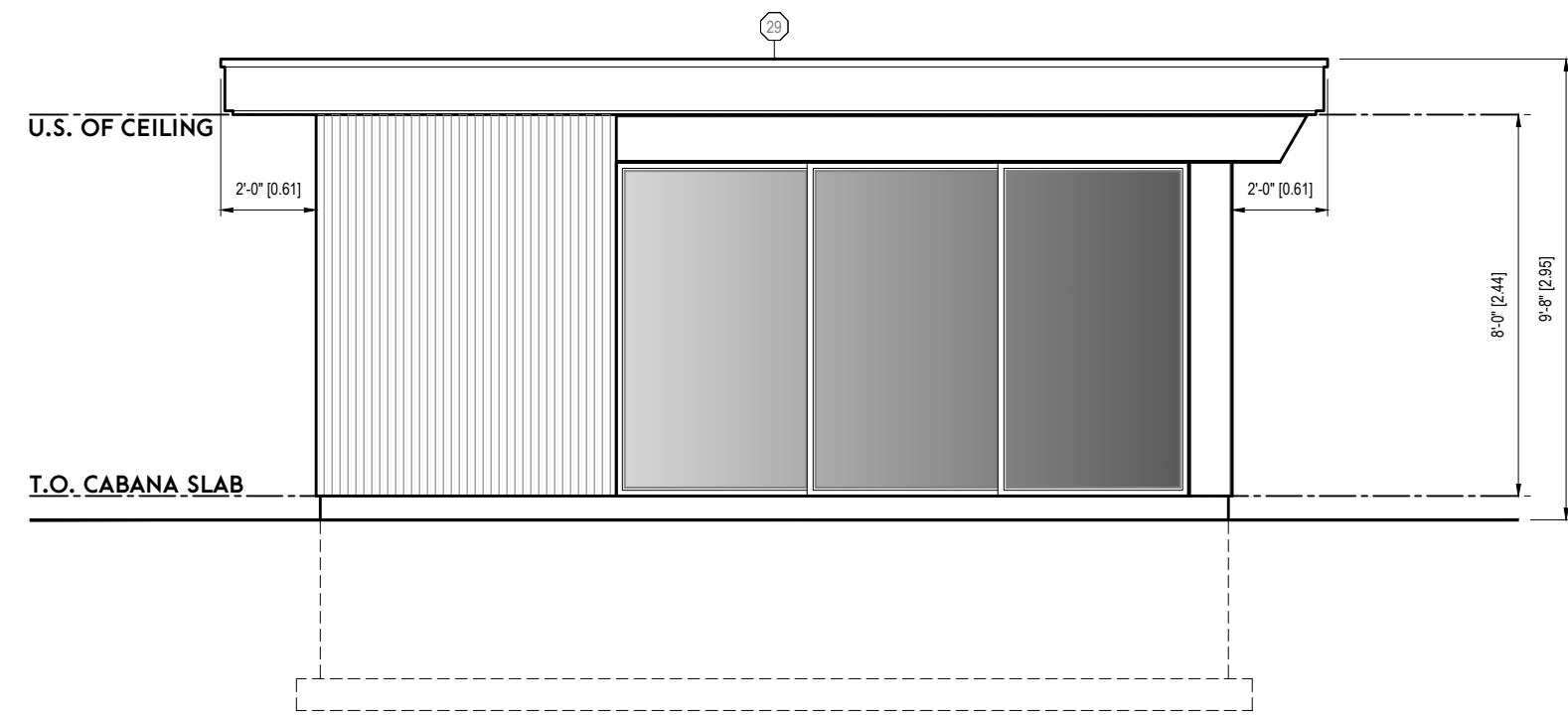
**PROJECT NORTH** **TRUE NORTH**

**DRAWING TITLE:** ARCHITECTURAL SITE PLAN  
**DRAWN BY:** J.H. **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 70 BABCOMBE DRIVE  
**PROJECT NO.:** 2023-011  
**SHEET NO.:** 1/10

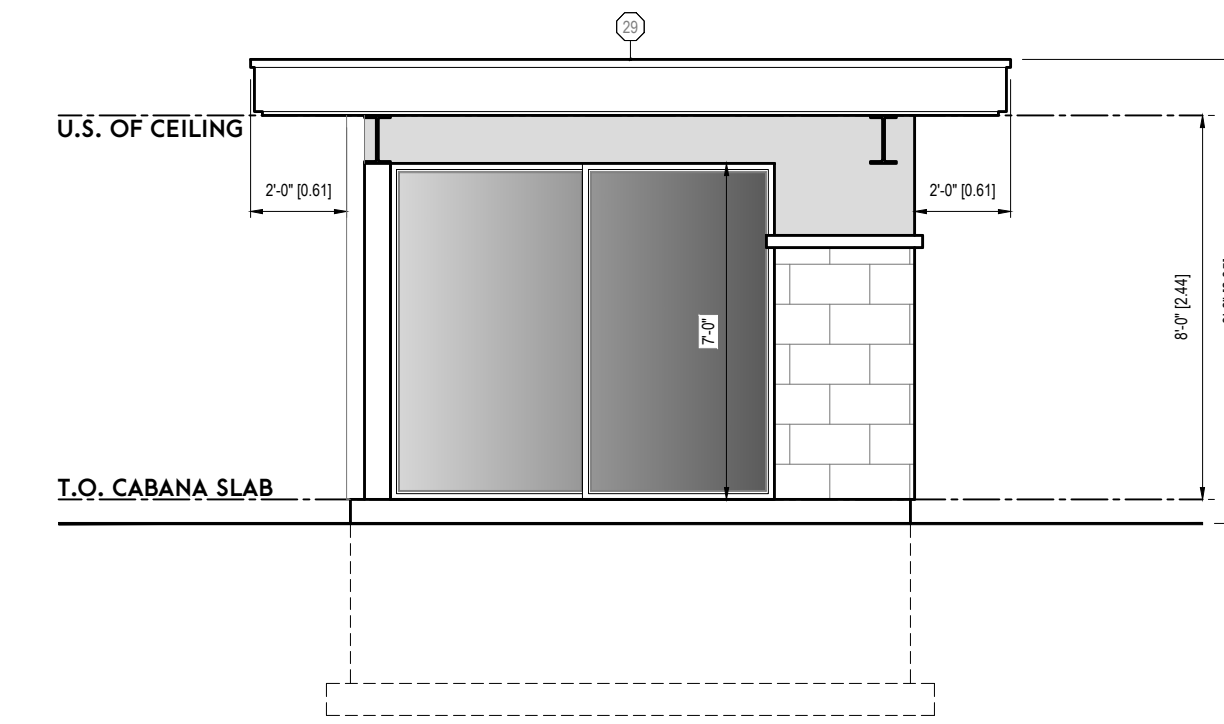
**ISSUE LIST**

1	ISSUED FOR PERMIT	12/19/2023
2	ISSUED FOR COA	07/05/2024
3	ISSUED FOR COA RESUB	09/20/2024
4	M.M.D.YYYY	
5	M.M.D.YYYY	

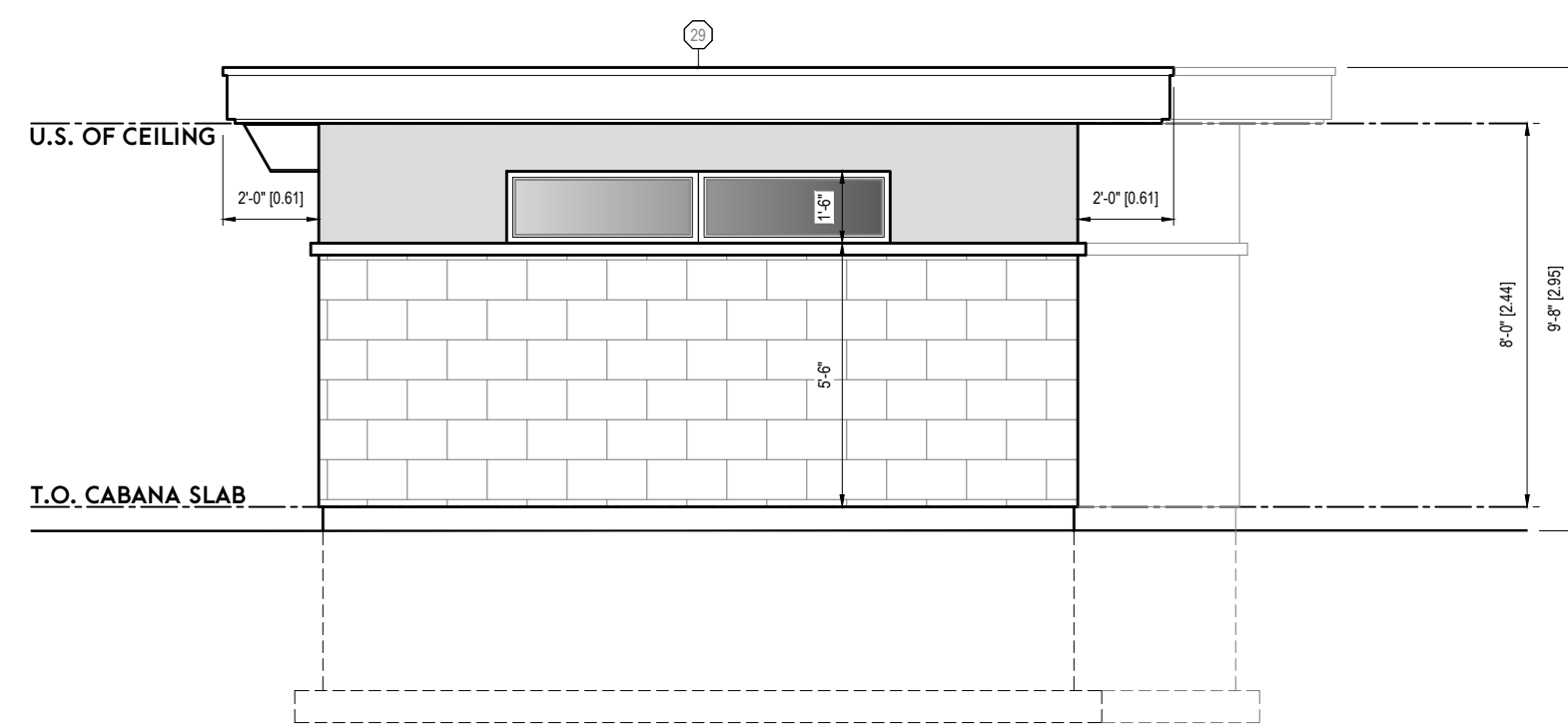
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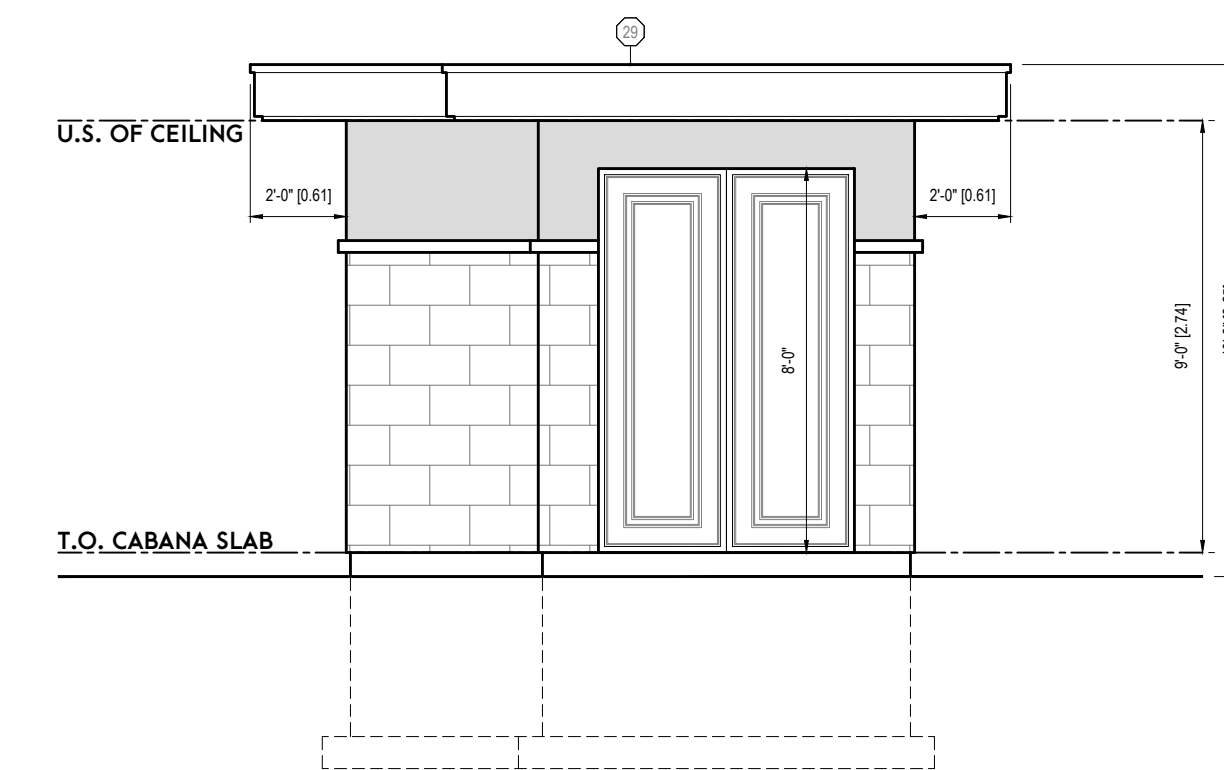
1/8"=1'-0"  
01-CABANA ELEVATION




1/8"=1'-0"  
02-CABANA ELEVATION



1/8"=1'-0"  
03-CABANA ELEVATION



1/8"=1'-0"  
04-CABANA ELEVATION



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FIRM NAME: \_\_\_\_\_ B.C.I.N.: \_\_\_\_\_

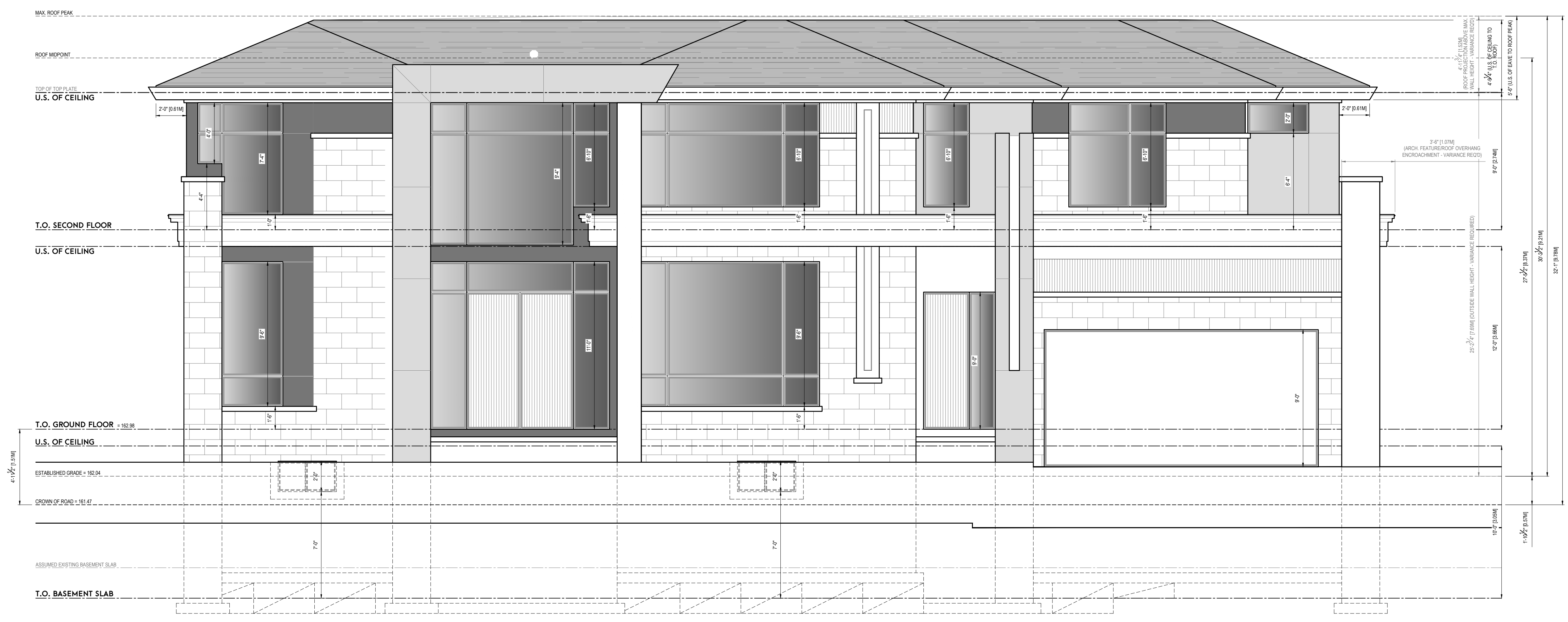
**REVISION LIST**

NO.	DESCRIPTION	DATE
1	AS PER ZONING COMMENTS	06/24/2024
2		MM/DD/YYYY
3		MM/DD/YYYY
4		MM/DD/YYYY
5		MM/DD/YYYY

**ISSUE LIST**

NO.	ISSUE	DATE
1	ISSUED FOR PERMIT	12/19/2023
2	ISSUED FOR COA	07/05/2024
3	ISSUED FOR COA RESUB	09/20/2024
4		MM/DD/YYYY
5		MM/DD/YYYY

**DRAWING TITLE:** CABANA ELEVATIONS  
**DRAWN BY:** J.H. **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 70 BARKCOMBE DRIVE  
**PROJECT NO.:** 2023-071  
**SHEET NO.:** A201A



1/8" = 1'-0"  
FRONT ELEVATION

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FIRM NAME: B.C.I.N.

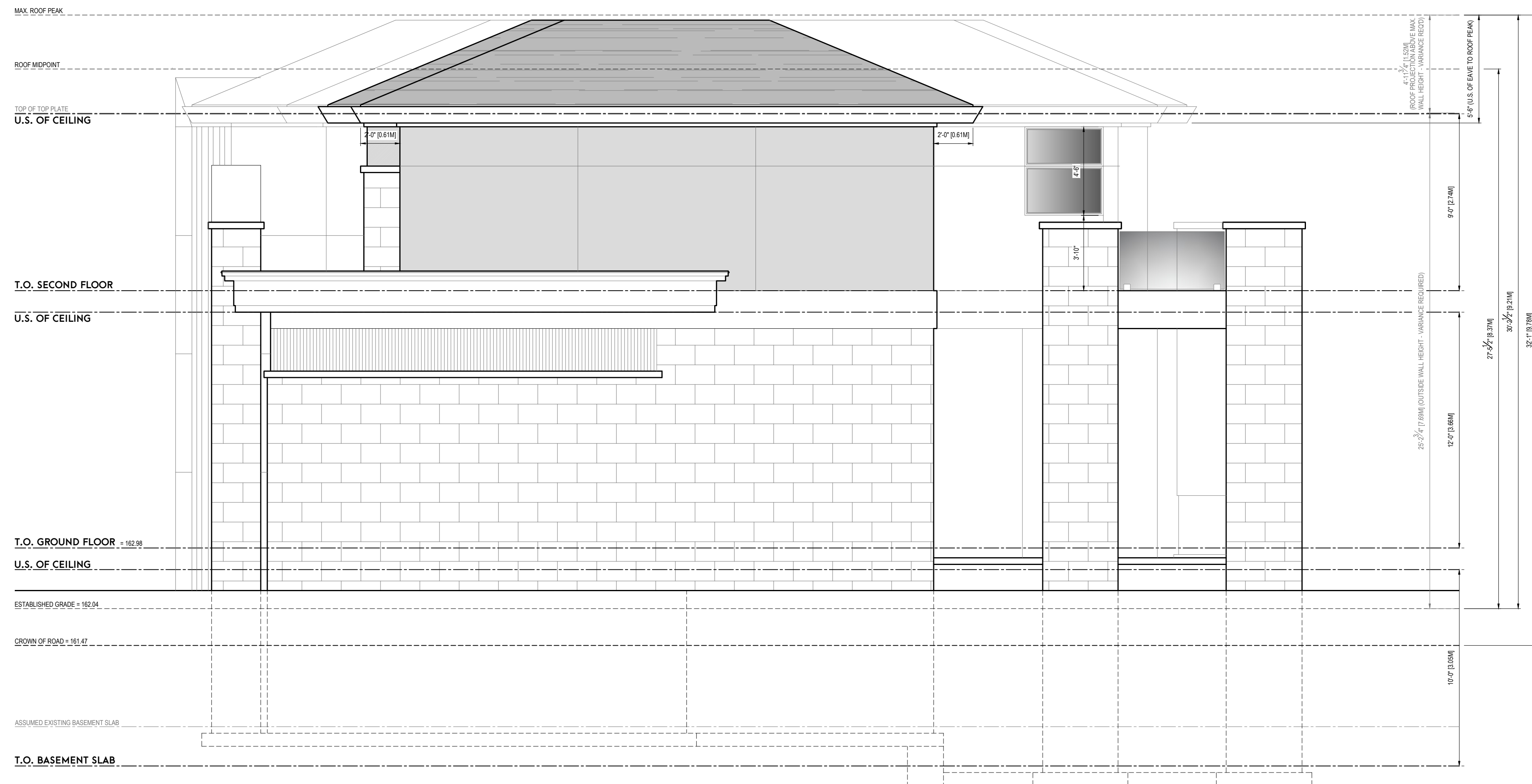
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1	AS PER ZONING COMMENTS	06/24/2024
2		MM/DD/YYYY
3		MM/DD/YYYY
4		MM/DD/YYYY
5		MM/DD/YYYY

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2	ISSUED FOR COA	07/25/2024
3	ISSUED FOR COA RESUB	09/20/2024
4		MM/DD/YYYY
5		MM/DD/YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
 DRAWN BY: INITIALS CHECKED BY: K.V.K.  
 PROJECT ADDRESS: 75 BARCOMBE DRIVE  
 PROJECT NO.: 2023-011  
 SHEET NO.:  
**A201**





SPATIAL SEPARATION			
EXPOSING BUILDING FACE:	1132.82 SQ. FT.	105.24 SQ.M	
UNPROTECTED OPENINGS:	18.94 SQ. FT.	1.75 %	
PERMITTED:	113.28 SQ. FT.	10.00 %	
LIMITING DISTANCE: 3.01M (SEE TABLE 9.10.13.4)			

RIGHT ELEVATION

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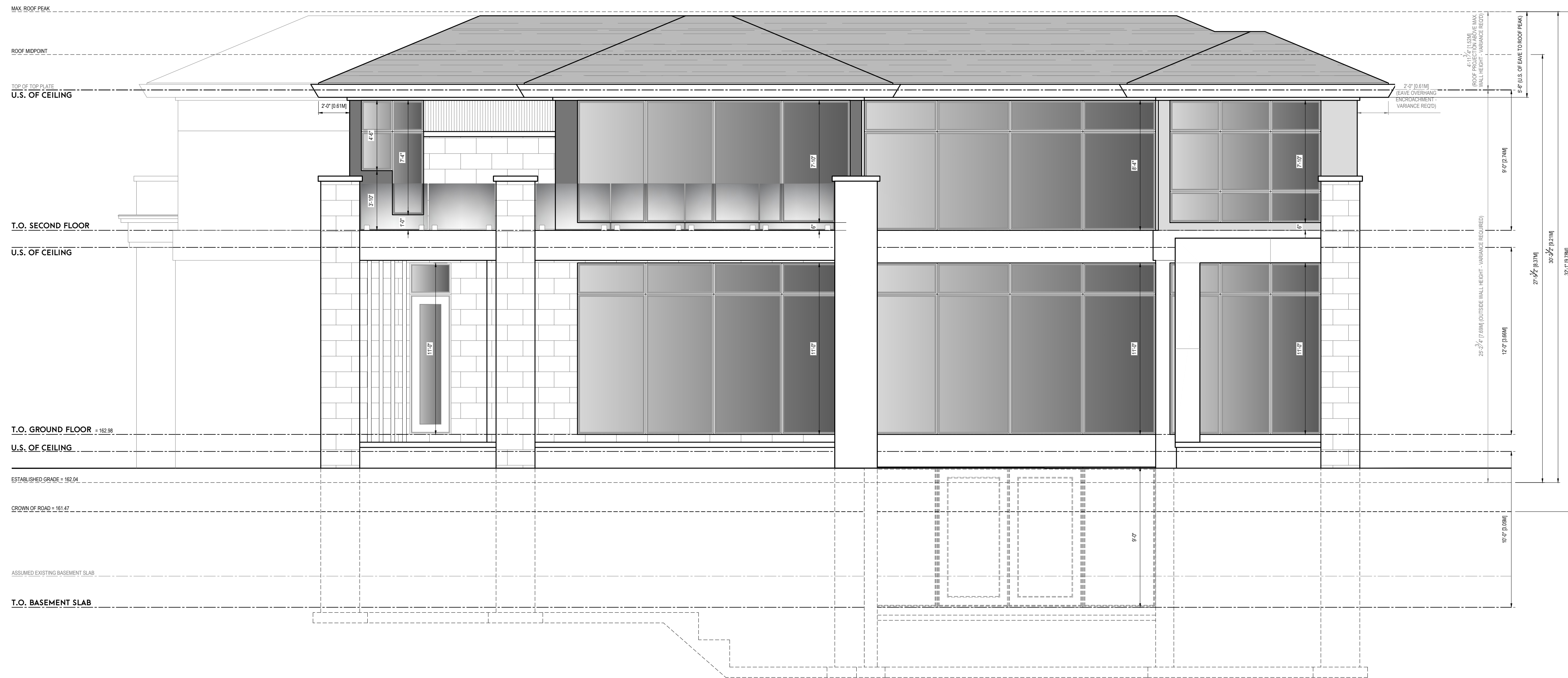
**REGISTRATION INFORMATION**  
 REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV.  
 C-3.2.4 OF THE ONTARIO BUILDING CODE.

**FIRM NAME** B.C.I.N.

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1	AS PER ZONING COMMENTS
2	
3	
4	
5	

ISSUE LIST	
1	ISSUED FOR PERMIT
2	ISSUED FOR COA
3	ISSUED FOR COA RESUB
4	
5	

**DRAWING TITLE:** ARCHITECTURAL ELEVATIONS  
**DRAWN BY:** J.H. **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 75 BARKCOMBE DRIVE  
**PROJECT NO.:** 2023-071  
**SHEET NO.:** A202



1/8" = 1'-0"  
**REAR ELEVATION**

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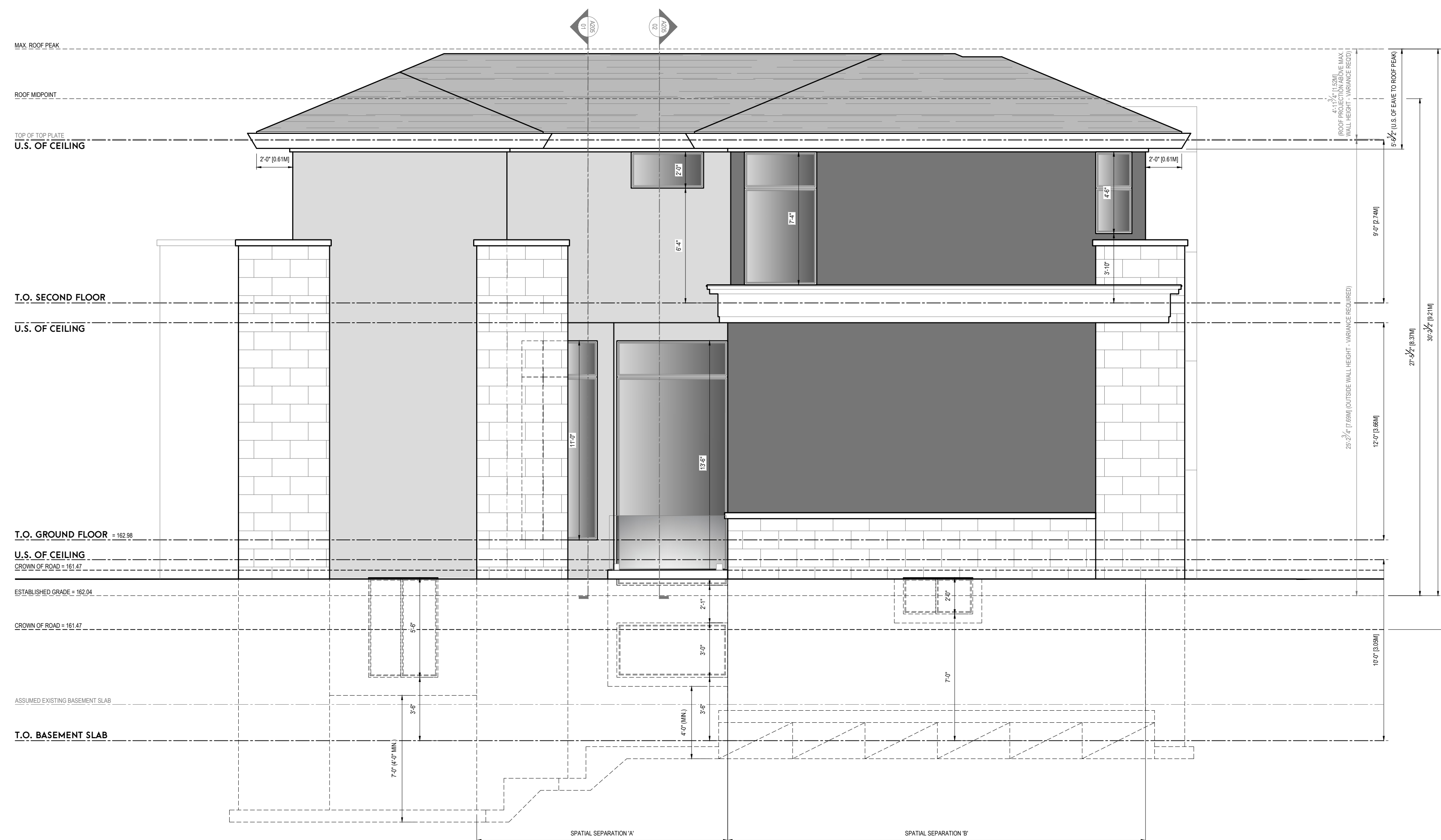
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NAME: B.C.I.N.  
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3	ISSUED FOR COA RESUB 09.20.2024
4	MW.DD.YYYY
5	MW.DD.YYYY

DRAWING TITLE: ARCHITECTURAL ELEVATIONS  
 DRAWN BY: J.H. CHECKED BY: K.V.K.  
 PROJECT ADDRESS: 70 BARKCOMBE DRIVE  
 PROJECT NO.: 2023-071  
 SHEET NO.:  
**A203**



SPATIAL SEPARATION 'A'	
EXPOSING BUILDING FACE	332.42 SQ. FT. 30.88 SQ.M
UNPROTECTED OPENINGS	176.68 SQ. FT. 16.31 %
PERMITTED	229.36 SQ. FT. 69.00 %
LIMITING DISTANCE: 7.80M (25.60 M AS PER TABLE 9.10.15.4.)	

SPATIAL SEPARATION 'B'	
EXPOSING BUILDING FACE	558.30 SQ. FT. 51.85 SQ.M
UNPROTECTED OPENINGS	28.30 SQ. FT. 5.07 %
PERMITTED	100.49 SQ. FT. 18.00 %
LIMITING DISTANCE: 4.20M (13.78 M AS PER TABLE 9.10.15.4.)	

MAX. ROOF PEAK  
 ROOF MIDPOINT  
 TOP OF TOP PLATE  
 U.S. OF CEILING  
 T.O. SECOND FLOOR  
 U.S. OF CEILING  
 T.O. GROUND FLOOR +162.08  
 U.S. OF CEILING  
 CROWN OF ROAD +161.47  
 ESTABLISHED GRADE +162.04  
 CROWN OF ROAD +161.47  
 ASSUMED EXISTING BASEMENT SLAB  
 T.O. BASEMENT SLAB

LEFT ELEVATION



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**FIRM NAME** B.C.I.N.

REVISION LIST	
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2	MW.DD.YYYY
3	MW.DD.YYYY
4	MW.DD.YYYY
5	MW.DD.YYYY

**DRAWING TITLE:** ARCHITECTURAL ELEVATIONS  
**DRAWN BY:** J.H. **CHECKED BY:** K.V.K.  
**PROJECT ADDRESS:** 75 BACCOMBE DRIVE  
**PROJECT NO.:** 2023-071  
**SHEET NO.:** A204

