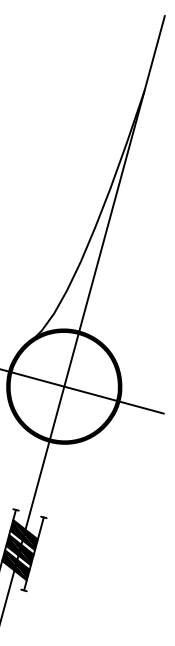
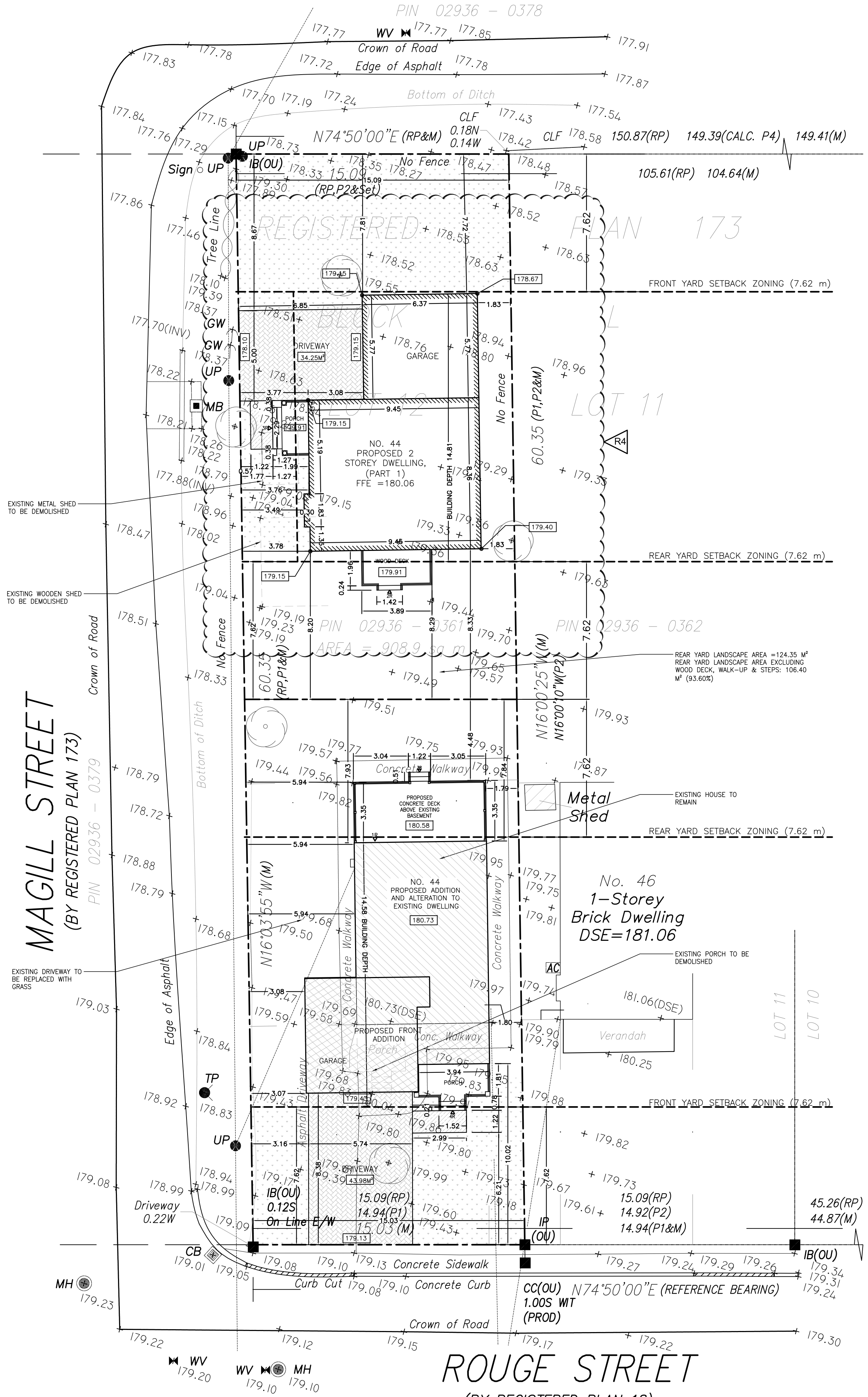


**Metric**

DISTANCES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**NELSON STREET**  
(BY REGISTERED PLAN 173)

**PLAN OF LOT 12 BLOCK L REGISTERED PLAN 173 CITY OF MARKHAM REGIONAL MUNICIPALITY OF YORK**



44 ROUGE STREET MARKHAM - PROPOSED DWELLING

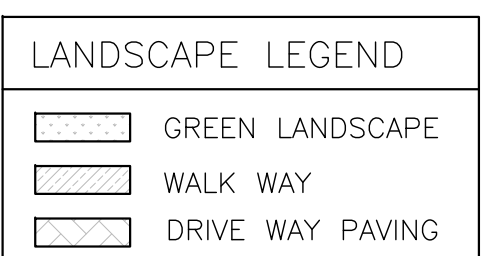
LANDSCAPE CALCULATION FOR FRONT YARD (NELSON STREET)	
A TOTAL FRONT YARD =	63.23 SQ M 680.80 SQ FT
B DRIVEWAY AREA =	0.50 SQ M 5.38 SQ FT
C LANDSCAPE AREA =	63.23 SQ M 680.80 SQ FT
D % OF TOTAL FRONT YARD =	100 %
E HARD LANDSCAPE AREA =	0.50 SQ M 5.38 SQ FT
F SOFT LANDSCAPE AREA =	63.23 SQ M 680.80 SQ FT
G % OF TOTAL SOFT LANDSCAPE =	100 %

44 ROUGE STREET MARKHAM - PROPOSED DWELLING

LANDSCAPE CALCULATION FOR SIDE YARD	
A TOTAL FRONT YARD =	120.12 SQ M 1299.98 SQ FT
B DRIVEWAY AREA =	34.25 SQ M 368.66 SQ FT
C LANDSCAPE AREA =	85.87 SQ M 924.29 SQ FT
D % OF TOTAL FRONT YARD =	71.48 %
E HARD LANDSCAPE AREA =	4.42 SQ M 47.57 SQ FT
F SOFT LANDSCAPE AREA =	81.45 SQ M 876.72 SQ FT
G % OF TOTAL SOFT LANDSCAPE =	84.86 %

44 ROUGE STREET MARKHAM - EXISTING HOUSE

LANDSCAPE CALCULATION FOR FRONT YARD	
A TOTAL FRONT YARD =	128.42 SQ M 1382.3 SQ FT
B DRIVEWAY AREA =	48.38 SQ M 520.75 SQ FT
C LANDSCAPE AREA =	80.04 SQ M 861.54 SQ FT
D % OF TOTAL FRONT YARD =	62.38 %
E HARD LANDSCAPE AREA =	4.88 SQ M 52.57 SQ FT
F SOFT LANDSCAPE AREA =	75.16 SQ M 808.97 SQ FT
G % OF TOTAL SOFT LANDSCAPE =	93.8 %

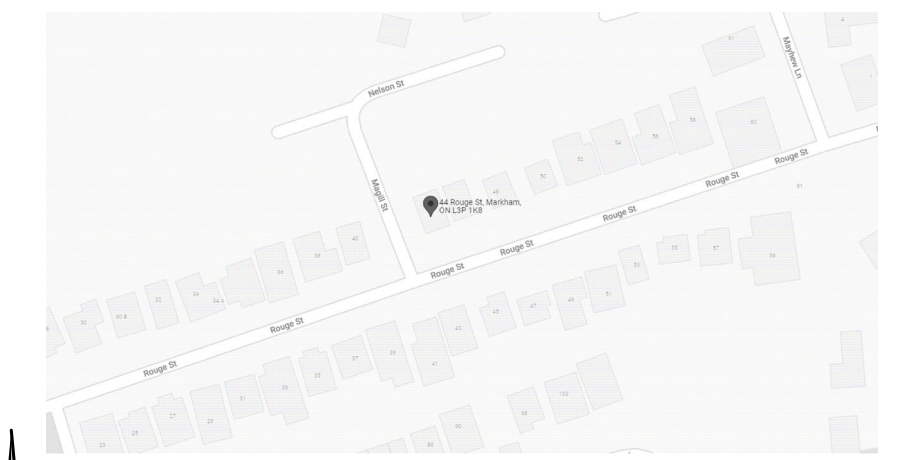


SITE DATA: NELSON STREET (MARKHAM) PROPOSED DWELLING, ONTARIO

ZONING			
	PERMITTED	PROPOSED	REMARKS
MIN. LOT AREA:	613.16 sq. m.	454.90 sq. m.	COA REQ.
MIN. LOT FRONTAGE:	18.29 m	15.09 m	COA REQ.
GROSS FLOOR AREA:			
FIRST FLOOR AREA:		116.29 sq. m.	
SECOND FLOOR AREA EXCLUDING OPEN BELOW & STAIRS:		105.83 sq. m.	
TOTAL GROSS FLOOR AREA =		222.12 sq. m.	
GROSS FLOOR AREA %:	45.00 %	48.82 %	COA REQ.
BUILDING FOOTPRINT AREA INCLUDING GARAGE AND PORCH			
BUILDING FOOTPRINT AREA %:	35.00 %	26.55 %	
MIN. FRONT YARD SETBACK:	7.62 m	7.72 m	
MIN. SIDE YARD RIGHT SIDE (2 STOREY):	1.83 m	1.83 m	
MIN. SIDE YARD LEFT SIDE (ABUTTING A STREET):	3.05 m	3.49 m	
MIN. REAR YARD SETBACK:	7.62 m	8.20 m	
MAX. DWELLING UNIT DEPTH:	16.80 m	14.81 m	
GARAGE AREA :			
MAX. DRIVE WAY WIDTH:		5.54 m	
MAXIMUM HEIGHT - FROM ESTABLISHED GRADE TO HIGHEST RIDGE OF SLOPED ROOF:	9.80 m	9.77 m	

SITE DATA: 44 ROUGE STREET (MARKHAM) EXISTING HOUSE, ONTARIO

ZONING				
	PERMITTED	EXISTING	PROPOSED	REMARKS
MIN. LOT AREA:	613.16 sq. m.		454.00 sq. m.	COA REQ.
MIN. LOT FRONTAGE:	18.29 m		15.03 m	COA REQ.
GROSS FLOOR AREA:				
FIRST FLOOR AREA:		98.31 sq. m.	113.35 sq. m.	
SECOND FLOOR AREA EXCLUDING OPEN BELOW & STAIRS:		-	107.32 sq. m.	
TOTAL GROSS FLOOR AREA =		98.31 sq. m.	220.67 sq. m.	
GROSS FLOOR AREA %:	45.00 %	21.66 %	48.61 %	COA REQ.
BUILDING FOOTPRINT AREA INCLUDING GARAGE AND CONCRETE DECK				
BUILDING FOOTPRINT AREA %:	35.00 %	23.17 %	31.96 %	
MIN. FRONT YARD SETBACK:	7.62 m	12.17 m	8.38 m	
MIN. SIDE YARD RIGHT SIDE (2 STOREY):	1.22 m	1.79 m	NO CHANGE	
MIN. SIDE YARD LEFT SIDE (ABUTTING A STREET):	3.05 m	5.93 m	3.07 m	
MIN. REAR YARD SETBACK:	7.62 m	4.48 m	7.84 m	
MAX. DWELLING UNIT DEPTH:	16.80 m	13.42 m	14.58 m	
GARAGE AREA :				
MAX. DRIVE WAY WIDTH:		-	5.75 m	
MAXIMUM HEIGHT - FROM ESTABLISHED GRADE TO HIGHEST RIDGE OF SLOPED ROOF:	9.80 m	6.30 m	9.20 m	



KEY PLAN N.T.S.

NO.	REVISIONS	DATE
4	REVISED AFTER MEETING WITH COMMUNITY	03 / 27 / 2024
3	REVISION AS PER PLANNING/URBAN DESIGN COMMENTS	11 / 03 / 2023
2	REV AS PER ZONING REVIEW	06 / 27 / 2023
1	ISSUED FOR REVIEW	03 / 21 / 2023

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

PROJECT COORDINATOR:  
**CANTAM Group Ltd.**  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

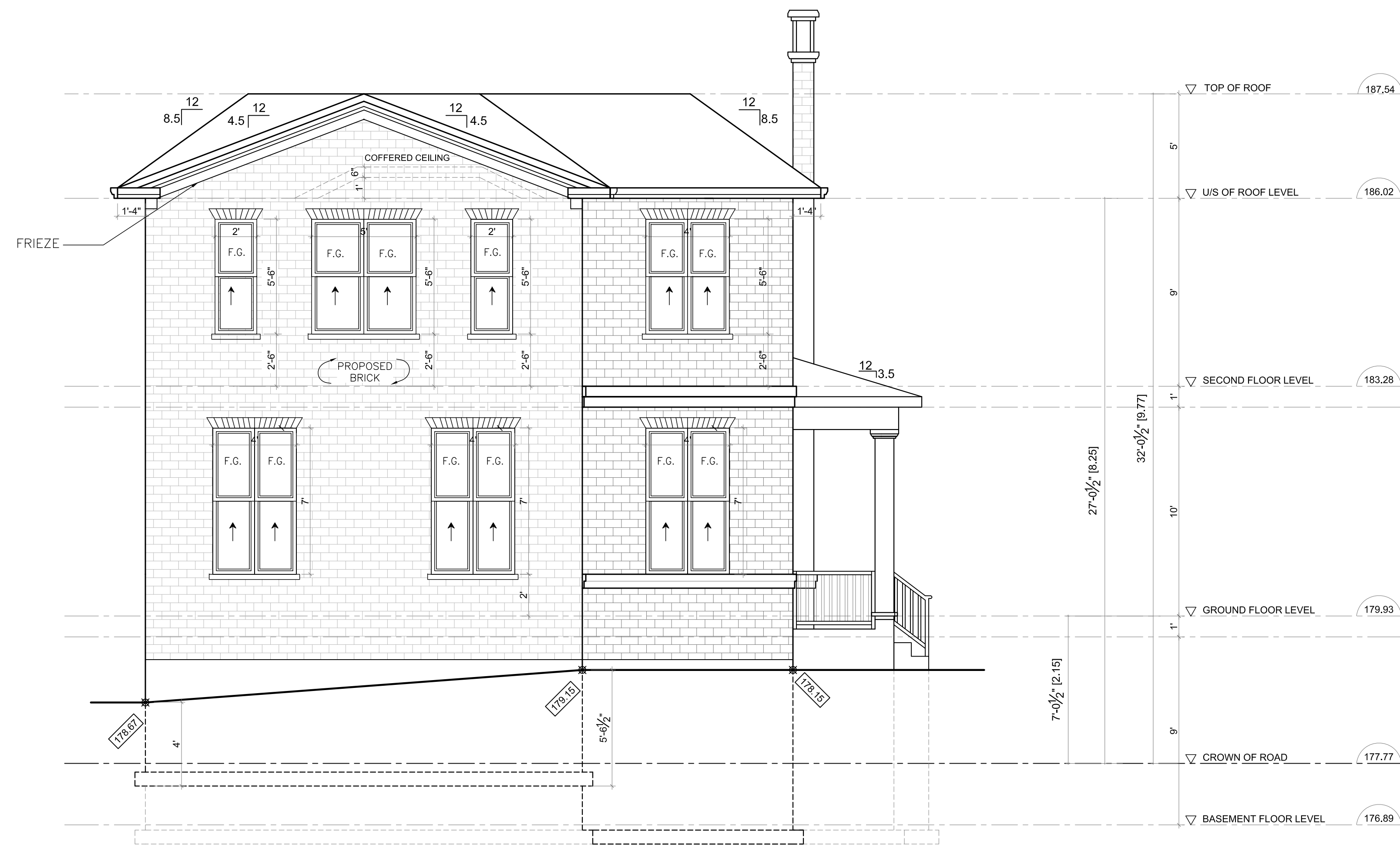
PROJECT:  
PROPOSED TWO STOREY RESIDENCE AT NELSON ST & ADDITION RENOVATION TO EXISTING HOUSE AT 44 ROUGE ST MARKHAM, ON

DRAWING: SITE PLAN

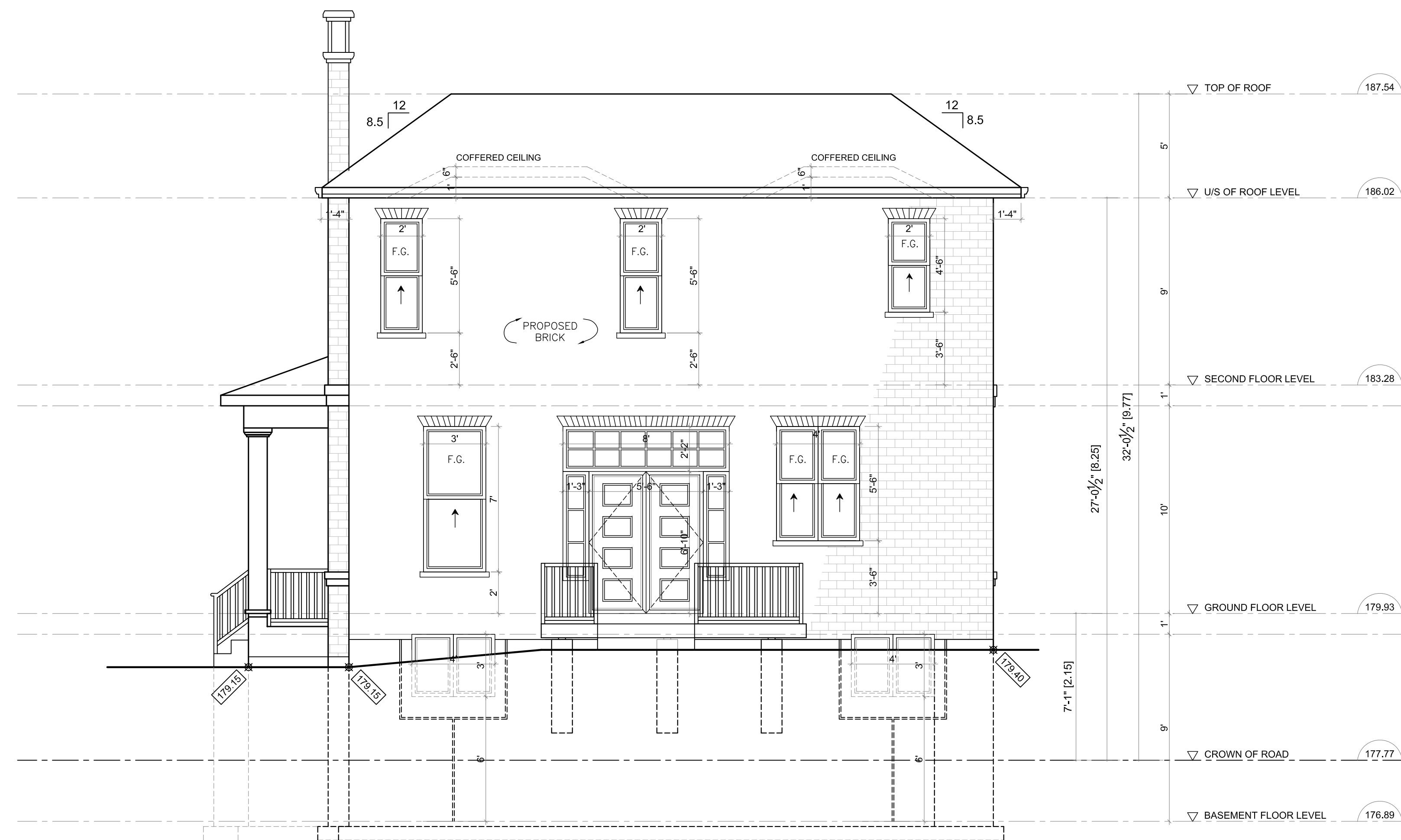
DATE: 10 / 06 / 2021	DRAWING NO. <b>A1</b>
SCALE: AS NOTED	
DRN: SS	CKD: YASO

**NOTE:**  
SITE INFORMATION HAS BEEN TAKEN FROM ertl surveyors  
Ontario Land Surveyors  
www.es-ols.com  
1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1  
TELEPHONE (905) 731-7834 FAX (905)731-7852  
EMAIL info@es-ols.com  
PROJECT : 21256

**SITE PLAN**  
SCALE: 1 : 150



**PROPOSED NORTH ELEVATION**  
SCALE : 1/4"=1'



**PROPOSED SOUTH ELEVATION**  
SCALE : 1/4"=1'

4.	REVISED AFTER MEETING WITH COMMUNITY	03 / 27 / 2024
3.	REVISION AS PER PLANNING/URBAN DESIGN COMMENTS	11 / 03 / 2023
2.	REV AS PER ZONING REVIEW	06 / 27 / 2023
1.	ISSUED FOR REVIEW	03 / 31 / 2023
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

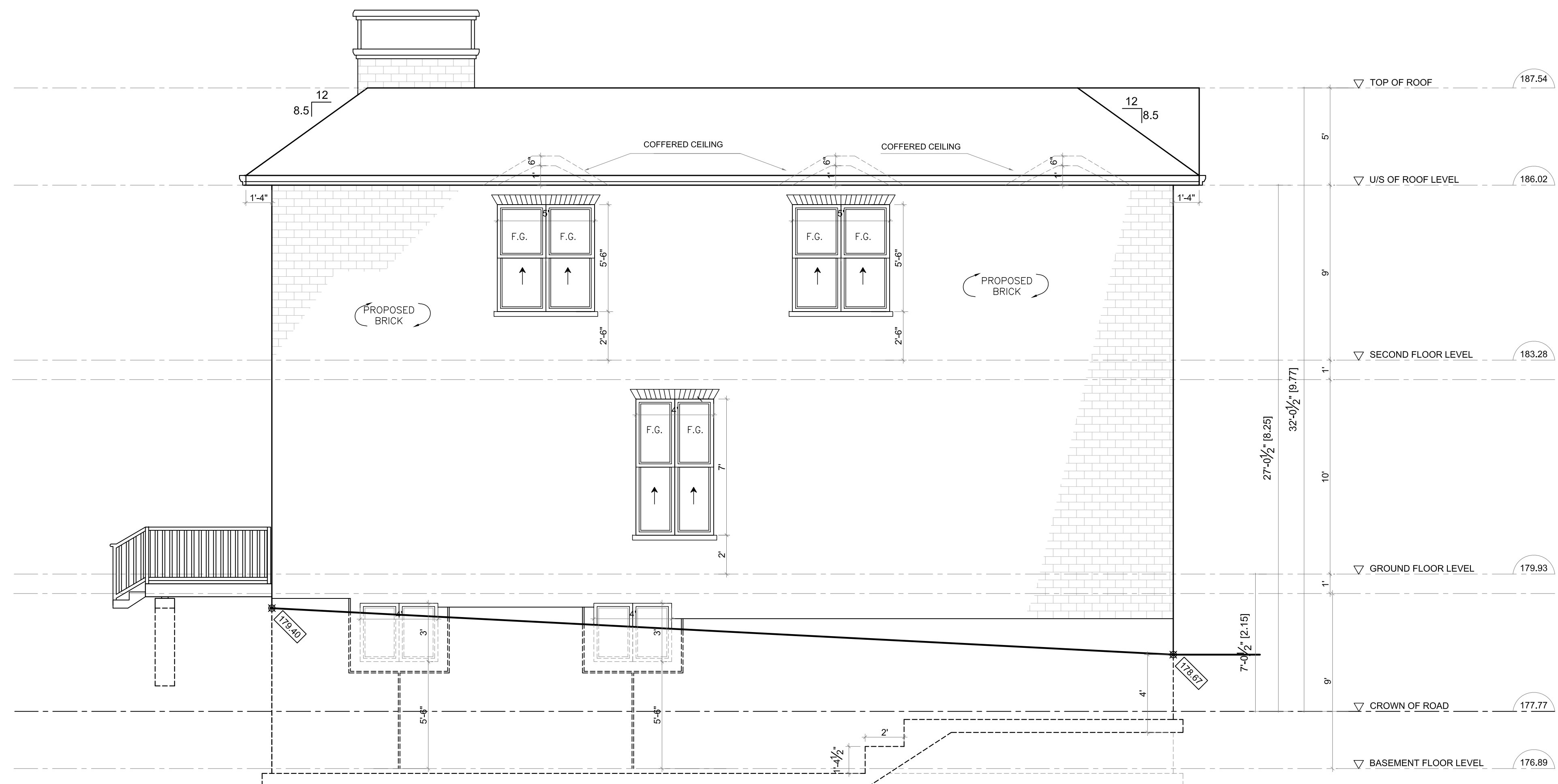
PROJECT :  
**PROPOSED TWO STOREY RESIDENCE  
AT NELSON ST.  
MARKHAM , ON**

DRAWING:  
**NORTH AND SOUTH ELEVATION**

DATE: 08/22/2022  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO  
DRAWING NO. **A4**



**PROPOSED WEST SIDE ELEVATION**  
SCALE : 1/4"=1'



**PROPOSED EAST SIDE ELEVATION**  
SCALE : 1/4"=1'

NO.	REVISIONS	DATE
4.	REVISED AFTER MEETING WITH COMMUNITY	03 / 27 / 2024
3.	REVISION AS PER PLANNING/URBAN DESIGN COMMENTS	11 / 03 / 2023
2.	REV AS PER ZONING REVIEW	06 / 27 / 2023
1.	ISSUED FOR REVIEW	03 / 31 / 2023

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
Group Ltd.  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

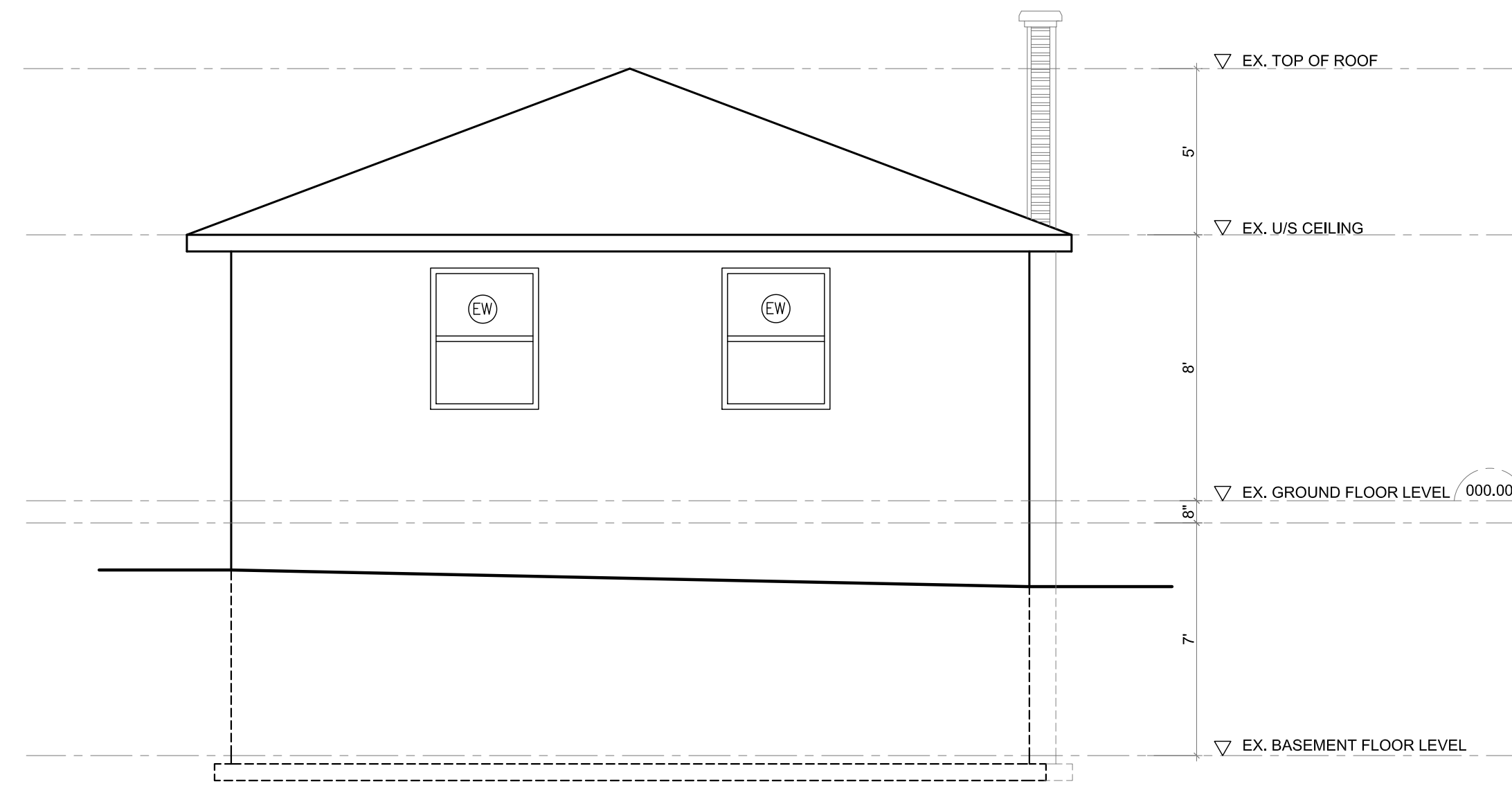
PROJECT :  
**PROPOSED TWO STOREY RESIDENCE  
AT NELSON ST.  
MARKHAM , ON**

DRAWING:  
**EAST AND WEST SIDE ELEVATION**

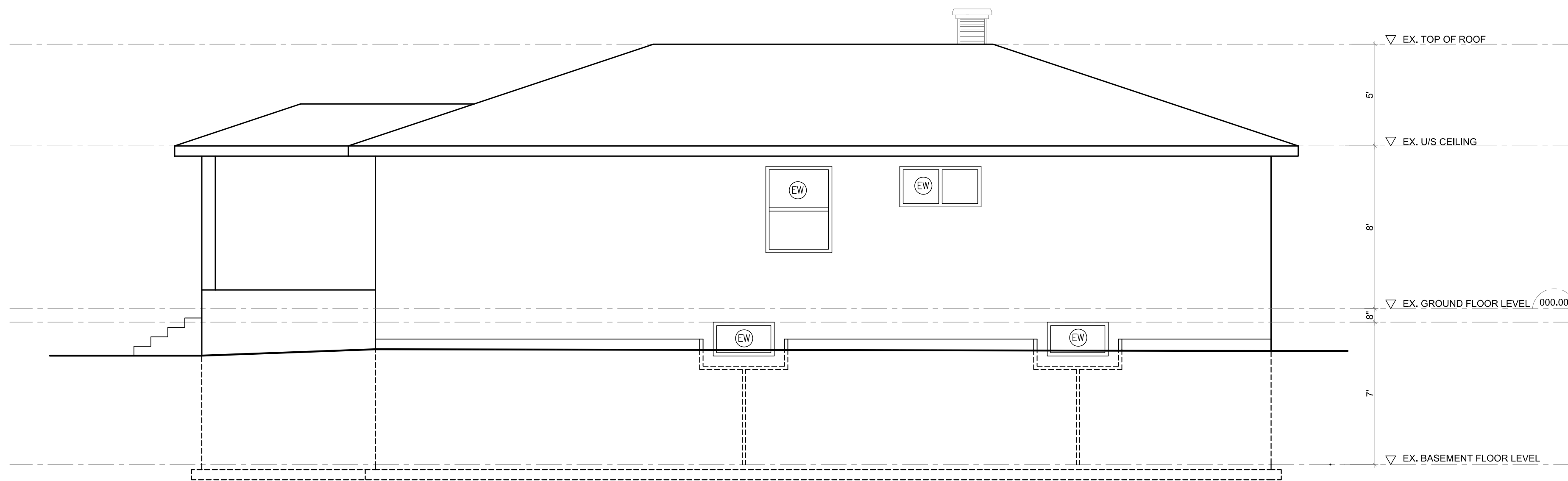
DATE: 08/22/2022  
SCALE: AS NOTED  
DRN: SPENCER CKD: YASO  
DRAWING NO. **A5**



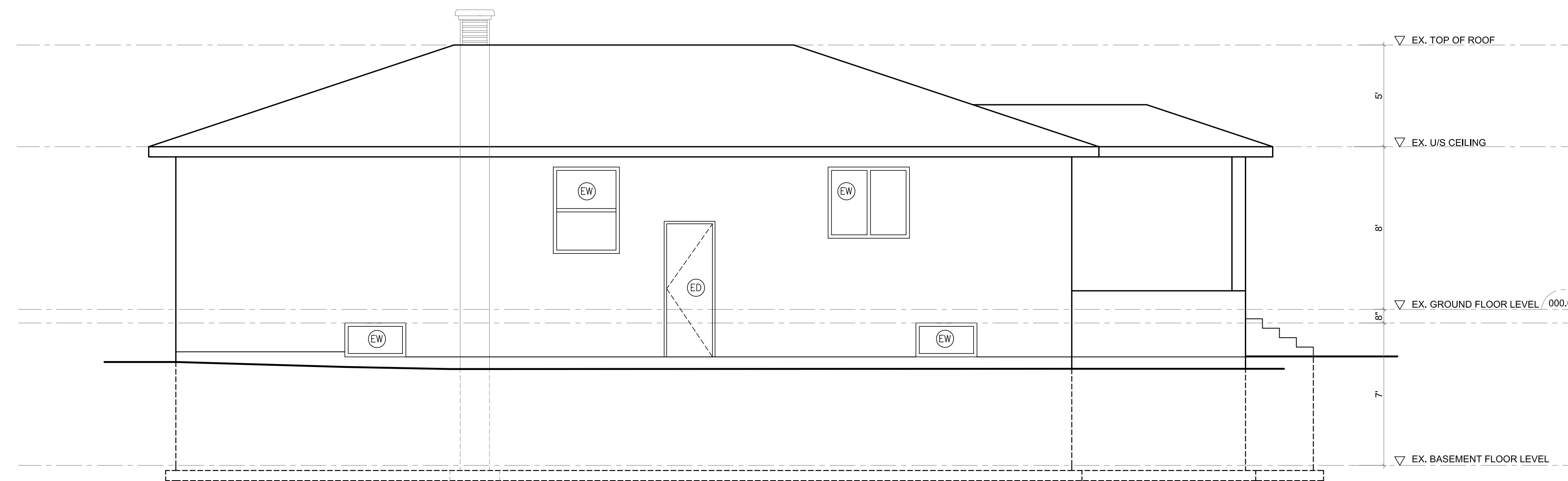
**EXISTING FRONT ELEVATION**  
SCALE : 1/4"=1'



**EXISTING REAR ELEVATION**  
SCALE : 1/4"=1'



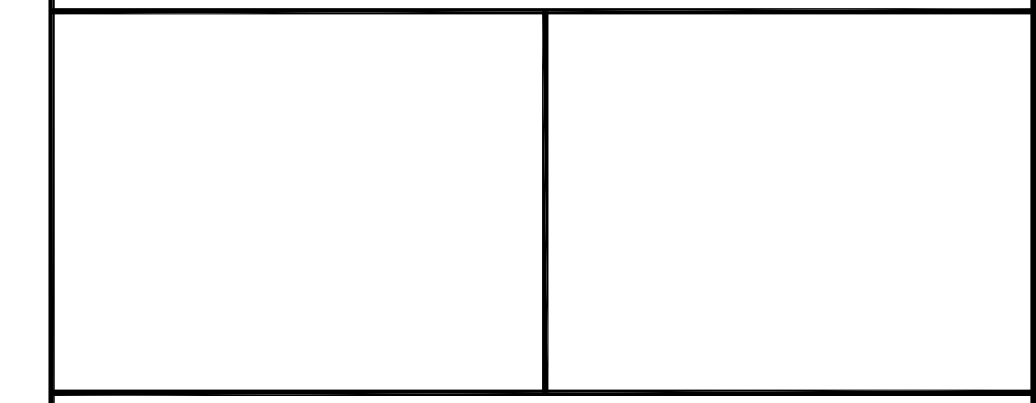
**EXISTING RIGHT SIDE ELEVATION**  
SCALE : 1/4"=1'



**EXISTING LEFT SIDE ELEVATION**  
SCALE : 1/4"=1'

1.	ISSUED FOR ZONING CERTIFICATE	11 / 03 / 2021
NO.	REVISIONS	DATE

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

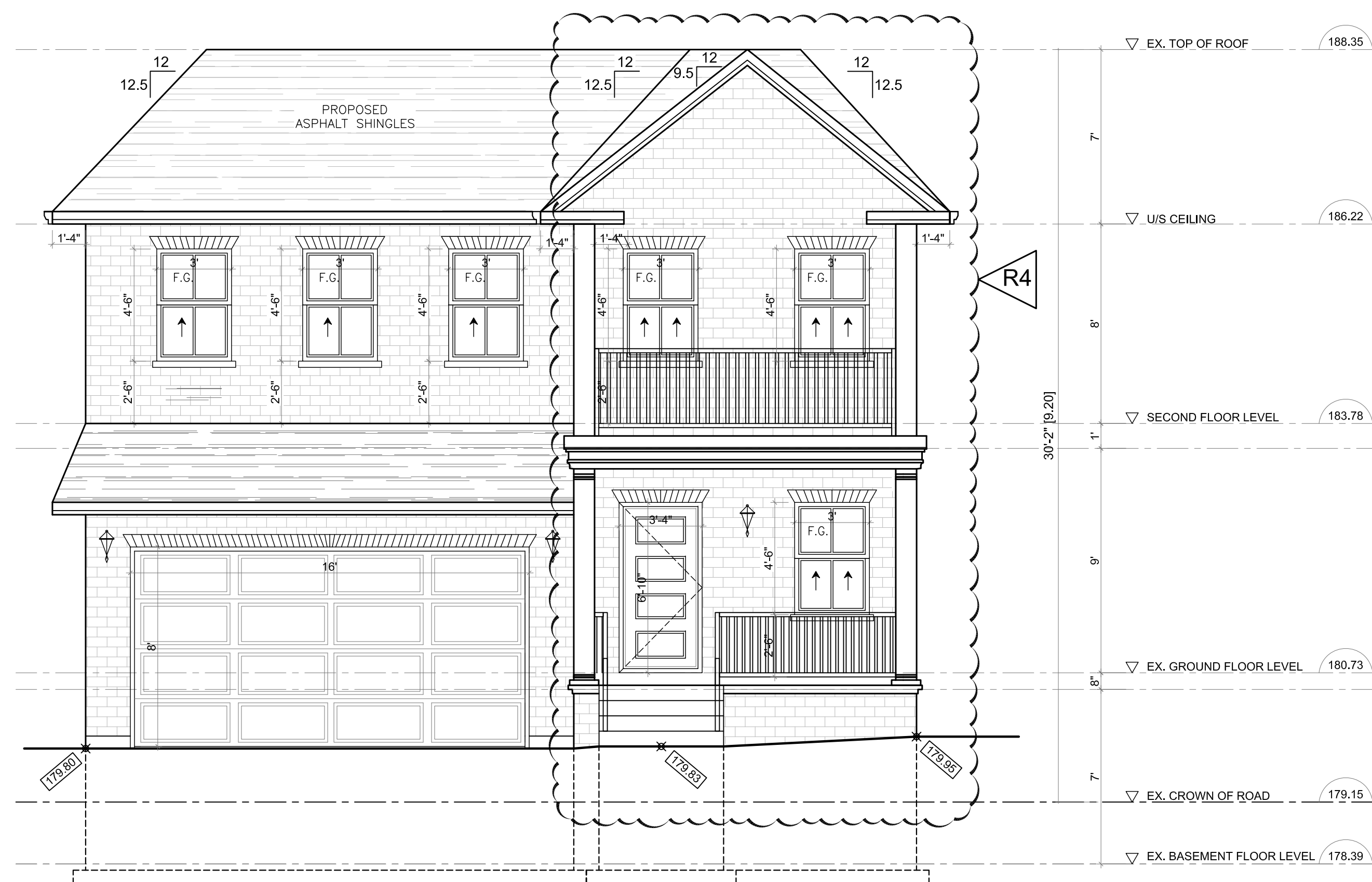


**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
850 TAPSCOTT RD, UNIT # 51, TORONTO ON M1X 1N4  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

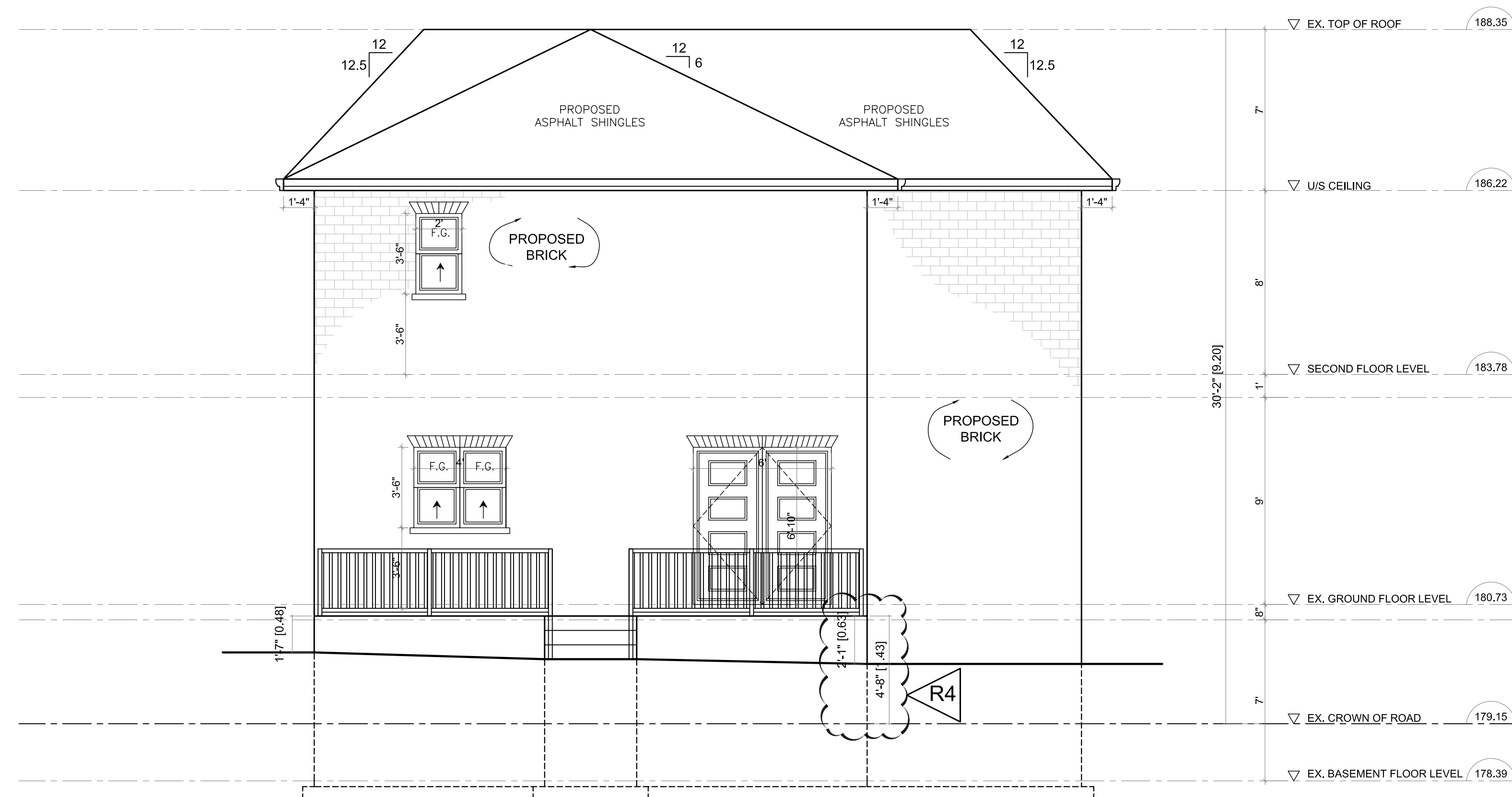
PROJECT :  
**ADDITION & RENOVATION TO EXISTING SINGLE STOREY DWELLING AT 44 ROUGE ST (PART 2) MARKHAM , ON**

DRAWING:  
**EXISTING ELEVATIONS**

DATE: 11 / 02 / 2021  
SCALE: AS NOTED  
DRN: SS CKD: YASO  
DRAWING NO. **A3**



**PROPOSED SOUTH ELEVATION**  
SCALE : 1/4"=1'

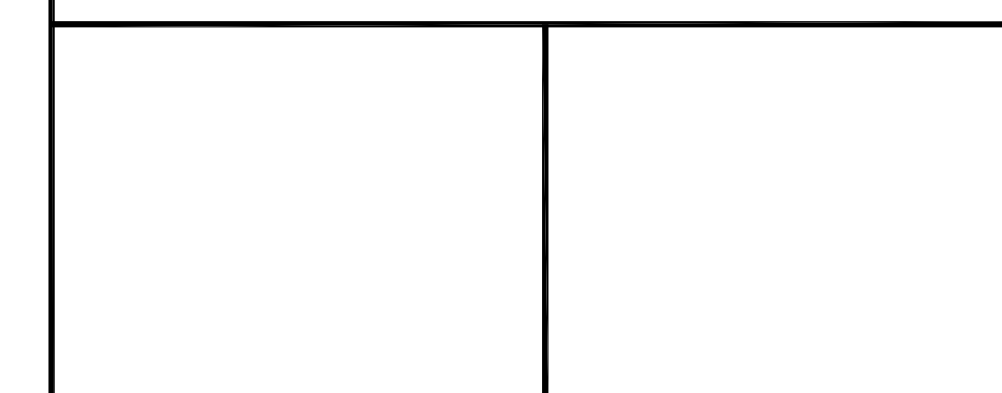


**PROPOSED NORTH ELEVATION**  
SCALE : 1/4"=1'

NO.	REVISIONS	DATE
4.	REVISED AFTER MEETING WITH COMMUNITY	03 / 27 / 2024
3.	REVISION AS PER PLANNING/URBAN DESIGN COMMENTS	11 / 03 / 2023
2.	REV AS PER ZONING REVIEW	06 / 27 / 2023
1.	ISSUED FOR REVIEW	03 / 31 / 2023

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

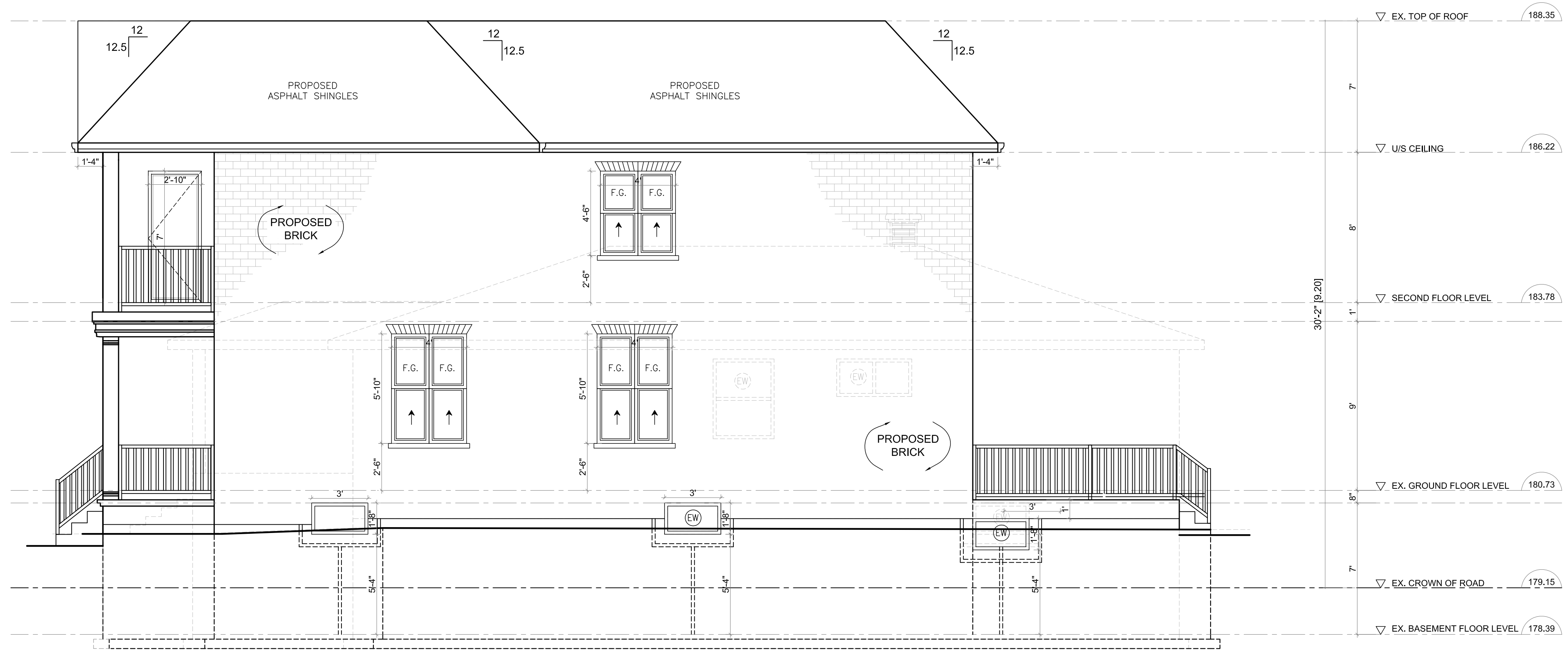


**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

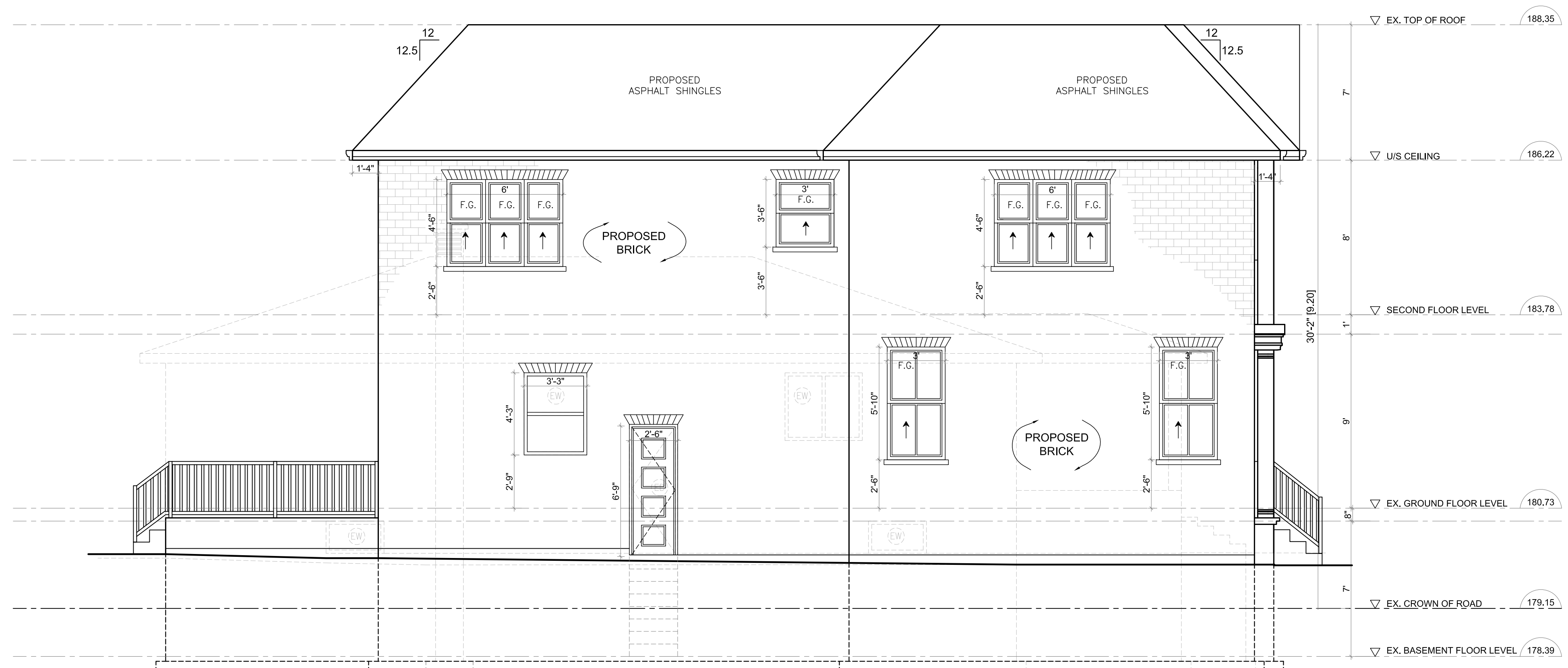
PROJECT :  
**ADDITION & RENOVATION TO EXISTING SINGLE STOREY DWELLING AT 44 ROUGE ST MARKHAM , ON**

DRAWING:  
**PROPOSED NORTH & SOUTH ELEVATIONS**

DATE: 03 / 31 / 2023	DRAWING NO. <b>A6</b>
SCALE: AS NOTED	
DRN: KB CKD: YASO	



**PROPOSED EAST SIDE ELEVATION**  
SCALE : 1/4"=1'



**PROPOSED WEST SIDE ELEVATION**  
SCALE : 1/4"=1'

NO.	REVISIONS	DATE
4.	REVISED AFTER MEETING WITH COMMUNITY	03 / 27 / 2024
3.	REVISION AS PER PLANNING/URBAN DESIGN COMMENTS	11 / 03 / 2023
2.	REV AS PER ZONING REVIEW	06 / 27 / 2023
1.	ISSUED FOR REVIEW	03 / 31 / 2023

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSE UNTIL SEALED AND SIGNED BY THE ARCHITECT.  
DO NOT SCALE DRAWINGS.

**CANTAM**  
*Group Ltd.*  
PLANNING & BUILDING CONSULTANTS  
880 ELLESMERE RD, SUITE # 234, TORONTO ON M1P 2W6  
TEL: 416-335-3353 \* FAX: 416-335-7967 \* CELL: 416-854-2485

PROJECT :  
**ADDITION & RENOVATION TO EXISTING SINGLE STOREY DWELLING AT 44 ROUGE ST MARKHAM , ON**

DRAWING:  
**PROPOSED EAST & WEST SIDE ELEVATIONS**

DATE: 03 / 31 / 2023  
SCALE: AS NOTED  
DRN: KB CKD: YASO

DRAWING NO. **A7**