

ADDRESS: 10950 WOODBINE AVE, UNIT 4 MARKHAM ON L4C 0H9

ZONE: BP- BUSINESS PARK (BYLAW 177-96)  
 PROPOSED USE: WAREHOUSE WITH ACCESSORY OFFICE

**EXISTING SITE STATISTIC**

TOTAL LOT 2 AREA 25,600 m<sup>2</sup> (2.56 ha)

**LOT INFORMATION**

TOTAL GROUND FLOOR AREA (m<sup>2</sup>) 8,291.29 m<sup>2</sup>

CONDO 1 5,106.01 m<sup>2</sup>

CONDO 2 3,185.28 m<sup>2</sup>

TOTAL BUILDING GFA (m<sup>2</sup>) 8,291.29 m<sup>2</sup>

**EXISTING GFA OF BOTH BUILDINGS 9,345.8 m<sup>2</sup>**

**PER CITY RECORD  
 (GFA HAS BEEN UPDATED)**

**CITY OF MARKHAM PARKING BYLAW STANDARDS BYLAW 28-97**

Industrial Uses	
1. <u>net floor area</u> of each premises up to 1200 square metres	1. 1 <u>parking space</u> per 40 square metres or portion thereof of <u>net floor area</u>
2. <u>net floor area</u> of each premises between 1200 square metres up to 6000 square metres	2. 1 <u>parking space</u> per 100 square metres or portion thereof of <u>net floor area</u>
3. <u>net floor area</u> of each premises greater than 6000 square metres	3. 1 <u>parking space</u> per 200 square metres or portion thereof of <u>net floor area</u> (234-97)

**PARKING CALCULATION**

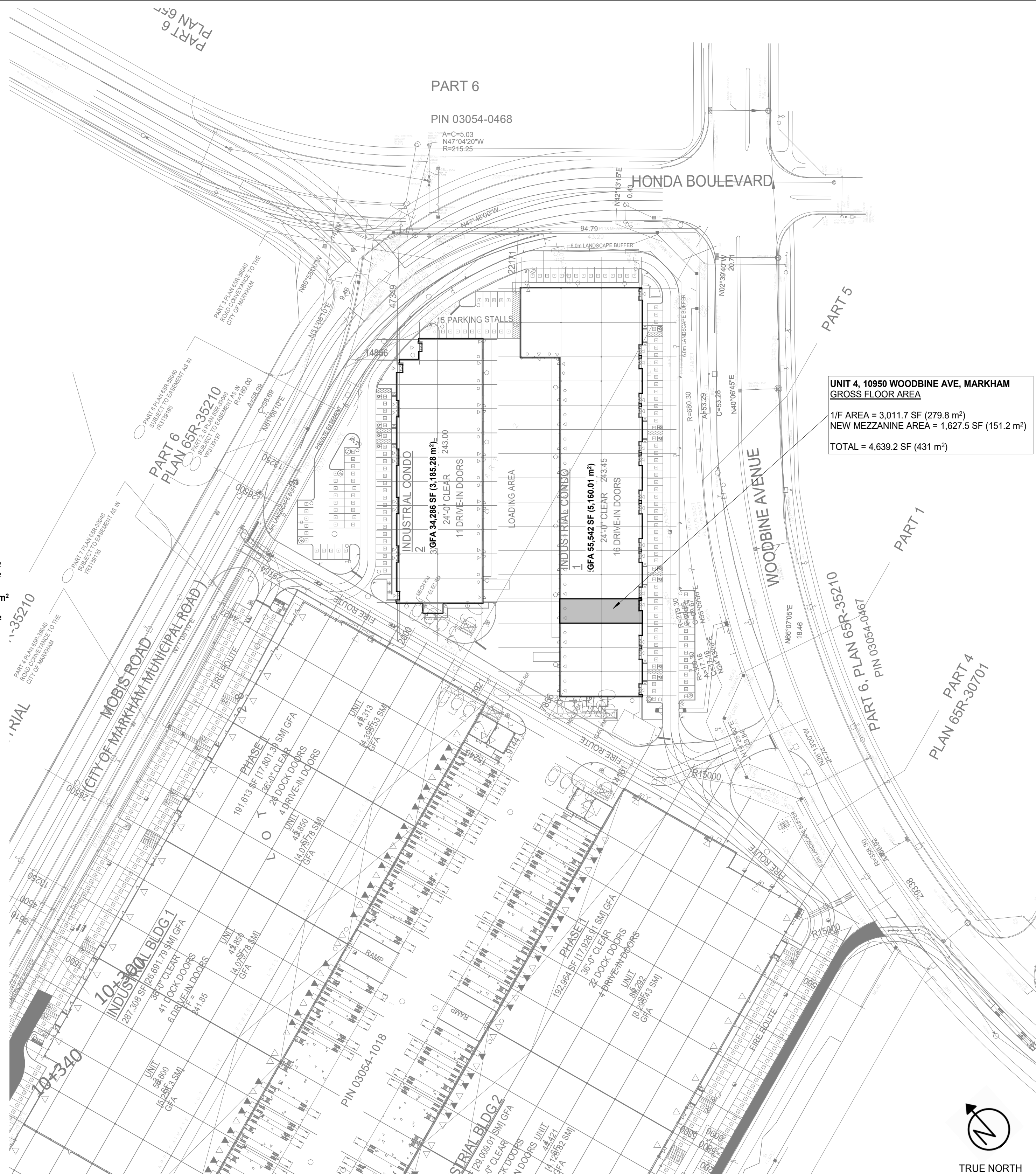
EXISTING AREA OF UNIT 4 (NET AREA - m<sup>2</sup>) 279.8 m<sup>2</sup>  
 ADDITION AREA OF UNIT 4 151.2 m<sup>2</sup>

EXISTING GFA OF BOTH BUILDINGS PER CITY RECORD 9,345.8 m<sup>2</sup>

NEW BUILDING GFA AFTER INCREASE AREA OF UNIT 4 9,497 m<sup>2</sup>

TOTAL EXISTING PARKING ON SITE (CONDO 1 + CONDO 2) 152

TOTAL PARKING SPACE (AFTER INCREASE AREA OF UNIT 4) 158



**UNIT 4, 10950 WOODBINE AVE, MARKHAM  
 GROSS FLOOR AREA**  
 1/F AREA = 3,011.7 SF (279.8 m<sup>2</sup>)  
 NEW MEZZANINE AREA = 1,627.5 SF (151.2 m<sup>2</sup>)  
 TOTAL = 4,639.2 SF (431 m<sup>2</sup>)



**BETTERVIEW  
 CONSTRUCTION LTD.**

60 West Wilmot St, Unit-1, Richmond Hill, ON L4B 1H8  
 www.betterviewltd.ca

REVISION		
NO	DESCRIPTION	DATE
01	FOR REVIEW	2024.09.25

PROJECT ADDRESS:  
**10950 WOODBINE AVE,  
 UNIT 4 MARKHAM ON  
 L4C 0H9**

CLIENT: ALI FAZAL

CLIENT SIGNATURE/INITIAL:

DRAWING TITLE:

**SITE PLAN**

DRAWN BY: TD

PAGE:

SCALE: As indicated

**A.01**

**EXISTING SITE PLAN**  
 (NOT TO SCALE)



TRUE NORTH



### SITE STATISTICS - LOT 2

TOTAL SITE AREA	25,600.6M (2.56 HA)
TOTAL NET AREA	23,780.6M (2.378 HA)
TOTAL GROUND FLOOR AREA (m <sup>2</sup> )	6,291.29
LOT COVERAGE	32%
TOTAL LANDSCAPE AREA (m <sup>2</sup> )	3,388.40
LANDSCAPE %	13%

LOT 2		
CONDO 1 & 2		
	Required	Proposed
LANDSCAPE BUFFER AREA		
EAST BUFFER (m)	6.00	6.00
WEST BUFFER (m)	3.00	0.00
SOUTH BUFFER (m)	6.00	6.00
NORTH BUFFER (m)	6.00	4.50
REQUIRED FRONT YARD BUILDING SETBACK (m)	6.00	14.85
REQUIRED EXTERIOR SIDE YARD BUILDING SETBACK (m)	3.00	19.29
REQUIRED INTERIOR SIDE YARD BUILDING SETBACK (m)	3.00	7.68
REQUIRED REAR YARD BUILDING SETBACK (m)	NA	NA
MTO SETBACK	NA	NA

LOT INFORMATION		
	CONDO 1	CONDO 2
PHASE 1		
OFFICE (m <sup>2</sup> )	1,533.54	934.51
INDUSTRIAL AREA (m <sup>2</sup> )	3,952.47	2,250.77
TOTAL BUILDING GFA (m <sup>2</sup> )	5,105.01	3,185.28
MECHANICAL ROOM (m <sup>2</sup> )	21.08	21.08
STAGING AREA (m <sup>2</sup> )	NA	NA
NET FLOOR AREA (m <sup>2</sup> )	5,084.93	3,164.20

**City of Markham Parking Standards Bylaw 28-97**  
 Parking is calculated for each individual industrial premises as follows:  
**Industrial:**  
 - Net floor area up to 1200 sq. m: 1 parking space per 40 sq. m or portion thereof of net floor area  
 - Net floor area between 1200 sq. m and 6000 sq. m: 1 parking space per 100 sq. m or portion thereof of net floor area  
 - Net floor area exceeds 6000 sq. m: 1 parking space per 200 sq. m or portion thereof of net floor area  
 - Accessible: 5% of total parking stalls  
 - Committee of Adjustment Minor Variance Application A024/20  
 - 1 space per 60 m<sup>2</sup> of Gross Floor Area (GFA)

**"Floor Area, Net"** means the aggregate of the gross floor areas of a building above or below established grade, but excluding:  
 - motor vehicle parking areas within the building;  
 - stairways;  
 - elevator shafts and other service and mechanical shafts;  
 - waste/recycling rooms and penthouses;  
 - warehouses;  
 - waste/recycling rooms;  
 - any space within a floor to ceiling height of less than 1.8 metres, and;  
 - any part of a basement that is unfinished, is used solely for storage purposes and is not accessible to the public.

PARKING CALCULATION		CONDO 1	CONDO 2
TOTAL PARKING REQUIRED FOR EACH BUILDING (1 SPACE PER 60 SQ. M)		85	53
TOTAL PARKING REQUIRED ON SITE		138	
TOTAL Proposed		138	
NO. OF PARKING SPACES PROVIDED PER BUILDING		83	55
TOTAL NO. OF PARKING SPACES PROVIDED: BARRIER FREE PARKING SPACES:		152	71
PARKING STALL DIMENSIONS			
STANDARD	2.75m x 5.5m		
ACCESSIBLE	2.5m x 5.5m		
PARALLEL	2.5m x 6.7m		

Related Planning Applications:  
 Consent Application: B104/20

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate

architecture  
 planning  
 interiors  
 graphics  
 civil engineering

180 base pre mills drive, suite 103  
 vaughan, ontario, L4K 5W4  
 p: 905.946.1211  
 f: 905.248.3344  
 a business name of WMA Inc.

**BERKSHIRE AXIS  
 MARKHAM**

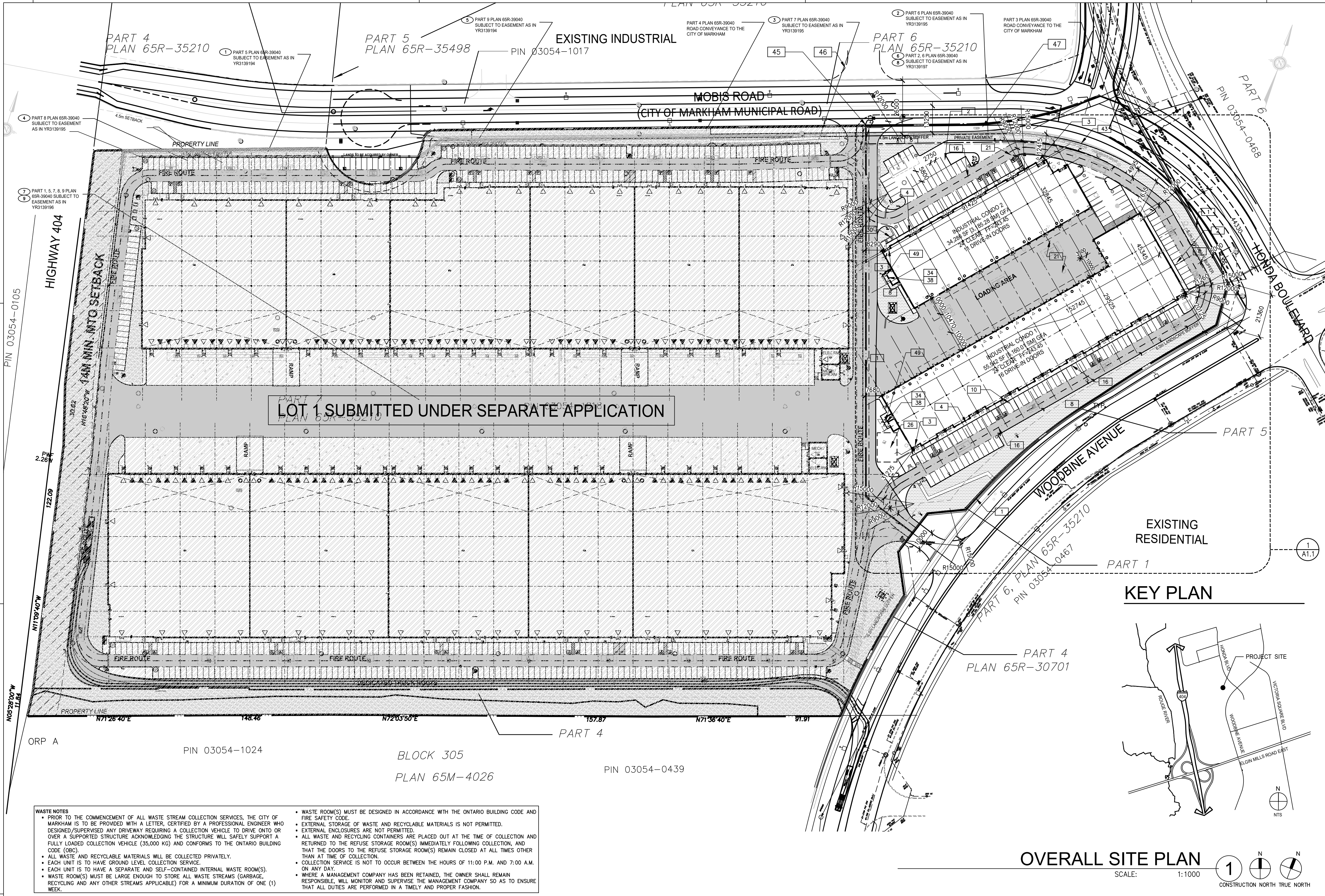
**MOBIS ROAD  
 MARKHAM, ONTARIO**

### OVERALL SITE PLAN

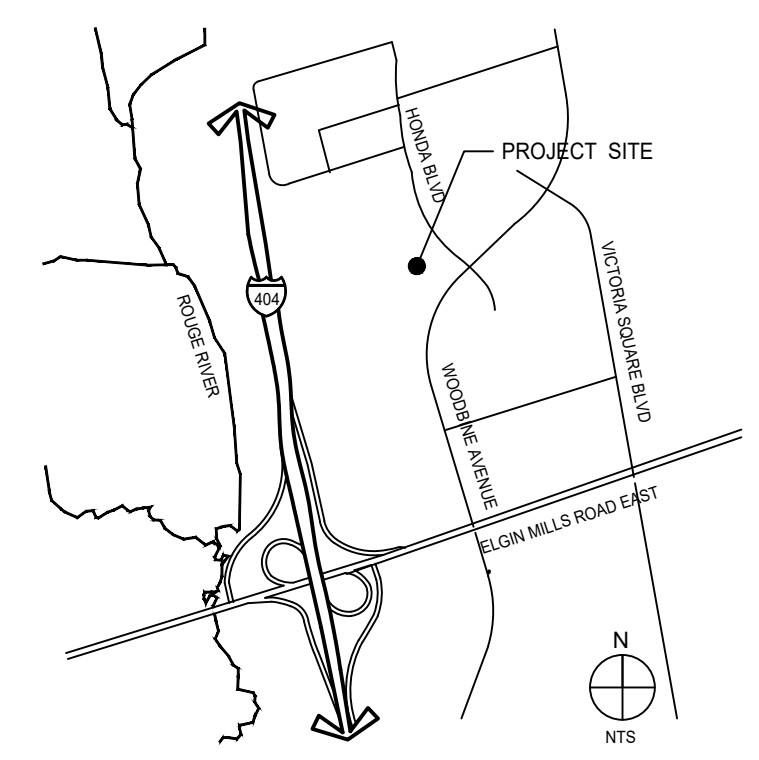
DATE	REMARKS
2021-04-28	ISSUED FOR PERMIT
2021-06-10	ISSUED FOR TENDER

PA/PM:	CA/LN
DRAWN BY:	NM
JOB NO.:	TOR19-0077-00

SHEET  
**A1.0**  
 CITY FILE #: SPC.20.119174 REGION FILE #: SP.20.M.0138



### KEY PLAN



### OVERALL SITE PLAN

SCALE: 1:1000  
 CONSTRUCTION NORTH TRUE NORTH

### SITE PLAN NOTES

- EXISTING PROPERTY LINE
- 2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 1800mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- DRIVE-IN RAMP, WITH GALVANIZED GUARDRAIL. SEE CIVIL DRAWING FOR SLOPE %
- ACCESSIBLE EXTERIOR CONCRETE RAMP.
- CONCRETE APRON
- LANDSCAPE AREA - SEE LANDSCAPE DWGS.
- EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.
- TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER CITY OF MARKHAM MUNICIPAL STANDARDS. EACH PAIR OF SHARED STALL TO HAVE (2) 2600X5800 LONG WITH A 1500mm WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 150mm WIDE CURB TYPICAL
- EMPLOYEE AMENITY AREA - SEE LANDSCAPE DWGS.
- FIRE DEPARTMENT CONNECTION / SIAMSE
- TRUCK LOADING DOCK (TYPICAL)
- LOADING SPACE, TYP.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS ( - - - - - ) PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF MARKHAM - SPACED 30m APART ON BOTH SIDES AND MAX. 15m FROM STREET CURB
- RETAINING WALL. SEE CIVIL DWNG.
- LINE OF CANOPY ABOVE
- PROPOSED LOCATION OF MECHANICAL ROOM
- PROPOSED LOCATION OF ELECTRICAL ROOM
- HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- PAINTED PEDESTRIAN PATH
- ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- PROPOSED LOCATION OF GAS METER
- CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO - SEE CIVIL DWGS.
- TEMPORARY SNOW STORAGE AREA
- TRCA DRIP LINE STAKING AS OF DECEMBER 9TH, 2019.
- REDI ROCK RETAINING WALL. REFER TO CIVIL DWGS.
- BIKE RACKS. SEE LANDSCAPE DWG.
- 10700MM HEIGHT GUARDRAIL AND HANDRAIL
- CONCRETE TOE WALL SYSTEM - SEE CIVIL DWGS.
- GUARDRAIL OPSD 912.140 - SEE CIVIL DWGS.
- TYPICAL LOADING SPACE 18280 X 2845
- FIRE ALARM SYSTEM ANNUNCIATION PANEL OUTSIDE OF ELECTRICAL ROOM

### SITE LEGEND

- CARPOOL PARKING SPACE WITH TYP. SIGNAGE.
- ALL LANDSCAPING WITHIN 14m MTO SETBACK IS NON-ESSENTIAL AND SHOULD MTO REQUIRE THESE FEATURES BE REMOVED, THEY WILL BE REMOVED AT THE SOLE COST OF THE PROPERTY OWNER, AT NO COST OR LIABILITY TO MTO
- PROPOSED REVISED PROPERTY LINE
- PROVIDE RAPID ENTRY KEY BOX TO BE LOCATED ADJACENT TO THE EXTERIOR DOOR OF THE SPRINKLER ROOM
- WASTE COLLECTION AREA AND TENANT FIT-UPS SUBJECT TO INTERIOR ALTERATION PERMIT
- CONCRETE STAIRS. PROVIDE GUARDRAIL AND HANDRAIL AS PER OBC REQUIREMENTS
- EXISTING LIGHT POLE TO BE RELOCATED-SEE ELECTRICAL DWGS.
- NEW LIGHT POLE LOCATION-SEE ELECTRICAL DWGS.
- PROPOSED WOODBINE CENTRE MEDIAN
- NEW PROPERTY LINE
- PROPOSED LOCATION OF TRANSFORMER-SEE ELECTRICAL DWGS.
- MODIFICATION TO THE ACCESS INCLUDING THE CONCRETE MEDIAN TO BE CONSTRUCTED BY THE REGION/CITY AT THE TIME OF THE FUTURE MIDBLOCK CROSSING CONSTRUCTION AT NO COST TO THE OWNER
- EXISTING ACCESS OF 10 MOBIS DRIVE TO BE REMOVED AND RELOCATED.
- 30000MM WIDE MULTI-USE PATHWAY TYING INTO EXISTING HONDA BLVD SIDEWALK
- GUARD RAIL SYSTEM. REFER TO CIVIL DRAWINGS FOR EXTENT AND CONSTRUCTION
- FIRE SERVICES RAPID ENTRY KEY BOX.

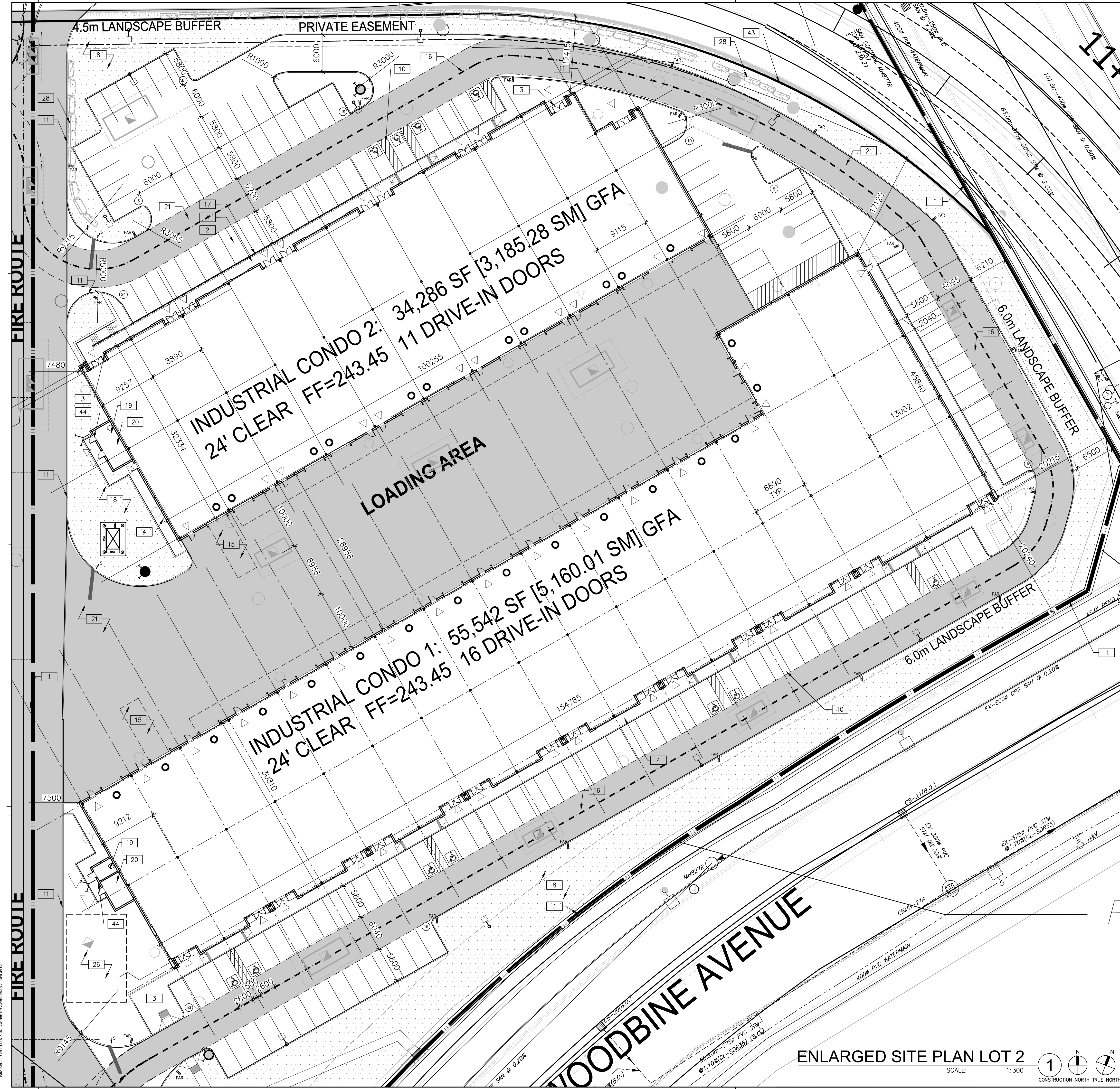
### EASEMENT DESCRIPTION

- INSTRUMENT YR3139194 PART 5 ON PLAN 65R-39040 FLYOVER EMBANKMENT EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139195 PART 6 ON PLAN 65R-39040 TEMPORARY EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139195 PART 7 ON PLAN 65R-39040 TEMPORARY EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139195 PART 8 ON PLAN 65R-39040 TEMPORARY EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139194 PART 9 ON PLAN 65R-39040 FLYOVER EMBANKMENT EASEMENT IN FAVOR OF THE REGION OF YORK.
- INSTRUMENT YR3139197 PART 2, 6 ON PLAN 65R-39040 ACCESS AND PASSAGE EASEMENT IN FAVOR OF PIN 03054-1201 (LT)
- INSTRUMENT YR3139196 PART 1, 5, 7, 8, 9 ON PLAN 65R-39040 ACCESS AND PASSAGE EASEMENT IN FAVOR OF PIN 03054-1202 (LT)
- INSTRUMENT YR3139197 PART 2, 6 ON PLAN 65R-39040 SERVING EASEMENT IN FAVOR OF PIN 03054-1201 (LT)
- INSTRUMENT YR3139196 PART 1, 5, 7, 8, 9 ON PLAN 65R-39040 SERVING EASEMENT IN FAVOR OF PIN 03054-1202 (LT)

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06-22-2020\_PROGRESS SET





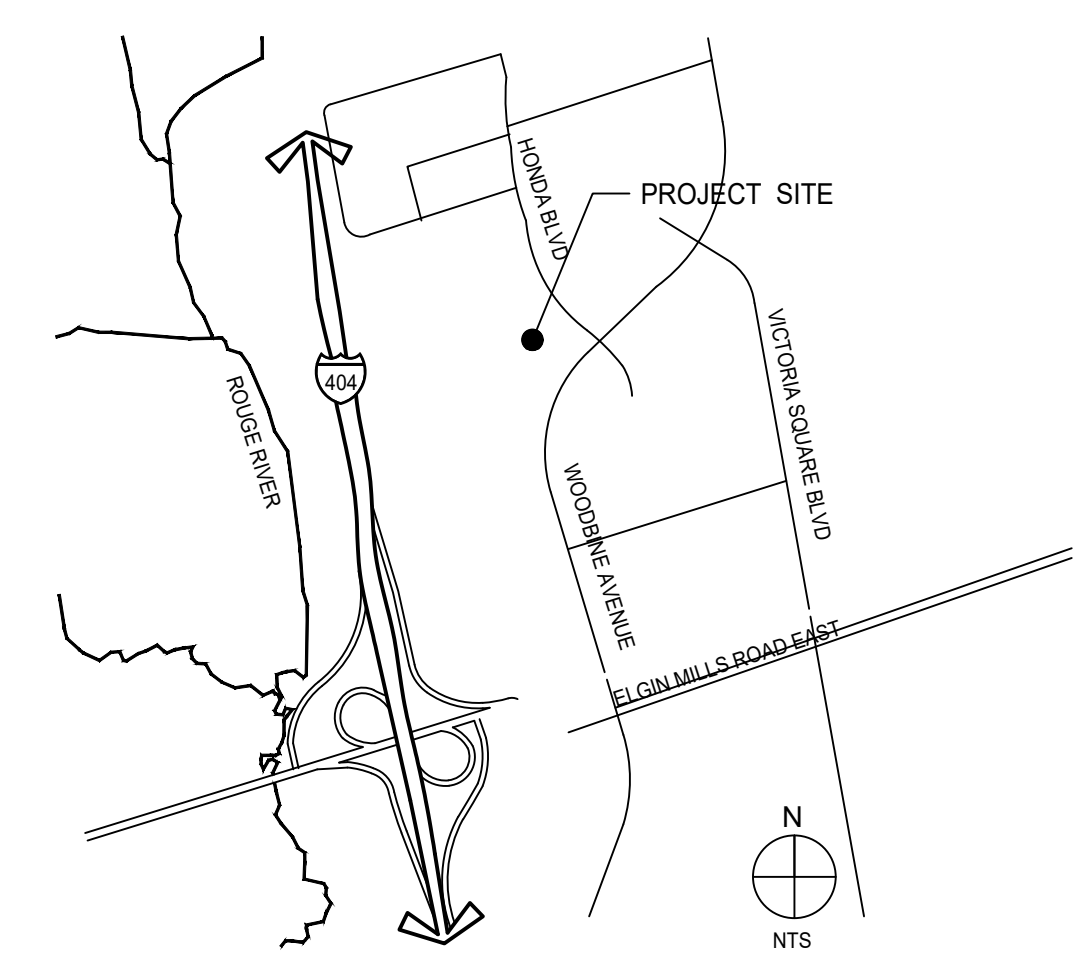
**SITE PLAN NOTES**

- 1 PROPERTY LINE
- 2 2750x5800 PARKING STALL, PAINTED PARKING STRIPPING PER CITY MARKHAM MUNICIPAL STANDARDS.
- 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 4 1500mm MIN. WIDE SIDEWALK TYPICAL U.N.O
- 5 DRIVE-IN RAMP, WITH GALVANIZED GUARDRAIL. SEE CIVIL DRAWING FOR SLOPE %
- 6 ACCESSIBLE EXTERIOR CONCRETE RAMP.
- 7 CONCRETE APRON
- 8 LANDSCAPE AREA - SEE LANDSCAPE DWGS.
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- 11 150mm WIDE CURB TYPICAL
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- 13 FIRE DEPARTMENT CONNECTION / SIAMASE
- 14 TRUCK LOADING DOCK (TYPICAL)
- 15 LOADING SPACE, TYP.
- 16 FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS PROVIDE FIRE ROUTE SIGNAGE AS REQUIRED BY CITY OF MARKHAM.
- 17 RETAINING WALL. SEE CIVIL DWNG.
- 18 LINE OF CANOPY ABOVE
- 19 PROPOSED LOCATION OF MECHANICAL ROOM
- 20 PROPOSED LOCATION OF ELECTRICAL ROOM
- 21 HATCHED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE TRUCK OR TRACTOR TRUCK ACCESS
- 22 PAINTED PEDESTRIAN PATH
- 23 ROAD CURB AND SIDEWALK TO BE CONTINUOUS THROUGH THE DRIVEWAY. DRIVEWAY GRADE TO BE COMPATIBLE WITH EXIST. SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED AT EACH ENTRANCE. SITE ENTRANCE PER CITY STANDARD.
- 24 PROPOSED LOCATION OF GAS METER
- 25 CURB RADII AT ENTRANCES WITHIN MUNICIPAL SIDEWALK LIMITS TO - SEE CIVIL DWGS.
- 26 TEMPORARY SNOW STORAGE AREA
- 27 LOCATION OF BIKE RACK.
- 28 ARMOR STONE RETAINING WALL. REFER TO CIVIL DWGS.
- 29 BIKE RACKS. SEE LANDSCAPE DWG.
- 30 1070MM HEIGHT GUARDRAIL AND HANDRAIL
- 43 NEW PROPERTY LINE
- 44 FIRE SERVICES RAPID ENTRY KEY BOX

**SITE LEGEND**

- MTD SETBACK
- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- FIRE ACCESS ROUTE WITH 12.0M TURNING RADIUS
- TRUCK LOADING DOCK DOOR
- MAN DOOR
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- FLUSH CURB FOR ACCESSIBLE PARKING, FOR SLOPE % SEE CIVIL DRAWINGS
- PROPOSED WALLPACK LIGHTING (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- PROPOSED LIGHTING POLE (VERIFY LOCATION WITH ELECTRICAL DRAWINGS)
- TRANSFORMER LOCATION
- CURRENT PROPERTY LINE
- DRIVE-IN DOOR
- CB (REFER TO CIVIL DWNG.)
- MH (REFER TO CIVIL DWNG.)

**KEY PLAN**



**ENLARGED SITE PLAN LOT 2**  
SCALE: 1:300

1 N N  
CONSTRUCTION NORTH TRUE NORTH



**WARE MALCOMB**  
Leading Design for Commercial Real Estate

architecture 180 base pro mills drive, suite 103  
planning vaughan, ontario, L4K 5W4  
interiors p.905.248.1211  
graphics f.905.248.3344  
civil engineering a business name of WMA Inc.

**BERKSHIRE AXIS**  
**MARKHAM**

MOBIS ROAD  
MARKHAM, ONTARIO

**PARTIAL SITE PLAN**

DATE	REMARKS
2021-04-28	ISSUED FOR PERMIT
2021-06-10	ISSUED FOR TENDER

PA/PM:	CA/LN
DRAWN BY.:	NM
JOB NO.:	TOR19-0077-00

SHEET  
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CITY FILE #: SPC.20.119174 REGION FILE #: SP.20.M.0138