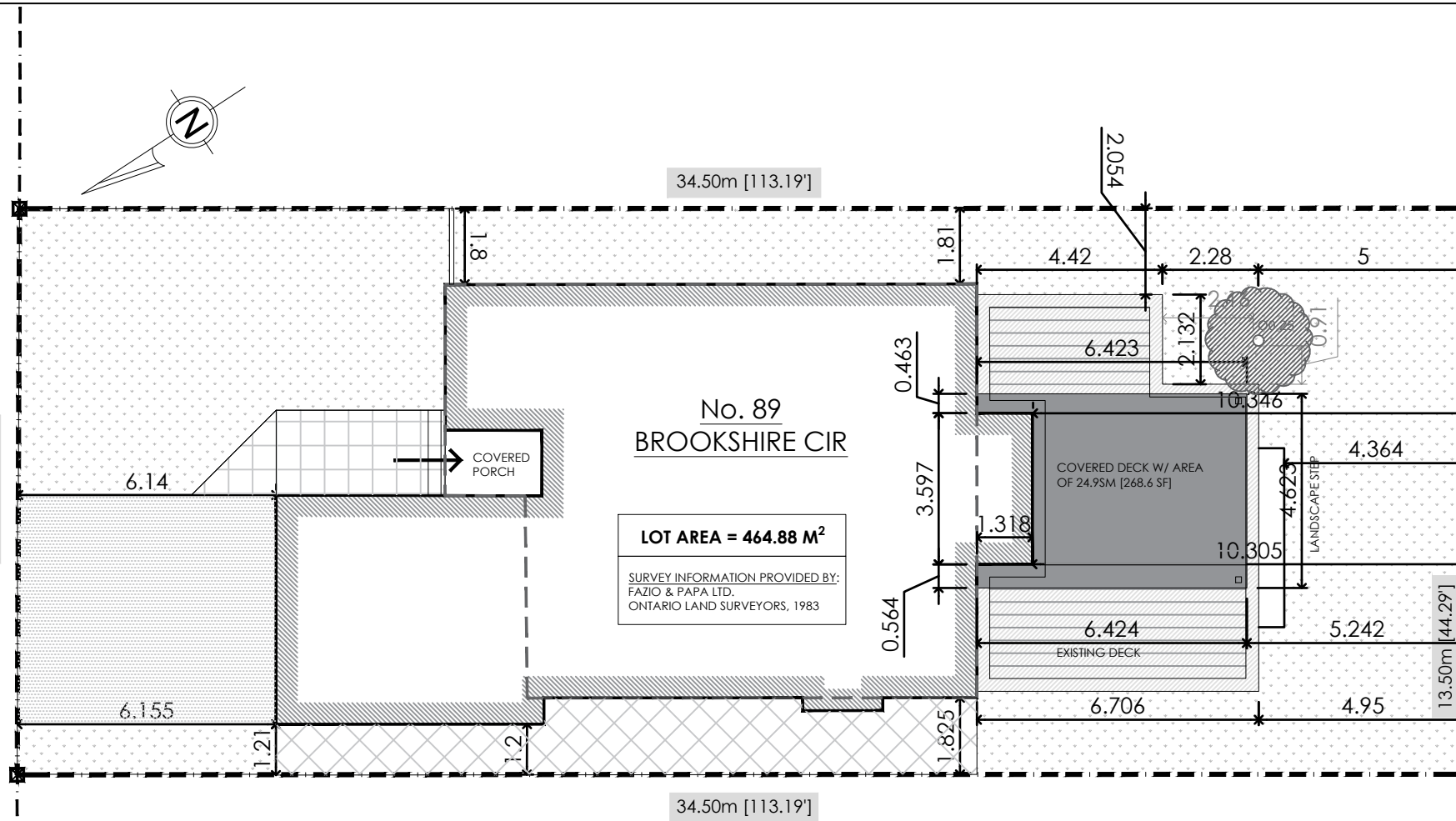


BROOKSHIRE CIR

13.50m [44.29']







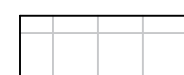




No. 89
BROOKSHIRE CIR

LOT AREA = 464.88 M²

SURVEY INFORMATION PROVIDED BY:
FAZIO & PAPA LTD.
ONTARIO LAND SURVEYORS, 1983

1 SITE PLAN
A1.0 SCALE: 1:150

ZONING STATISTICS:		MARKHAM ZONING	
ZONING:	R8 Single Detached Residential under by-law 72-81		
BUILDING STRUCTURE:	DETACHED		
	ZONING BY LAW	EXISTING	PROPOSED
LOT AREA:	464.88 SM [5,003.92 SF]		
LOT COVERAGE:	33.33% 154.8 SM [1,666.3 SF]	32.99% 153.4 SM [1,650.9 SF] (INC COVERED PORCH)	38.35% 178.3 SM (1,919.5 SF) (INC COVERED PORCH & DECK)
BUILDING HEIGHT:	EXISTING TO REMAIN		
BUILDING SETBACK:			
FRONT:	6.0M	6.14M	NO CHANGES
REAR: HOUSE	7.5M		10.305M
DECK (1M OR LESS IN HEIGHT)	3.0M		5.00M
SIDE:	1.2M & 1.8M	1.2M & 1.825M	NO CHANGES
SIDE:	1.8M	1.8M	NO CHANGES

-  EXISTING BUILDING GROUND FLOOR
-  EXISTING BUILDING SECOND FLOOR
-  PROPERTY LINE
-  EXISTING PAVEMENT TO REMAIN
-  EXISTING SIDEWALK TO REMAIN
-  EXISTING SIDEWALK TO REMOVED
-  EXISTING SOFT LANDSCAPING
-  EXISTING DECK
-  PROPOSED CANOPY

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-08-14
2.		
3.		
4.		
5.		



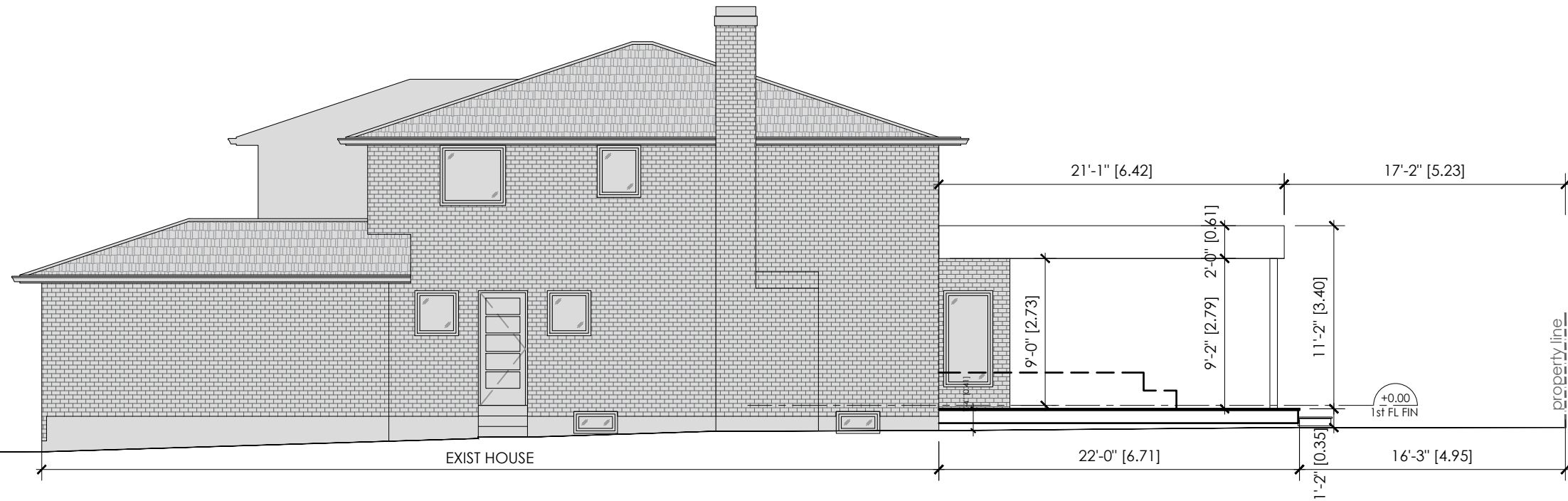
PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project: **CANOPY DESIGN**
89 BROOKSHIRE CIR, THORNHILL, ON

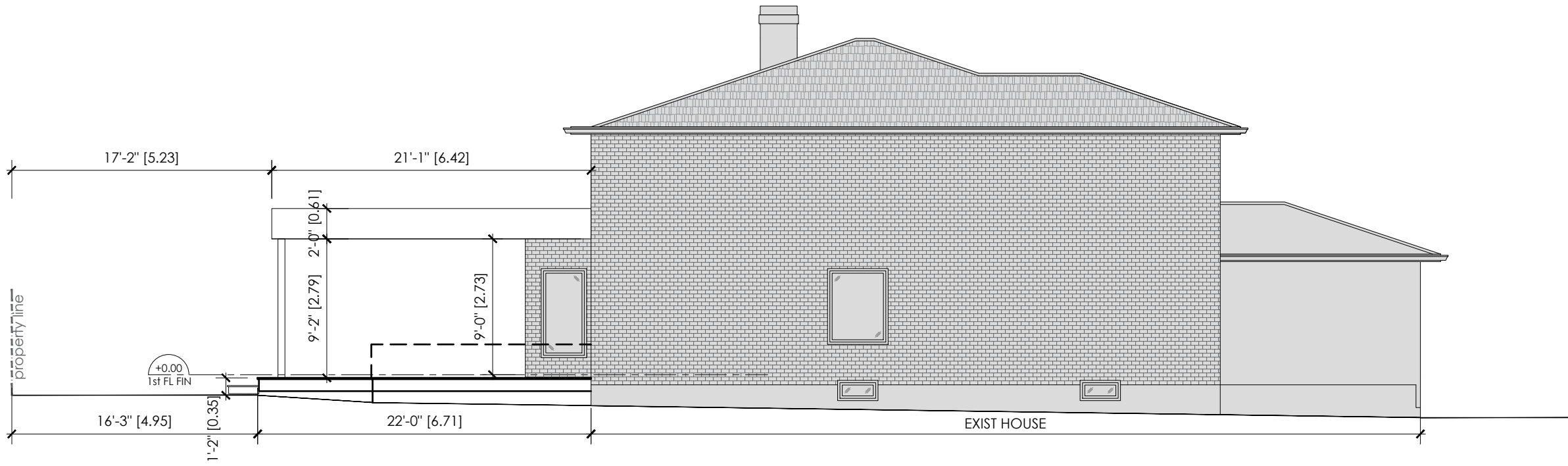
Drawing Name: **SITE PLAN**

BORAZJANI RESIDENCE

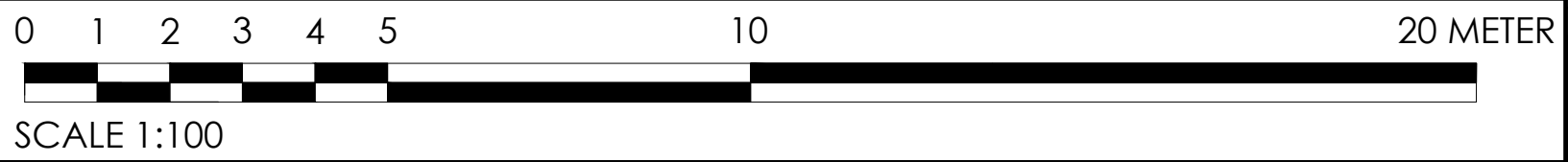
Project no.:	2240148	Date:	JUNE 2024
Drawn by:	TM	Scale:	AS NOTED
Checked by:	RT		
North Arrow:		Drawing No.:	A1.0



1 SIDE ELEVATION
A1.2 SCALE: 1:100



2 SIDE ELEVATION
A1.2 SCALE: 1:100



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-08-14
2.		
3.		
4.		
5.		



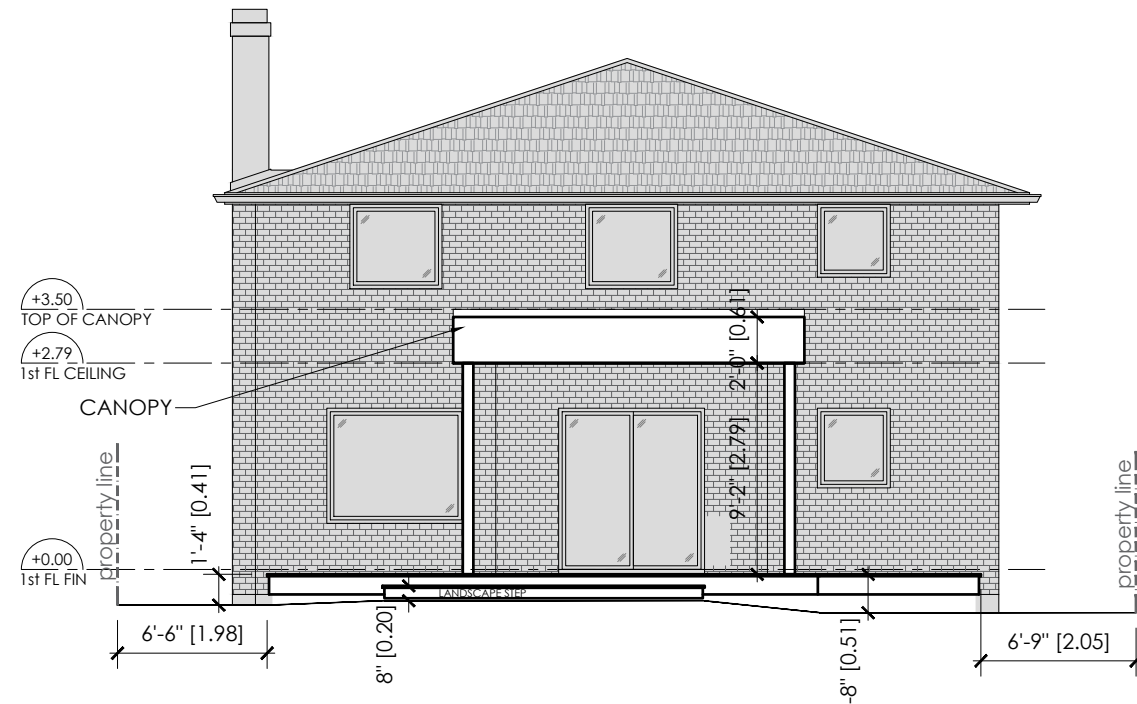
PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project: **CANOPY DESIGN**
89 BROOKSHIRE CIR, THORNHILL, ON

Drawing Name: **SIDE ELEVATIONS**

BORAZJANI RESIDENCE
Project no.: 2240148 Date: JUNE 2024
Drawn by: TM Scale: AS NOTED
Checked by: RT

North Arrow: Drawing No: **A1.2**



1 REAR ELEVATION
A1.3 SCALE: 1:100

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-08-14
2.		
3.		
4.		
5.		



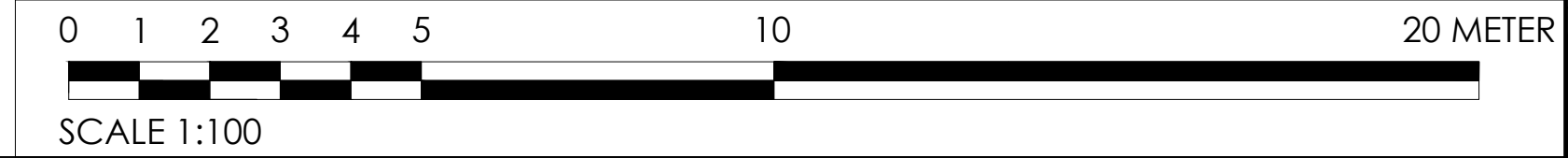
PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

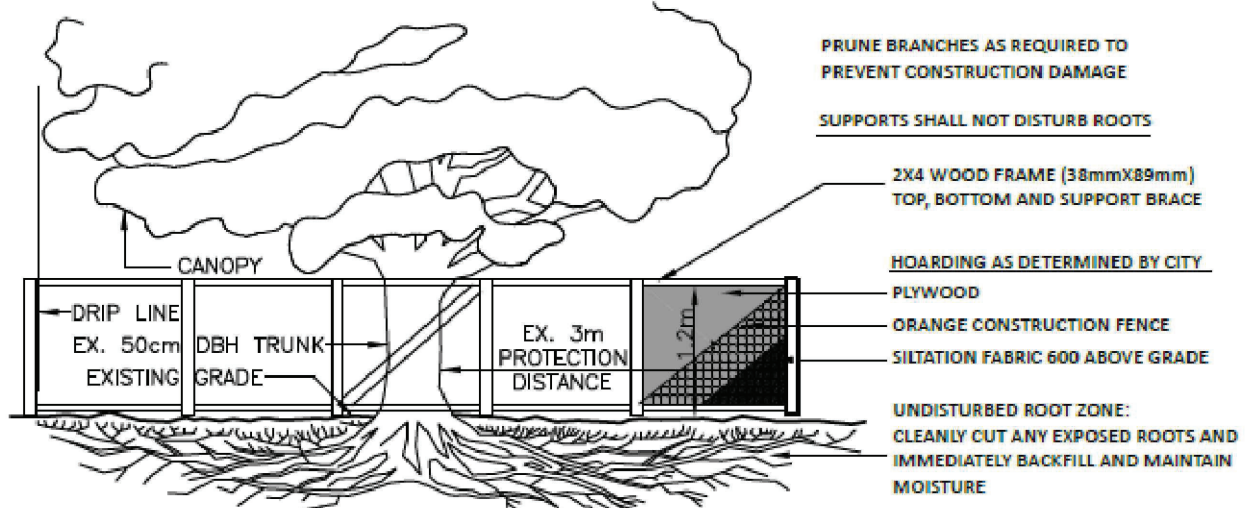
Project: CANOPY DESIGN
89 BROOKSHIRE CIR, THORNHILL, ON

Drawing Name: REAR ELEVATION

BORAZJANI RESIDENCE	
Project no.:	2240148
Date:	JUNE 2024
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT

North Arrow: Drawing No: A1.3





MINIMUM TREE PROTECTION DISTANCE FROM TRUNK:

< 10cm DBH	1.2m
10-19cm DBH	1.8m
20-29cm DBH	2.4m
30-39cm DBH	3.0m
40-49cm DBH	3.6m
50-59cm DBH	4.2m
60-69cm DBH	4.8m
70-79cm DBH	5.4m
80-89cm DBH	6.0m
90-99cm DBH	6.6m
> 100cm DBH	6cm/1cm#

(DIAMETER AT BREAST HEIGHT) DBH - TRUNK DIAMETER AT 1.37m HEIGHT MEASURED UP FROM BASE OF TREE

46cmx61cm SIGN MOUNTED ON ALL SIDES OF BARRIER

MARKHAM TREE PROTECTION ZONE

• No grade change, storage or temporary storage of any materials or equipment, washing of equipment, nor the dumping of any debris is permitted in this area.
• The tree protection barrier must not be altered, moved or removed in any way without the written authorization of the City of Markham.
Breach or removal of the Tree Protection Zone barrier is subject to a fine up to \$5.
Report any Contraventions to
Contact Name: _____ Tel No: 905-477-5339

1. ALL TREE PROTECTION BARRIERS SHALL BE IN PLACE AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION ACCESS.
2. ALL SUPPORTS AND STAKES SHALL BE OUTSIDE THE TREE PROTECTION ZONE AND SHALL MINIMIZE ROOT DAMAGE.
3. TREE PROTECTION BARRIERS SHALL REMAIN IN PLACE AND IN GOOD CONDITION UNTIL ALL CONSTRUCTION IS COMPLETE AND APPROVED BY THE CITY.
4. ALL ARBORICULTURE WORK SUCH AS PRUNING OF BRANCHES AND ROOTS, SHALL BE DONE BY A QUALIFIED TREE WORKER CERTIFIED WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE APPROVED BY THE CITY.

MARKHAM ZONING

R8 Single Detached Residential under by-law 72-81

ZONING BY LAW	EXISTING		PROPOSED
	EXISTING	PROPOSED	
	464.88 SM [5,003.92 SF]		
	33.33% 154.8 SM [1,666.3 SF]	32.99% 153.4 SM [1,650.9 SF] (INC. COVERED PORCH)	38.35% 178.3 SM [1,919.5 SF] (INC. COVERED PORCH & DECK)
EXISTING TO REMAIN			
	6.0M	6.14M	NO CHANGES
	7.5M		10,305M
LESS IN HEIGHT	3.0M		5,00M
	1.2M & 1.8M	1.2M & 1.825M	NO CHANGES
	1.8M	1.8M	NO CHANGES

LEGEND

- EXISTING PAVEMENT TO REMAIN
- EXISTING SIDEWALK TO REMAIN
- EXISTING SOFT LANDSCAPING
- EXISTING DECK
- PROPOSED CANOPY

This drawing, as an instrument of service, is the property of SA Architects. The contractor is responsible for all dimensions and details. The contractor shall be responsible for all dimensions and details. The contractor shall be responsible for all dimensions and details.

REV. ISSUED FOR:

- ISSUED FOR PERMIT
-
-
-
-

- NOTES:
- All field data have been recorded by Connor Wixson, ISA Certified Arborist® ON-2916A. All tree locations are based on the survey supplied by the client and field observation by the arborist.
 - This plan shall be used in conjunction with the Tree Protection Action Key (TPAK). Specific information regarding tree species, condition, and protection protocols are listed therein.
 - Refer to the Arborist Report prepared for this project for specific instruction regarding tree protection requirements.

PLAN KEY

- TREE RECOMMENDED FOR REMOVAL
- RETAINED TREE
- CONIFEROUS TREE FOR REMOVAL
- RETAINED CONIFEROUS TREE
- REPLACEMENT TREE
- RETAINED HEDGEROW
- HEDGEROW FOR REMOVAL
- TREE PROTECTION ZONE

No.	DATE	BY	REVISIONS
001	07/23/2024	CW	Tree Assessment and Preservation Plan



TITLE: Tree Assessment & Preservation Plan
89 Brookshire Circle
Markham, ON

CLIENT: Sara Sahebi

DRAWING NO.: 001 SCALE: 1:75

JOB NO.: SHEET: 1 of 1

TREE PRESERVATION NOTES:

Any tree removal operations are to be carried out by an insured tree care company, employing ISA Certified Arborist(s) to perform the tree removal operations.

Conduct any crown cleaning, elevation pruning, etc. by an ISA Certified Arborist prior to site works commencing.

Any proposed grade change (swale, landscaping, sod, etc.) must not disturb City of Markham boulevard trees. Private trees require grading by hand tool use only (shovels, rake, wheelbarrow). Machinery use is not permitted inside of the minimum TPZ.

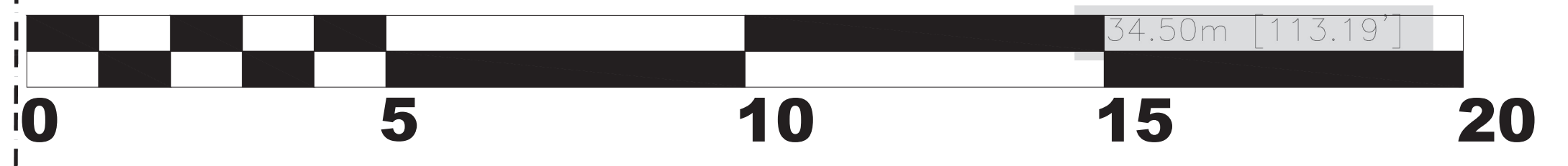
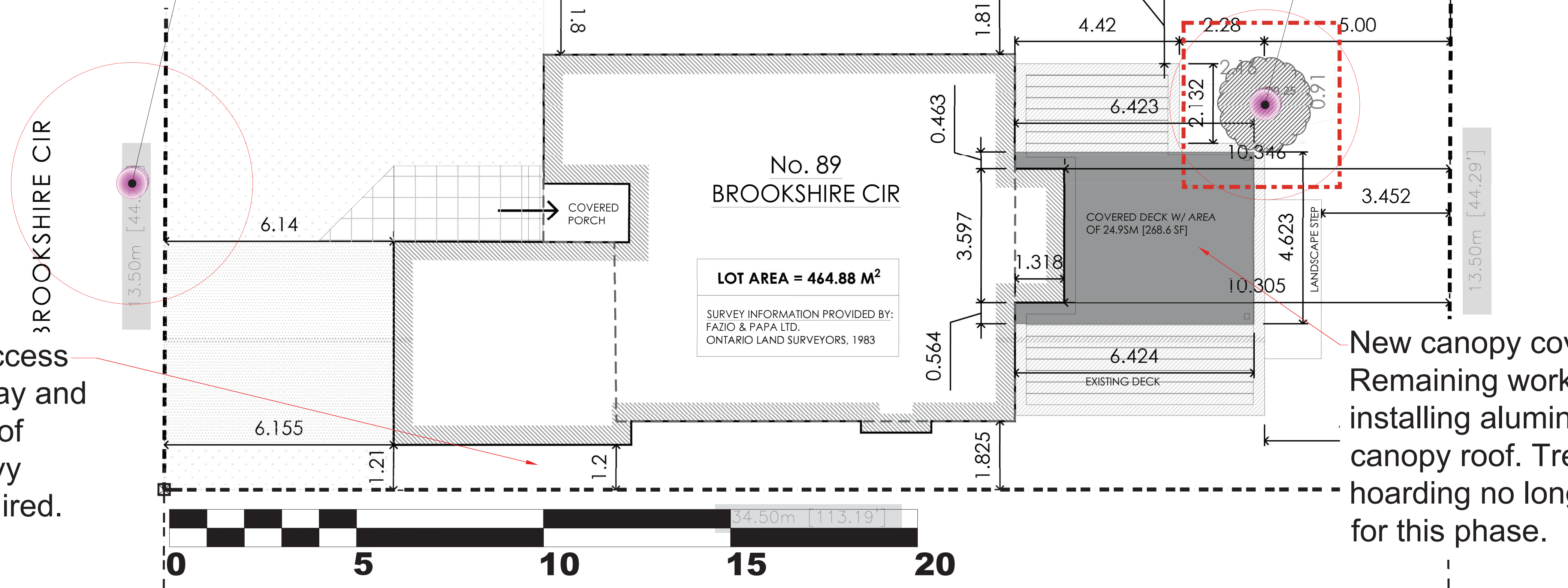
Any site servicing (water, sanitary, electrical, etc.) cannot encroach into the minimum TPZ of City of Markham trees. Trenchless method is to be used with arborist monitoring required. Private trees also require arborist supervision when impacted by proposed services.

All Arborist supervision, monitoring will require verification post construction. Tree Impact Reports are to be submitted to City of Markham outlining root removals including number of roots and size, monitoring information, and tree impact assessment. Failure to retain the arborist may result in lot grading security deposits being retained in full or partially. Further site remediation may be ordered as per city by-law 2008-96.

Tree Map Number	Species	Botanical	DBH (cm) @ 1.4 m	Tree Ownership	Minimum Tree Protection Distance (m)	Health	Structure	Overall Condition	Tree Height (m)	Crown Width (m)	Live Crown Ratio (%)	Deadwood (%)	Construction inside Min TPZ? (Y/N)	Construction Impact (None, Low, Medium, High)	Action	Permit Required? (Y/N)
1	Littleleaf linden	<i>Tilia cordata</i>	46	City	3.0	Good	Good	Good	10	7	80	5	N	None	Preserve	N
2	Honey Locust	<i>Gleditsia triacanthos</i>	27	Private	2.4	Good	Good	Good	7	7	80	5	Y	Low	Injure	Y

#1 3.0m

#2 2.4m



Drawn by: TM
Checked by: gt
North Arrow: