

# Memorandum to the City of Markham Committee of Adjustment

May 10, 2023

**File:** A/026/23  
**Address:** 74 Beckenridge Drive, Markham  
**Applicant:** Steven Steiger  
**Agent:** Square Design Consulting (Anthony Bartolini)  
**Hearing Date:** Wednesday, May 17, 2023

The following comments are provided on behalf of the Central District Team.

The Applicant is requesting relief from the City-wide Deck By-law 142-95, as amended, as it relates to a proposed deck and covered porch in the rear yard. The variance requested is to permit:

**a) Deck By-law 142-95, Section 2.2 (b) (i):**

a deck in excess of 1 metre (3.28 feet) in height to project a maximum of 8.26 metres (27.10 feet) from the point on the dwelling closest to the rear lot line, whereas the By-law permits a maximum projection of 3 metres (9.84 feet) from the point on the dwelling closest to the rear lot line.

## **BACKGROUND**

### **Property Description**

The 1,153.60 m<sup>2</sup> (12,417.25 ft<sup>2</sup>) Subject Lands are located on the north side of Beckenridge Drive, generally located east of Kennedy Road and south of the rail corridor (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised primarily of two-storey detached dwellings.

There is an existing 226.90 m<sup>2</sup> (2,442.33 ft<sup>2</sup>) two-storey detached dwelling on the Subject Lands, which according to assessment records was constructed in 1988. The Subject Lands contain mature vegetation and large mature trees in the front and rear yards.

### **Proposal**

The Applicant is proposing to construct a new 35.40 m<sup>2</sup> (381.04 ft<sup>2</sup>) covered porch and deck (refer to Appendix “B” – Plans) in the rear yard.

### **Official Plan and Zoning**

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Subject Lands are designated “Residential Low Rise”, which permits low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing and setbacks. This criterion is established to ensure that the development is appropriate for the site and generally consistent with the

zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways.

#### Zoning By-law 90-81, as amended

The Subject Lands are zoned “Single Family Residential – Special (R3-S) zone requirements under By-law 90-81, as amended, which permits a single detached dwelling.

#### City-wide Deck Standards By-law 142-95, as amended

The City-wide Deck Standards By-law 142-95, as amended (the “Deck By-law”), sets out the deck standards for the Subject Lands. Section 2.2 (b)(i), permits a maximum projection of 3 metres (9.84 feet) from the point on the dwelling closest to the rear lot line. The proposed development does not comply with the By-law requirements, as it consists of a deck higher than 1 metre (3.28 feet) in height that projects 8.26 metres (27.10 feet) from the point on the dwelling closest to the rear lot line. Further details of the maximum deck projection requirement are provided in the comment section below.

#### **Zoning Preliminary Review (ZPR) Not Undertaken**

The Owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

#### **COMMENTS**

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

#### **Maximum Deck Projection**

The Applicant is requesting a maximum deck projection of 8.26 metres (27.10 feet) from the point on the dwelling closest to the rear lot line, whereas the By-law permits a maximum deck projection of 3 metres (9.84 feet) from the point on the

dwelling closest to the rear lot line. This represents an increase of approximately 5.26 metres (17.26 feet).

The Applicant is not applying for variances for lot coverage, height, or setbacks. The proposed deck is accessed off the first storey of the dwelling; has a height of 0.699 metres (2.29 feet) above average grade; is partly covered; and, maintains a rear yard setback of 20.03 metres (65.71 feet). Given the lot size, Staff are of the opinion that the variance requested is minor in nature and have no concern with the requested variance.

### **Tree Protection and Compensation**

As noted previously, the Subject Lands contain mature vegetation and large mature trees. During the review of the application, the City's Tree Preservation Technician indicated no concerns in regards to the Minor Variance, however noted that tree preservation is required on site and further attention will be required to ensure barriers are to the City of Markham's standards.

Staff recommend that the tree related conditions, as outlined in Appendix "C", be adopted by the Committee to ensure the Applicant installs the appropriate tree protection barriers, if necessary. Staff note the Applicant is required to apply for and obtain a tree permit from the City for any proposed injury to, or removal of any trees that have a diameter at breast height (DBH) of 20.0 cm (7.87 in) or more on the subject property or neighbouring properties. Further mitigation through these processes may also be required to ensure the protection of certain trees is achieved.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of May 10, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

### **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



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Hussnain Mohammad, Planner 1, Zoning and Special Projects

REVIEWED BY:



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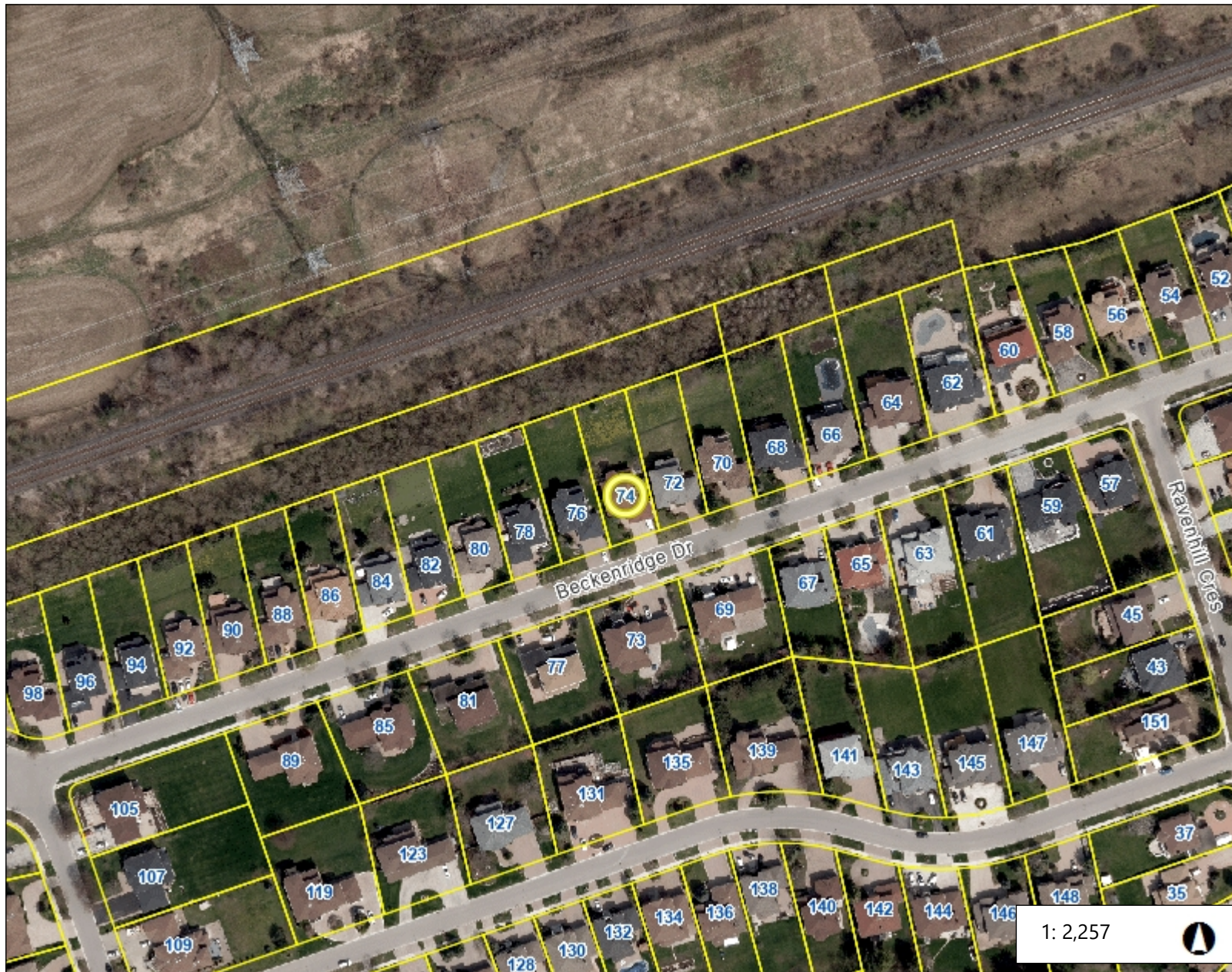
Deanna Schlosser, MCIP RPP, Senior Planner, Central District

**APPENDICES**

Appendix "A" – Aerial Photo

Appendix "B" – Plans

Appendix "C" – A/026/23 Conditions of Approval



Legend

Parcel Overlay

1: 2,257



Notes

114.7 0 57.33 114.7 Meters

## Appendix B

File: 23.113607.000.00.MNV

Date: 05/11/23  
MM/DD/YY

# PROPOSED REAR COVERED PORCH, DECK, SWIM SPA AND LANDSCAPING

74 Beckenridge Dr, Markham, ON L3S 2V3

A00-COVER PAGE  
A1-SITE PLAN  
A2-DECK PLAN  
A3-REAR PORCH PLAN  
A5-ELEVATIONS  
A6-ELEVATIONS  
A7-ELEVATIONS  
A9-DETAIL 1



Square  
Design  
Group

**STRUCTURAL NOTES:**

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:  
 ROOF : Ss = 1.3 KPA, Sr = 0.4 KPA  
 FLOORS : 40 PSF  
 WIND 1/50 : 0.44 KPA BASIC  
 EARTHQUAKE : Sa(0.2) = 0.18  
 climatic data used as per OBC
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

**Foundations**

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

**Concrete specification**

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA.G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job, the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

**STEEL LINTEL SCHEDULE**

L1	Up to 4'-6" Opening	L 3 1/2" x 3 1/2" x 5/16"
L2	Up to 5'-6" Opening	L 4" x 3 1/2" x 5/16"
L3	Up to 6'-6" Opening	L 5" x 3 1/2" x 5/16"
L4	Up to 7'-6" Opening	L 5" x 3 1/2" x 3/8"
L5	Up to 9'-10" Opening	L 6" x 4" x 3/8"
L6	Up to 11'-0" Opening	L 7" x 4" x 3/8"

**Structural Steel**

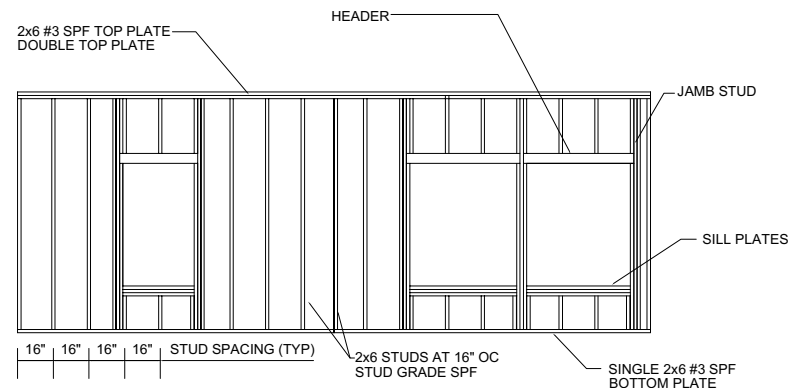
1. Structural steel shall be as follows  
 W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.  
 HSS CAN/CSA G40.21-350W. CLASS C  
 L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel. place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:  
 Design, fabrication and erection CSA-S16.1  
 Welding CSA-W47  
 Cleaning SSPC-SP3-63  
 Bolts 3/4" Ø U.N.O ASTM-325-80A  
 Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

**Wood**

1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada Ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1

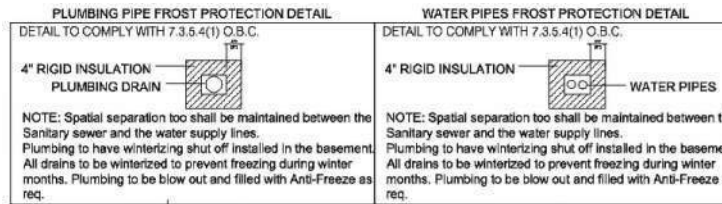
**WOOD LINTEL SCHEDULE**

WB1	Up to 3'-6" Opening	3 - 2" x 6"
WB2	Up to 5'-6" Opening	3 - 2" x 8"
WB3	Up to 6'-6" Opening	3 - 2" x 10"
WB4	Up to 7'-6" Opening	3 - 2" x 12"



**TYP. WALL**

- NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
  2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
  3. WALL TO WALL AND CEILING #8x3" SREW 16" O.C.



**1 NOTES**

A0.9 NTS

**GENERAL NOTES**

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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PROJECT NAME:  
74 Beckenridge Dr, Markham, ON L3S 2V3

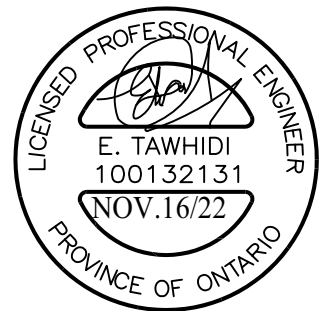
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CONSTRUCTION NOTES

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**Appendix B**

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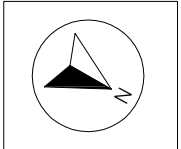
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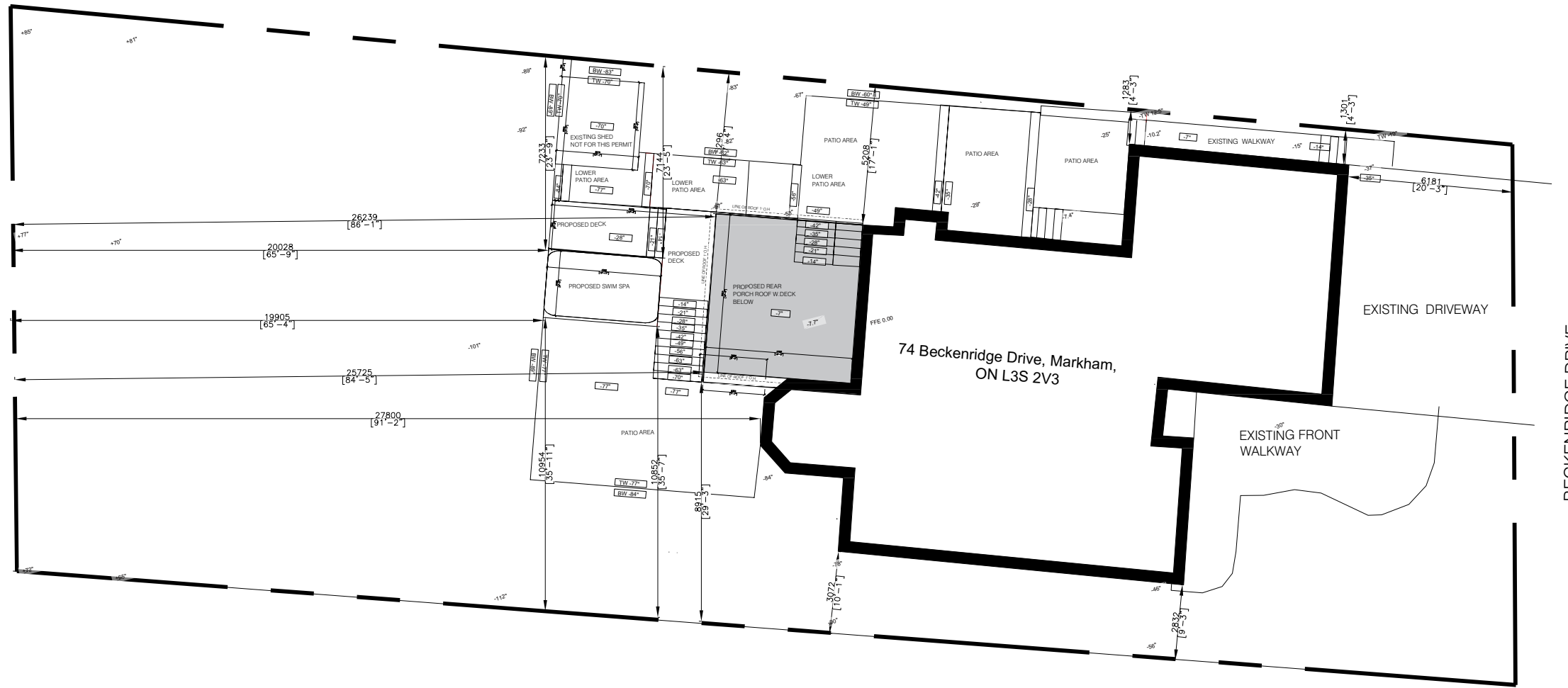
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SITE DEVELOPMENT	
LOT AREA	M2
TOTAL LOT AREA	1153.6 m2
HOUSE AREA	M2
HOUSE FOOTPRINT	226.9 m2
PROPOSED REAR PORCH	35.4 m2
LOT COVERAGE	PROVIDED
EXISTING HOUSE	19.66%
PROPOSED REAR PORCH	3.06%
TOTAL LOT COVERAGE	22.72%

LEGEND	
XXX	-Proposed Grades
X	-Existing Grades
▲	-Entrance Door
T.W	-Top Of Wall
B.W	-Bottom Of wall



FOR STRUCTURAL ONLY



1 SITE PLAN  
A1 1:200

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PROJECT NAME:  
74 Beckenridge Dr, Markham, ON L3S 2V3

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Site Plan

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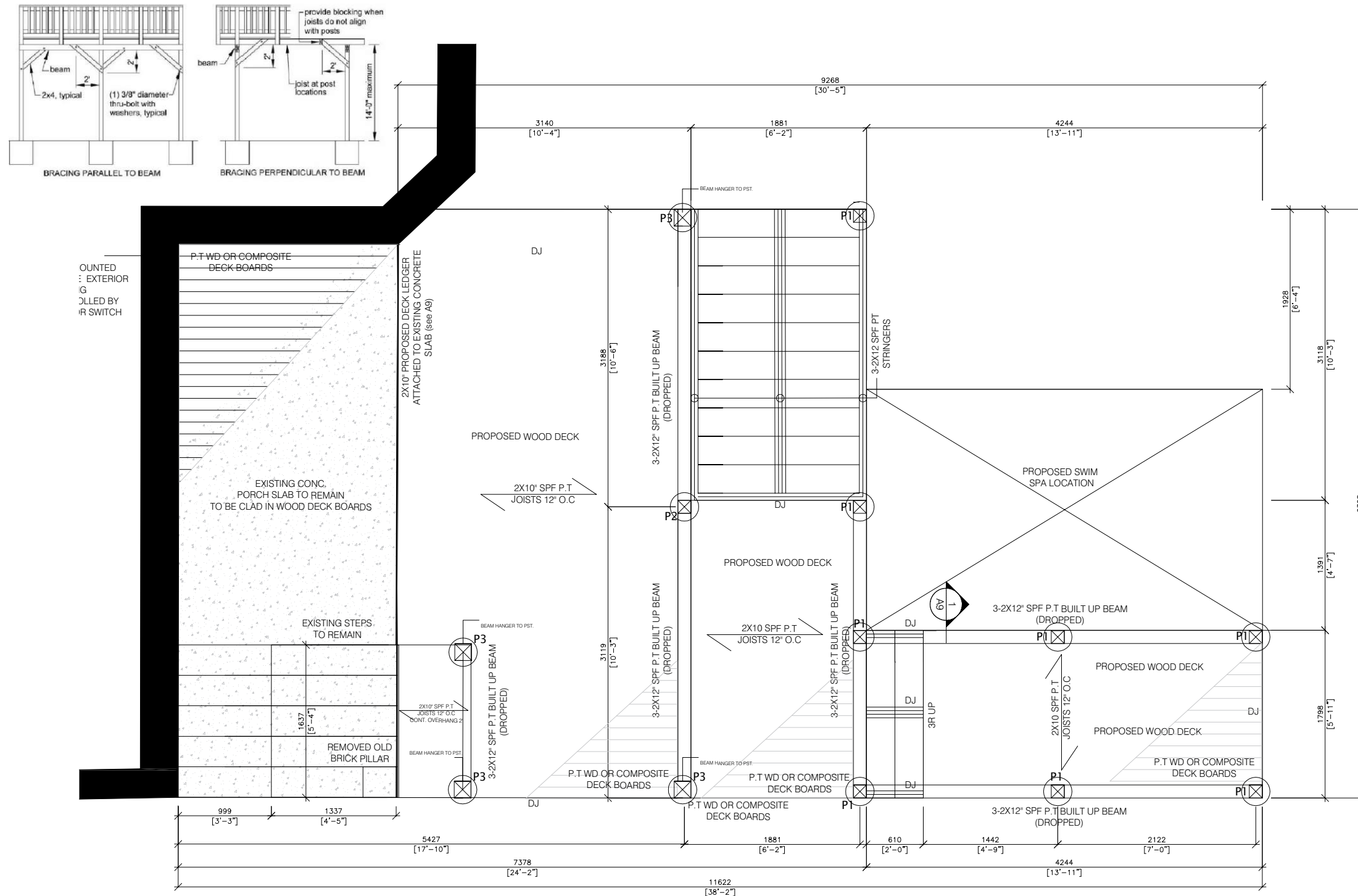
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# Appendix B

File: 23.113607.000.00.MNV

Date: 05/11/23  
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- POST SCHEDULE**
- P1** MIN 6X6 SOLID P.T WOOD POST ON STEEL POST SHOE MIN SOLID 16" SONO TUBE BELOW EACH POST SHALL BE 32 MPA WITH 5-8% AIR ENTRAINMENT ON NATIVE SOIL MIN 1220MM DEPTH
  - P2** MIN 8"X8" SOLID P.T WOOD POST ON STEEL POST SHOE MIN SOLID 12" SONO TUBE @ TOP TO EXPANDED 24" BASE SHALL BE 32 MPA WITH 5-8% AIR ENTRAINMENT ON NATIVE SOIL MIN 1220MM DEPTH
  - P3** MIN 8"X8" SOLID P.T WOOD POST ON STEEL POST SHOE MIN SOLID 12" SONO TUBE @ TOP TO EXPANDED 36" BASE SHALL BE 32 MPA WITH 5-8% AIR ENTRAINMENT ON NATIVE SOIL MIN 1220MM DEPTH

- ALL POSTS TO BE ON STEEL POST SHOE
- ANY FRAMING TO BE ON SIL GASKET
- ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
- ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
- ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC



**1 FLOOR PLAN**  
A2 1:50

**GENERAL NOTES**

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74 Beckenridge Dr, Markham, ON L3S 2V3

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DECK PLAN

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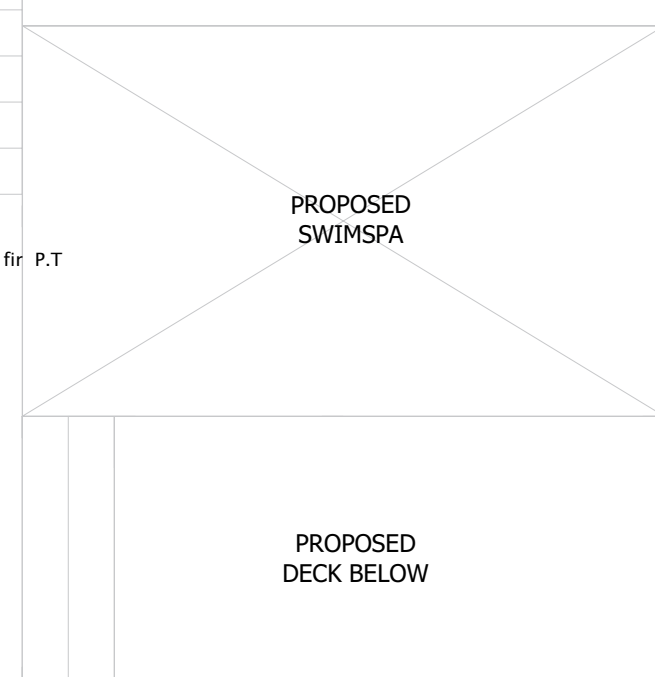
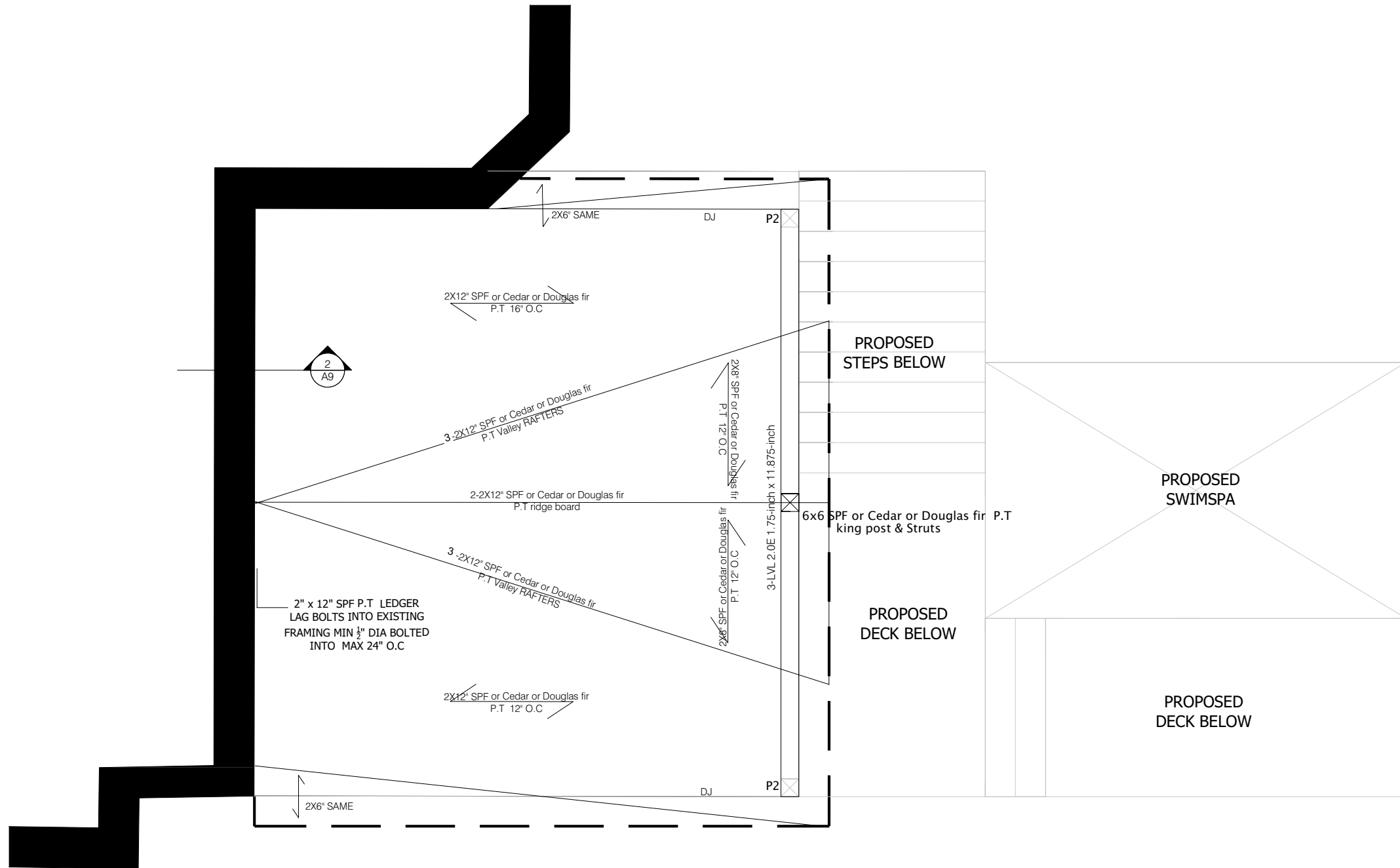


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# Appendix B

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Date: 05/11/23  
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**POST SCHEDULE**  
**P1** MIN 6X6 SOLID P.T WOOD POST ON STEEL POST SHOE MIN SOLID 16\" SONO TUBE BELOW EACH POST SHALL BE 32 MPA WITH 5-8% AIR ENTRAINMENT ON NATIVE SOIL MIN 1220MM DEPTH  
**P2** MIN 8\"X8\" SOLID P.T WOOD POST ON STEEL POST SHOE MIN SOLID 12\" SONO TUBE @ TOP TO EXPANDED 24\" BASE SHALL BE 32 MPA WITH 5-8% AIR ENTRAINMENT ON NATIVE SOIL MIN 1220MM DEPTH  
**P3** MIN 8\"X8\" SOLID P.T WOOD POST ON STEEL POST SHOE MIN SOLID 12\" SONO TUBE @ TOP TO EXPANDED 36\" BASE SHALL BE 32 MPA WITH 5-8% AIR ENTRAINMENT ON NATIVE SOIL MIN 1220MM DEPTH

-ALL POSTS TO BE ON STEEL POST SHOE  
 -ANY FRAMING TO BE ON SIL GASKET  
 -ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS  
 -ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED  
 -ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC



**1 FOUNDATION PLAN**  
A3.0 1:50

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74 Beckenridge Dr, Markham, ON L3S 2V3

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REAR ROOF PLAN

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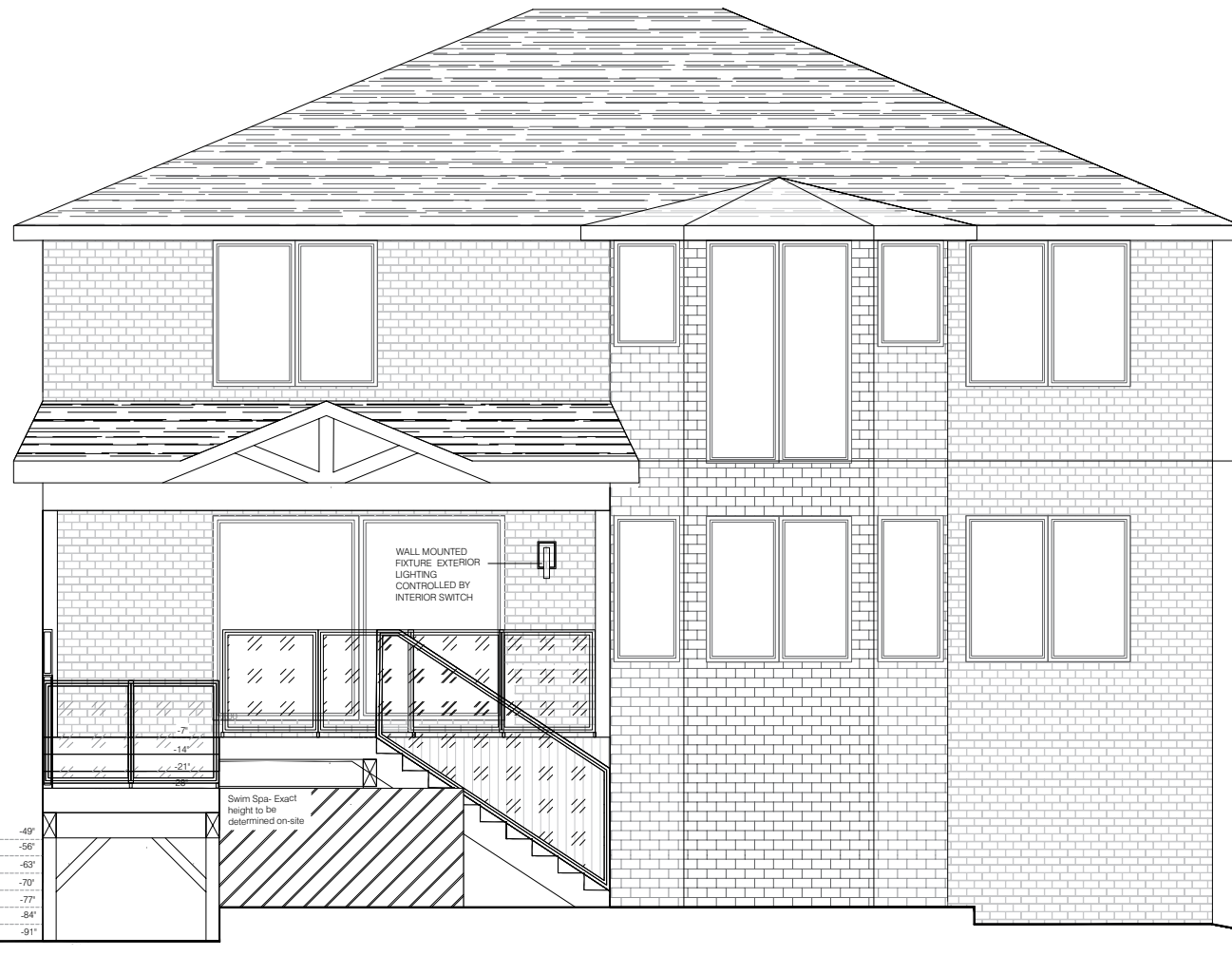
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**Square Design Group**

# Appendix B

File: 23.113607.000.00.MNV

Date: 05/11/23  
MM/DD/YY



- GENERAL NOTES:
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH ONTARIO BUILDING CODE ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH ONTARIO BUILDING CODE AND REGULATIONS.
  2. MATERIALS SHALL BE AS FOLLOWS: MATERIALS SHALL BE AS FOLLOWS:
    - 2.1 CONCRETE 32MPA AT 28 DAYS WITH 5%-8% AIR ENTRAINMENT CONCRETE 32MPA AT 28 DAYS WITH 5%-8% AIR ENTRAINMENT
    - 2.2 REINFORCEMENT STEEL CSA G30. 18M. GRADE 400 REINFORCEMENT STEEL, CA G30. 18M. GRADE 400
    - 2.3 GROUT, HILTI HIT HY 200 OR EQUAL GROUT, HILTI HIT HY 200 OR EQUAL
    - 2.4. 4" & 2" STYROFOAM SM INSULATION W/ THE FOLLOWING PHYSICAL PROPERTIES:
      - THERMAL RESISTANCE PER INCH : R-VALUE 5.0
      - COMPRESSIVE STRENGTH : 30 PSI, 210 KPA
    - 2.5. BACKFILL TO BE OPS GRANULAR B1, OR SUITABLE EXCAVATED MATERIAL BACKFILL TO BE OPS GRANULAR B1, OR SUITABLE EXCAVATED MATERIAL
  3. ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT. ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
  4. EXTERIOR DOOR SHALL CONFORM TO STANDARD AS PER O.B.C. AND RESIST FORCE ENTRY. EXTERIOR DOOR SHALL CONFORM TO STANDARD AS PER O.B.C. AND RESIST FORCE ENTRY.
  5. GLASS TO ENTRANCE DOOR TO HOUSE OR INDIVIDUAL DWELLING UNITS SHALL BE SAFETY GLASS TO ENTRANCE DOOR TO HOUSE OR INDIVIDUAL DWELLING UNITS SHALL BE SAFETY GLASS OR WIRED GLASS WHERE THE AREA GLASS EXCEEDS 0.5 SQ.M AND EXTENDS TO LESS THAN 900MM FROM THE BOTTOM OF THE DOOR AS PER OBC 2012 DIV. B 9.6.1.4(2)
  6. EXTERIOR STAIRS
    - 200mm RISE MAXIMUM
    - 125mm MINIMUM
    - 210mm RUN MINIMUM
    - 355mm MAXIMUM
    - 255mm TREAD MINIMUM 355mm MAXIMUM
    - 7) PRE-ENGINEERED GUARDS
    - 1070mm HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 1800mm:
    - 900mm FOR LESSER HEIGHTS, MAXIMUM 100mm BETWEEN VERTICAL PICKETS



**1** ELEVATION A  
A5.0 1:75

GENERAL NOTES  
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PROJECT NAME:  
74 Beckenridge Dr, Markham, ON L3S 2V3

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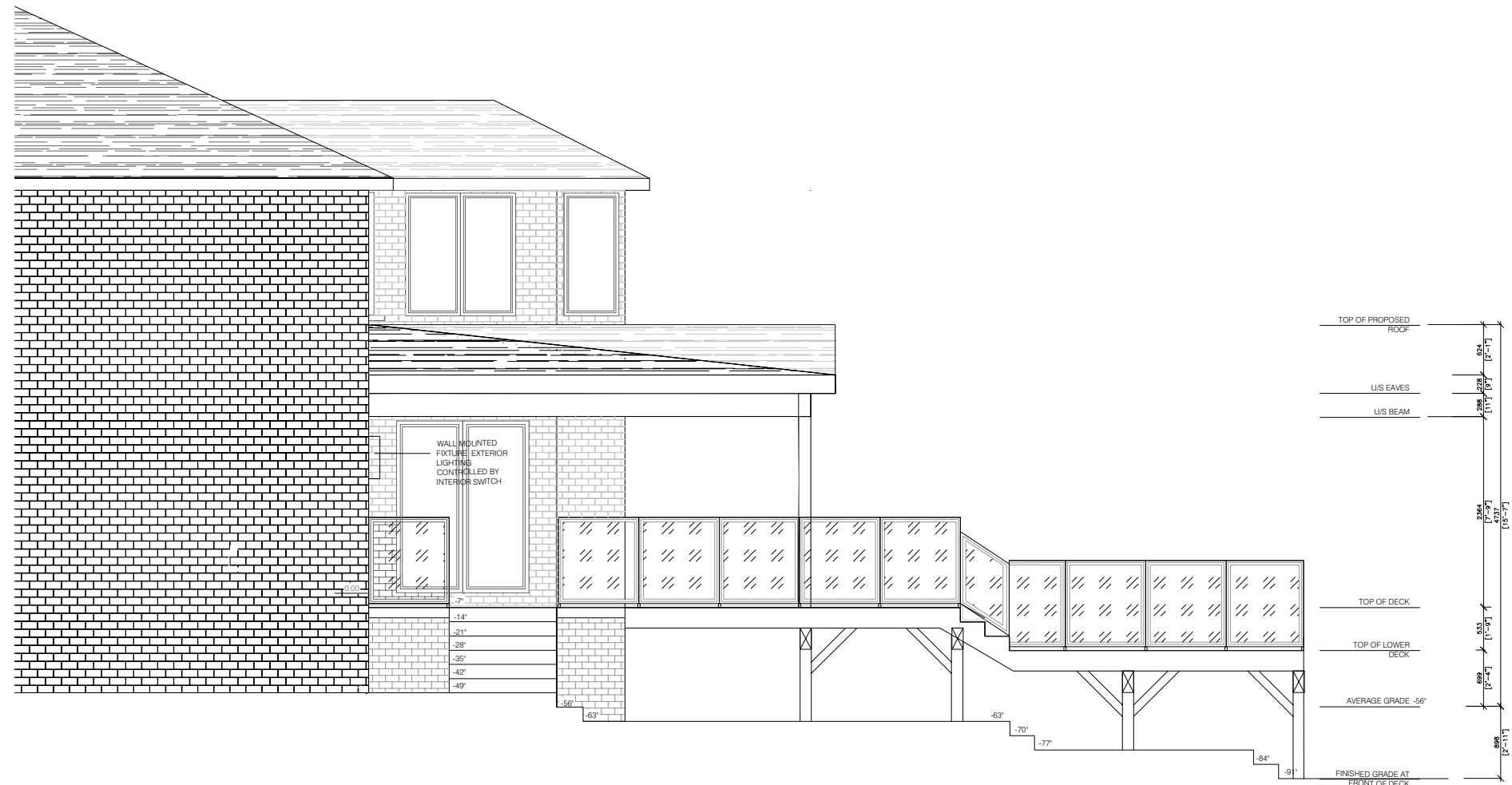


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# Appendix B

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**1** ELEVATION B  
A6.0 1:75

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**1** ELEVATION C  
A7.0 1:75



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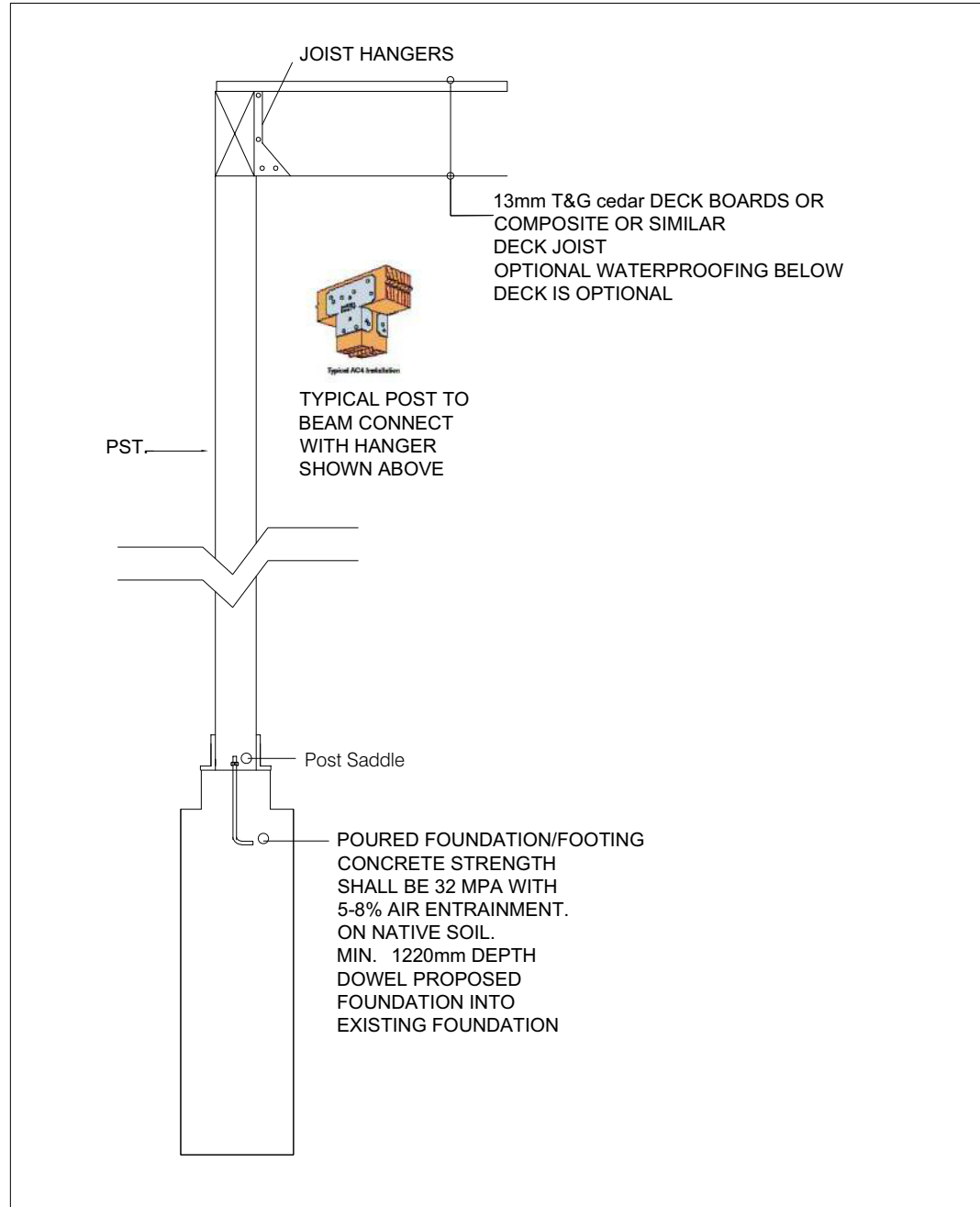


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# Appendix B

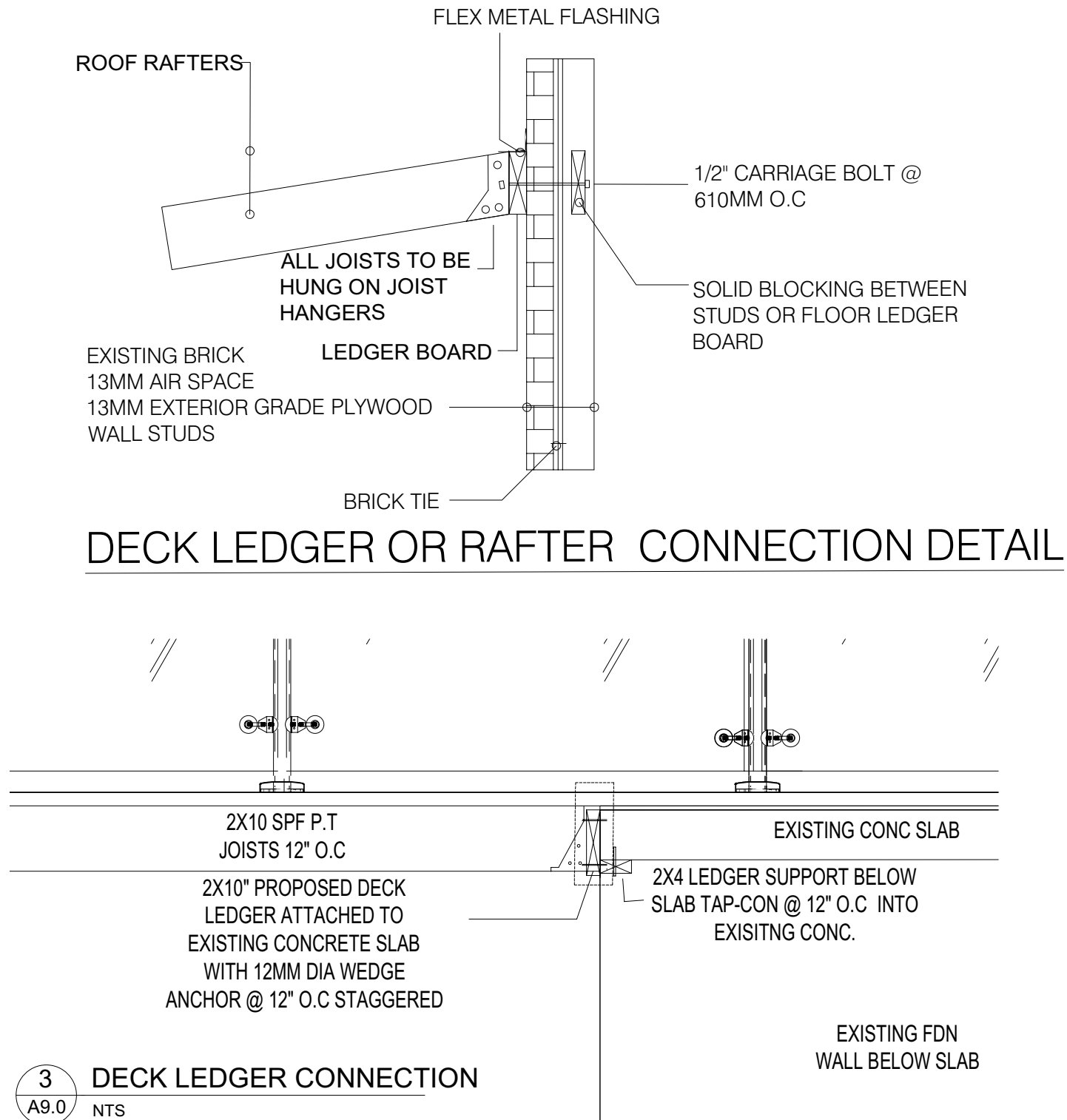
File: 23.113607.000.00.MNV

Date: 05/11/23  
MM/DD/YY



**1** **DETAIL 1**  
A9.0 1:25

**3** **DECK LEDGER CONNECTION**  
A9.0 NTS



## DECK LEDGER OR RAFTER CONNECTION DETAIL



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**GENERAL NOTES**

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:  
74 Beckenridge Dr, Markham, ON L3S 2V3

DRAWING TITLE:  
ELEVATION

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:



SHEET NO:  
**A9.0**

**Appendix B**

File: 23.113607.000.00.MNV

Date: 05/11/23

MM/DD/YY

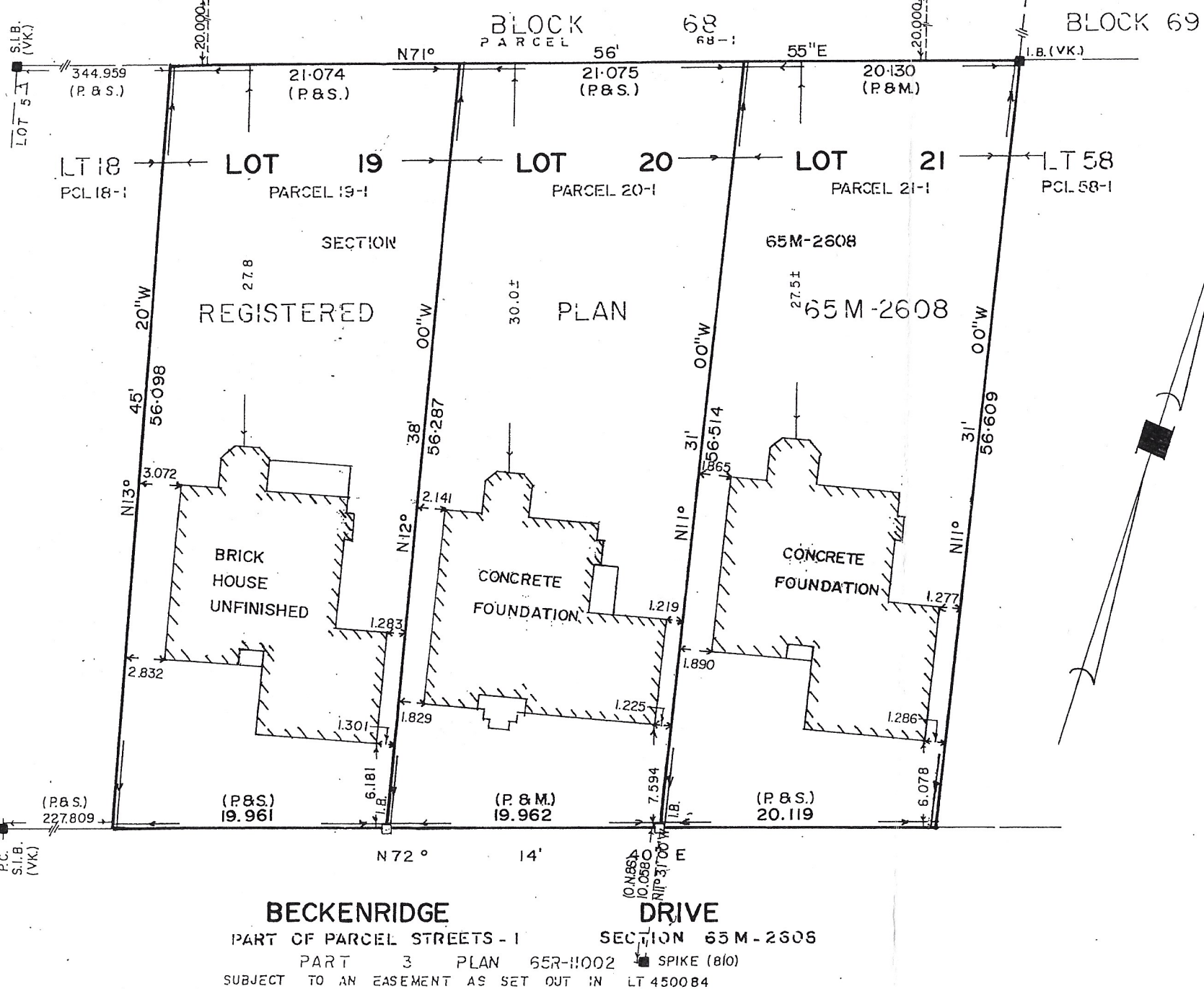
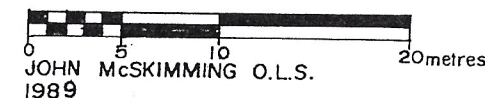
PREPARED FOR:

ALTI HOMES,  
215 MORRISH ROAD,  
WESTHILL, ONT.

LOT 7, CONCESSION 6  
CANADIAN NATIONAL RAILWAYS

**BUILDING LOCATION SURVEY OF  
LOTS 19, 20 & 21  
REGISTERED PLAN 65M-2608  
TOWN OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK**

SCALE- 1:400



**NOTES**

**DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF BECKENRIDGE DRIVE AS SHOWN ON REG'D PLAN 65M-2608 HAVING A BEARING OF N72°14'40"E

- S.I.B. DENOTES STANDARD IRON BAR
- I.B. DENOTES IRON BAR
- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- P. DENOTES REG'D PLAN 65M-2608
- M. DENOTES MEASURED
- S. DENOTES SET
- VK. DENOTES VLADIMIR KRCMAR LIMITED, O.L.S.'s.
- 810 DENOTES JOHN McSKIMMING O.L.S.
- O.N. DENOTES OLD NOTE - JOHN McSKIMMING O.L.S.
- P.C. DENOTES POINT OF CURVE

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:  
THE FIELD SURVEY REPRESENTED ON THIS PLAN  
WAS COMPLETED ON THE 17th DAY OF JAN. 1989

DATE: JAN. 31, 1989

*Ralph Paul*  
RALPH PAUL - ONT. LAND SURVEYOR

**JOHN McSKIMMING ONT. LAND SURVEYOR**  
1646 VICTORIA PARK AVE. TORONTO, ONT.  
TEL. 288-1492

**BECKENRIDGE DRIVE**  
PART OF PARCEL STREETS - 1 SECTION 65M-2608  
PART 3 PLAN 65R-11002 SPIKE (810)  
SUBJECT TO AN EASEMENT AS SET OUT IN LT 450084

## **APPENDIX “C” – A/026/23 Conditions of Approval**

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/026/23**

1. The variance applies only to the proposed development as long as it remains;
2. That the variance applies only to the subject development, in substantial conformity with the plan(s) attached as Appendix “B” to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City’s Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Manager of By-law Enforcement & Regulatory Services Division that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City’s Streetscape Manual, including street trees, in accordance with the City’s Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Manager of By-law Enforcement & Regulatory Services Division.
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Manager of By-law Enforcement & Regulatory Services Division.

CONDITIONS PREPARED BY:



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Hussnain Mohammad, Planner 1, Zoning and Special Projects