

Memorandum to the City of Markham Committee of Adjustment

May 23, 2023

File: A/032/23
Address: 67 Ramona Boulevard, Markham
Applicant: Vachik Hagopain
Agent: RT Architects (Raffi Tashdjian)
Hearing Date: Wednesday, May 31, 2023

The following additional comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements: “One Family Detached Dwellings (R1)” of By-law 1229, as amended, as it relates to a proposed two-storey detached dwelling. The variances requested are to permit:

a) Amending By-law 99-90, Section 1.2(i):

a maximum building height of 10.10 metres, whereas the By-law permits a maximum building height of 9.80 metres,

b) Amending By-law 99-90, Section 1.2(vi):

a maximum floor area ratio of 49.95 percent, whereas the By-law permits a maximum floor area ratio of 45 percent.

BACKGROUND

This application was deferred by the Committee of Adjustment (the “Committee”) at the April 19, 2023 hearing, for the applicant to address the Committee’s concern over the overall massing of the proposed development (Refer to Minutes Extract - Appendix “B”).

COMMENTS

On May 3, 2023, the applicant submitted revised drawings reducing the building height and the floor area ratio. The revised proposal will facilitate the construction of a two-storey single detached dwelling. The applicant reduced the proposed building height by 0.38m from the initial request of 10.48m. In addition, the applicant reduced the proposed floor area ratio by 2.88 percent from the initial request of 52.93 percent, resulting a gross floor area of 319.35 m² (3,437.5 ft²).

A Zoning Preliminary Review was not conducted for the revised drawings. Consequently, it is the owner’s responsibility to ensure that the application has accurately identified all the variances in the Zoning Bylaw required for the proposed development.

Staff’s previous comments remain applicable (refer to Appendix “A”). Staff are of the opinion that the requested variances will not result in overdevelopment of the site and that the proposed dwelling is generally in keeping with the intended scale of residential infill developments for the neighbourhood. Staff have no objection to the approval of the application.

PUBLIC INPUT SUMMARY

As of May 23, 2023 the City received no new written correspondence. Prior to the April 19, 2023 hearing, the Committee received two letters expressing concerns over the requested building height and the floor area ratio that were in relation to the original

variance request. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the requested variances meet the four test of the *Planning Act*. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "C" for conditions to be attached to any approval of this application.

APPENDICES

Appendix "A" – Staff Report Dated April 12, 2023

Appendix "B" – Minutes Extract

Appendix "C" – Conditions of Approval

Appendix "D" – Plans

PREPARED BY:



Trisha Sridharan, Development Technician, Zoning and Special Projects

REVIEWED BY:



Carlson Tsang, Senior Planner, East District

File Path: Amanda\File\23 115546 \Documents\District Team Comments Memo

APPENDIX "A" – Staff Report Dated April 12, 2023

Appendix A

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY

Memorandum to the City of Markham Committee of Adjustment

April 12, 2023

File: A/032/23
Address: 67 Ramona Boulevard, Markham
Applicant: Vachik Hagopain
Agent: RT Architects (Raffi Tashdjian)
Hearing Date: Wednesday, April 19, 2023

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of “One-Family Detached Dwellings (R1)” of By-law 1229, as amended, as it relates to a proposed single detached dwelling. The variances requested are to permit:

a) Amending By-law 99-90, Section 1.2(i):

a maximum building height of 10.48 metres, whereas the By-law permits a maximum building height of 9.80 metres.

b) Amending By-law 99-90, Section 1.2(vi):

a maximum floor area ratio of 52.83 percent, whereas the By-law permits a maximum floor area ratio of 45 percent.

BACKGROUND

Property Description

The 664.07 m² (7,147.99 ft²) subject property is located on the corner of Ramona Boulevard and Sir Constantine Drive. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The street has remained stable with minimal redevelopment to date.

There is an existing single detached dwelling on the property, which according to assessment records was constructed in 1972.

Proposal

The applicant is proposing to demolish the existing single detached dwelling and construct a new two-storey single detached dwelling. The proposed dwelling will have an approximate gross floor area of 342 m² (3681.26 ft²).

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Single detached dwellings are required to meet the general intent of the Official Plan with respect to height, massing, and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. Regard shall also be had for the retention and enhancement of existing trees and vegetation.

Zoning By-Law 1229

The subject property is zoned “One-Family Detached Dwellings (R1)” under By-law 1229, as amended, which permits single detached dwellings. The proposed development does not comply with the By-law with respect to the proposed increase of the maximum floor area and the maximum building height.

Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to the allowed building height and the maximum floor area ratio.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on March 7, 2023 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting relief to permit a floor area ratio of 52.93 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 342 m² (3,681.26 ft²), whereas the By-law permits a dwelling with a maximum floor area of 287.4 m² (3,093.75 ft²). This represents an increase of approximately 54.6 m² (587.70 ft²).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area however; it is not a definitive measure of the mass of the dwelling.

The building layout meets all other zoning provisions (such as setbacks and lot coverage) that establish the prescribed building envelope, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood. Staff are of the opinion that the proposed floor area ratio is minor in nature and staff have no concern with the requested variance.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 10.48 m (34.38 ft), whereas the By-law permits a maximum building height of 9.8 m (32.15 ft). This

represents an increase of 0.68 m (2.23 ft) which will not impact the streetscape and is minor in nature. Therefore, staff have no concerns with the proposed increase in height.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 12 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

APPENDICES

Appendix "A" – Conditions of Approval

Appendix "B" - Plans

PREPARED BY:



Trisha Sridharan, Development Technician, Zoning and Special Projects

REVIEWED BY:



Stacia Muradali, Development Manager, East District

File Path: Amanda\File\ 23 115546 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/032/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the batch stamped plans attached as Appendix B to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Trisha Sridharan, Development Technician, Zoning and Special Projects

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY

2 STOREY CUSTOM HOUSE DESIGN PROJECT

67 RAMONA BLVD, MARKHAM, ON L3P 2K2



ARCHITECTURAL

RT ARCHITECTS

DRAWING INDEX:

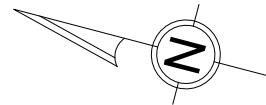
	COVER SHEET
A1.0	SITE PLAN
A1.1	ZONING STATISTICS & FRONT YARD LANDSCAPING DATA
A1.2	BASEMENT PLAN
A1.3	GROUND FLOOR PLAN
A1.4	SECOND FLOOR PLAN
A1.5	ROOF PLAN
A2.1	NORTH (FRONT) ELEVATION
A2.2	SOUTH ELEVATION
A2.3	WEST ELEVATION
A2.4	EAST ELEVATION
A2.5	SECTION (FOR REFERENCE)

ISSUED FOR COMMITTEE OF ADJUSTMENT:
MARCH 01, 2023

Appendix B

File: 23.115546.000.00.MNV

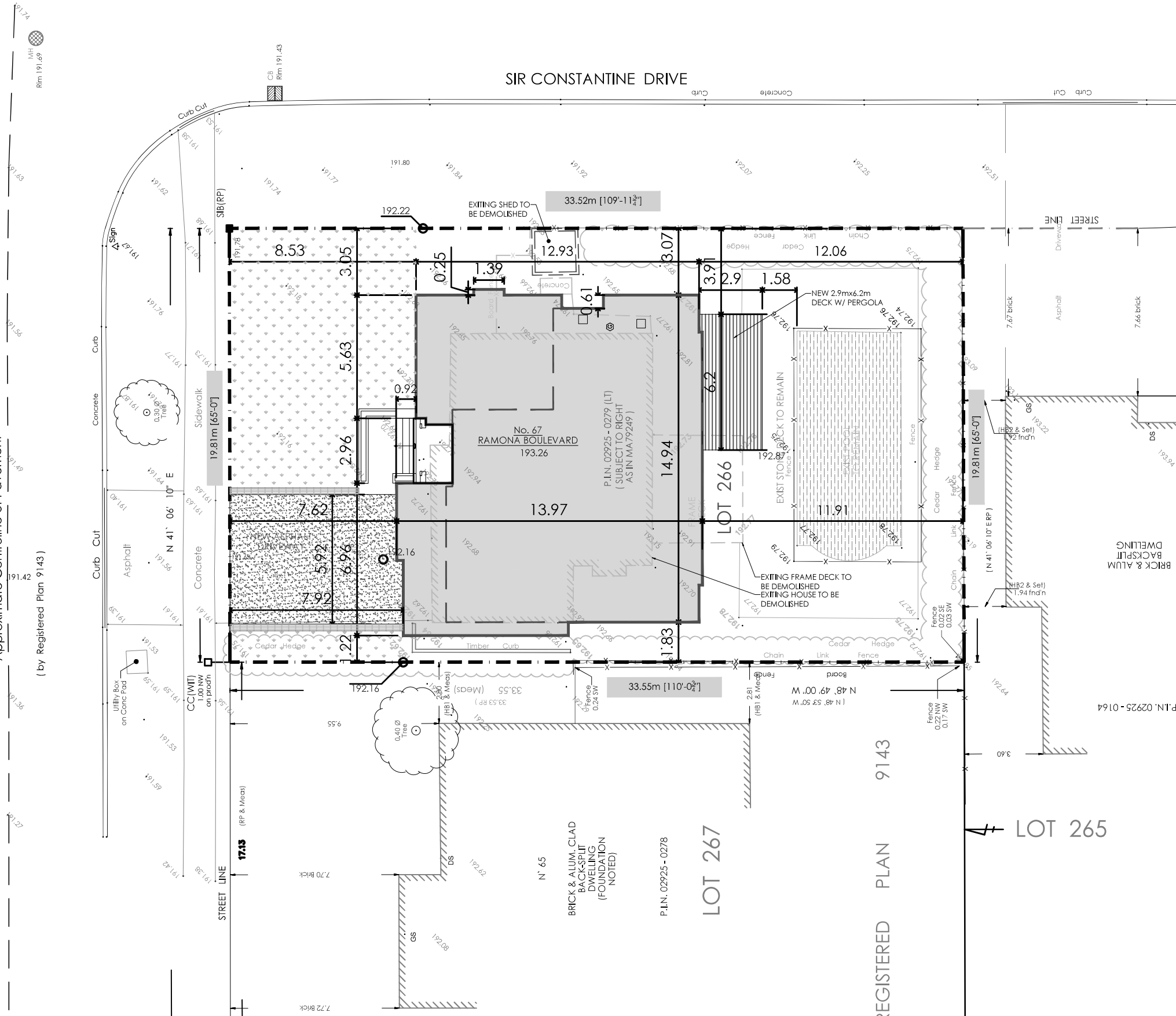
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RAMONA BOULEVARD

Approximate Centreline of Pavement

(by Registered Plan 9143)



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1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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RTA ARCHITECTS



ONTARIO ASSOCIATION
OF
ARCHITECTS
RAFFI TASHDJIAN
LICENCE
9666

PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: SITE PLAN

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

A1.0

1 SITE PLAN
A1.0 SCALE: 1:200


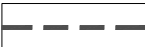

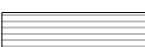
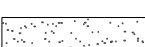

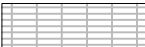
Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY

ZONING STATISTICS:		MARKHAM ZONING	
ZONING:	R-1 Residential under by-law 1229 as amended by 99-90		
BUILDING STRUCTURE:	DETACHED		
	ZONING BY LAW	PROPOSED	
LOT AREA:	664.3 SM [7,150.0 SF]		
GROUND FLOOR LEVEL AREA: <small>(INC. COVERED PORCH, GARAGE INTERIOR AREA & GARDEN EQ)</small>		203.4 SM	[2,189.7 SF]
SECOND FLOOR LEVEL AREA: <small>(INC. STAIRS AREA)</small>		146.4 SM	[1,575.5 SF]
STAIRS & COVERED PORCH AREA		12.4 SM	[133.2 SF]
GROSS FLOOR AREA:	287.4 SM [3,093.75 SF] <small>(45% OF 6,875 SQ FT)</small>	342.0 SM	[3,681.2 SF] <small>(52.83% OF 6,875 SQ FT)</small>
LOT COVERAGE: <small>(GROUND FL & COVERED PORCH)</small>	35%	30.4%	
BUILDING HEIGHT: <small>(FROM ROAD CENTERLINE LEVEL TO ROOF PEAK)</small>	9.80M	10.48M	
BUILDING SETBACK:			
FRONT:	7.62M / 25F	7.62M / 25F	
REAR:	7.62M / 25F	11.91M / 49'-1" F	
SIDE-INTIRIOR:	1.22M-1.83 / 4F-6F	1.22M-3.66 / 4F-12F	
SIDE-EXTERIOR:	3.05M / 10F	3.05M / 10F	

LANDSCAPE DATA:			
DESCRIPTION:	SQ M	SQ FT	%
TOTAL FRONT AREA :	162.9	1,753.7	
TOTAL CAR PARKING HARD AREA :	46.0	495.1	
TOTAL LANDSCAPE AREA :	116.9	1,258.6	71.8
TOTAL AREA OF SIDEWALK & CONCRETE STEP & BORDERS:	13.8	148.8	
TOTAL SOFT LANDSCAPE AREA :	103.1	1,109.8	88.2

-  GROUND FLOOR LINE
-  SECOND FLOOR LINE
-  COVERED PORCH
-  DECK W/ PERGOLA
-  NEW ASPHALT
-  GRASS
-  CONCRETE BORDER

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: ZONING STATISTICS & FRONT YARD LANDSCAPING DATA

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

A1.1

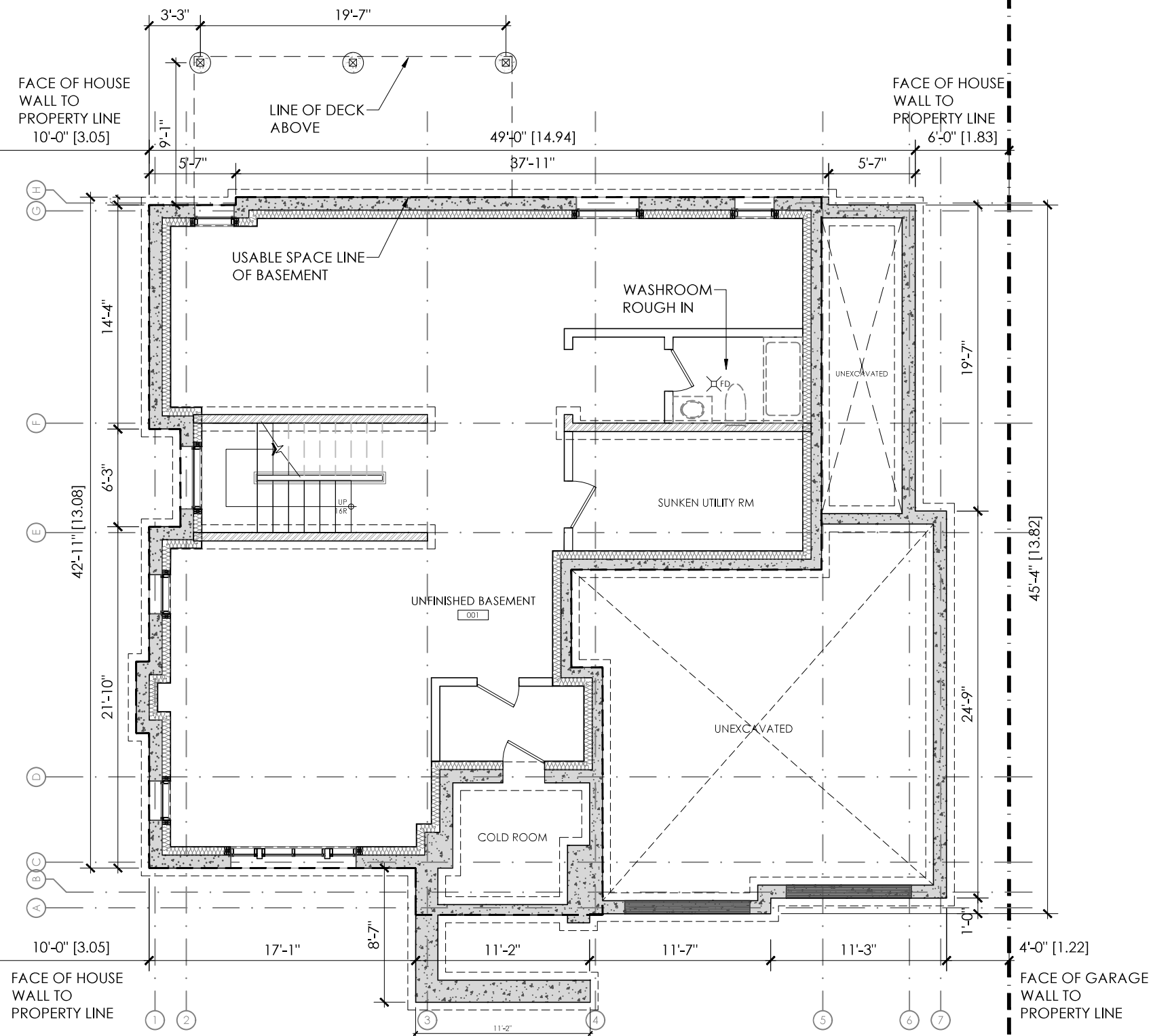
1 ZONING STATISTICS
A1.1 SCALE: NTS

2 FRONT YARD LANDSCAPING DATA
A1.1 SCALE: NTS

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



BASEMENT GROSS FLOOR AREA:
147.7 sm (1,590.2 sf) **INCLUDING**
COLD RM AREA WITH AREA OF
6sm (65sf)

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **BASEMENT PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
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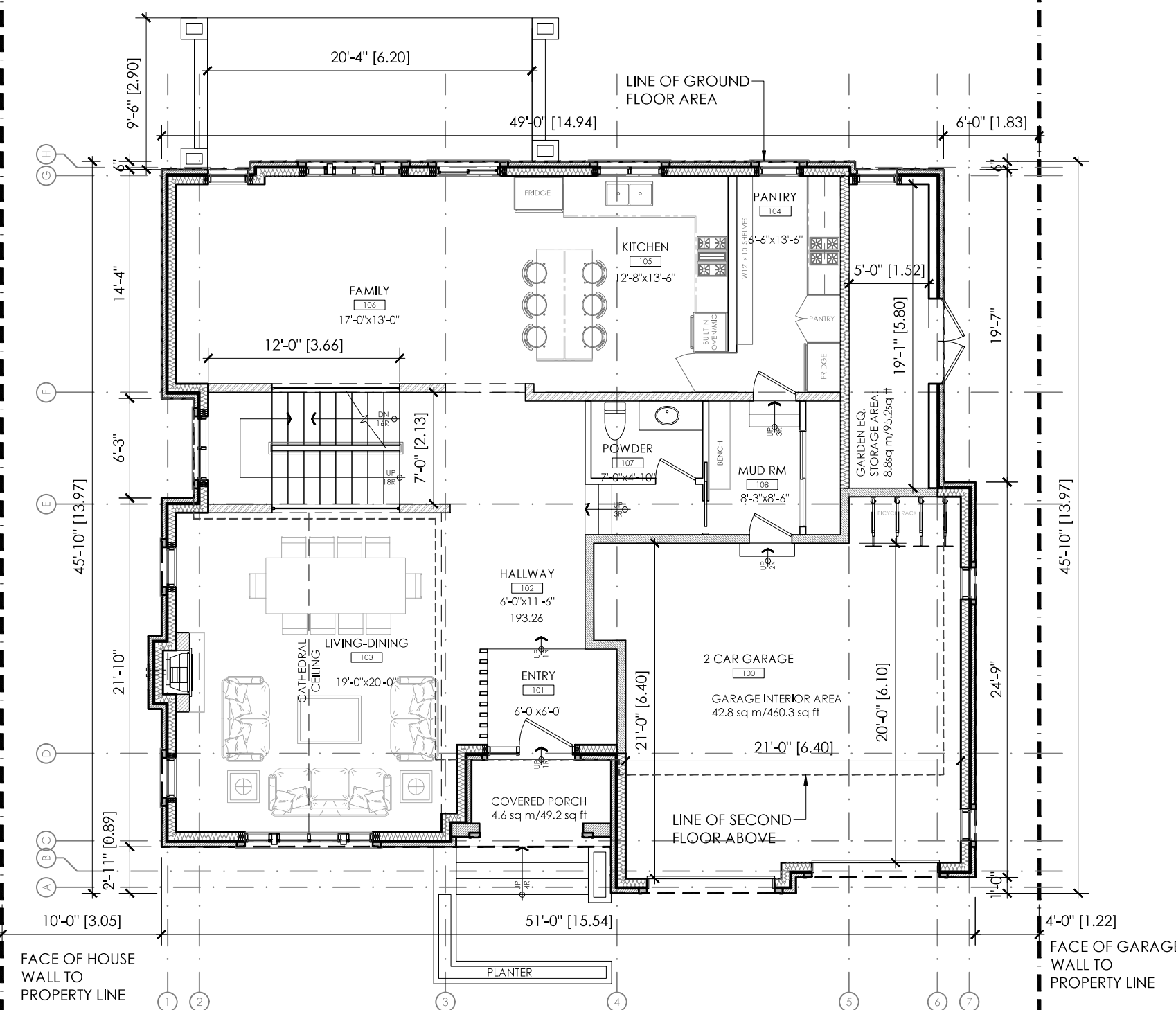
1
BASEMENT PLAN
SCALE: 1:100

A1.2

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



GROUND FL GROSS FLOOR AREA:
203.4 sm (2,189.7 sf) **INCLUDING**

COVERED PORCH	4.6sm (49.2sf)
GARAGE INTERIOR	42.9sm (462.3sf)
GARDEN EQ	8.8sm (95.2sf)

FACE OF HOUSE WALL TO PROPERTY LINE

FACE OF GARAGE WALL TO PROPERTY LINE

REV.	ISSUED FOR:	DATE:
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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **GROUND FLOOR PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
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Scale:	AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

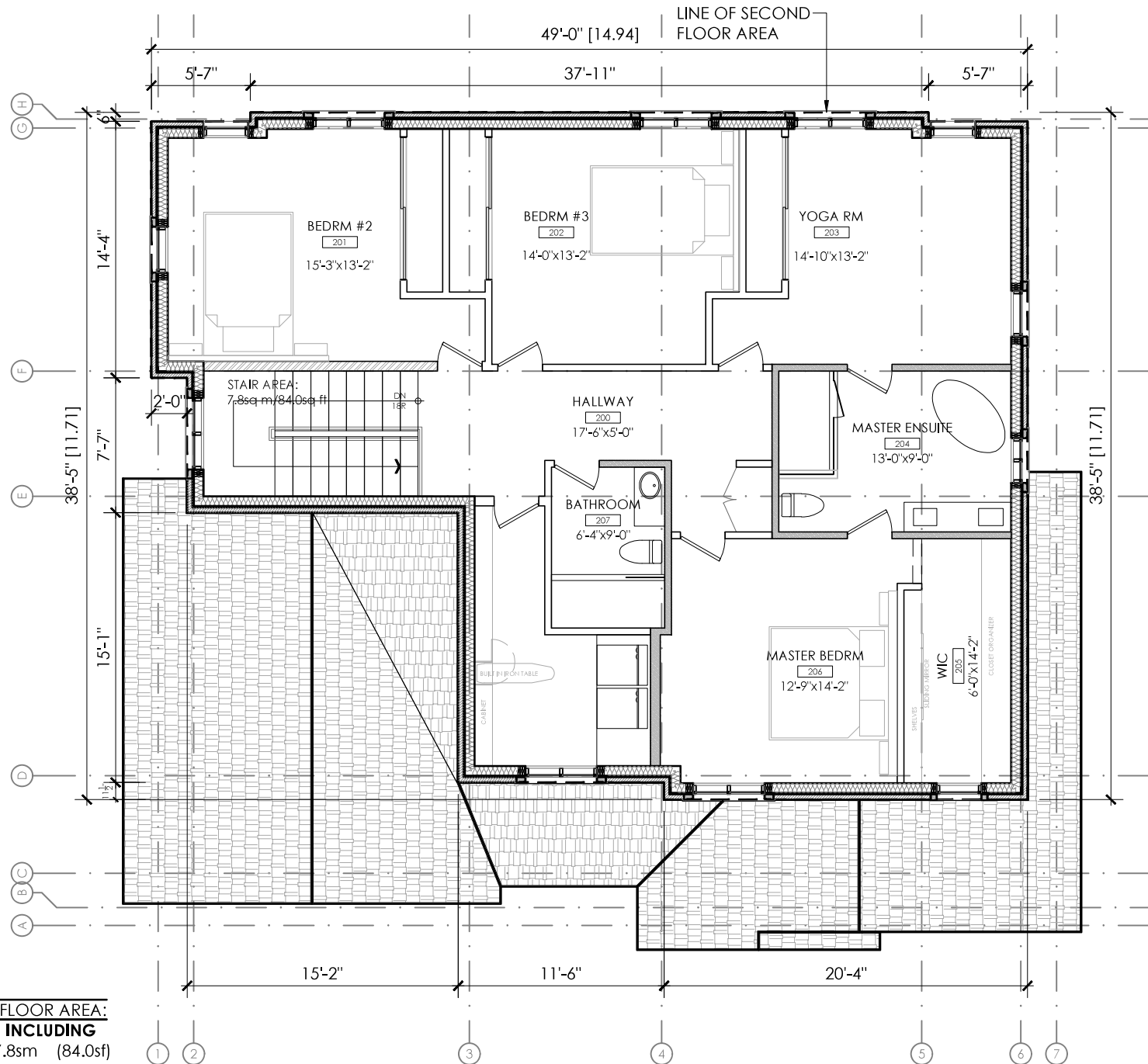
1 GROUND FLOOR PLAN
A1.3 SCALE: 1:100

A1.3

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



SECOND FL GROSS FLOOR AREA:
146.4 sm (1,575.5 sf) **INCLUDING**
STAIR 7.8sm (84.0sf)

REV.	ISSUED FOR:	DATE:
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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SECOND FLOOR PLAN**

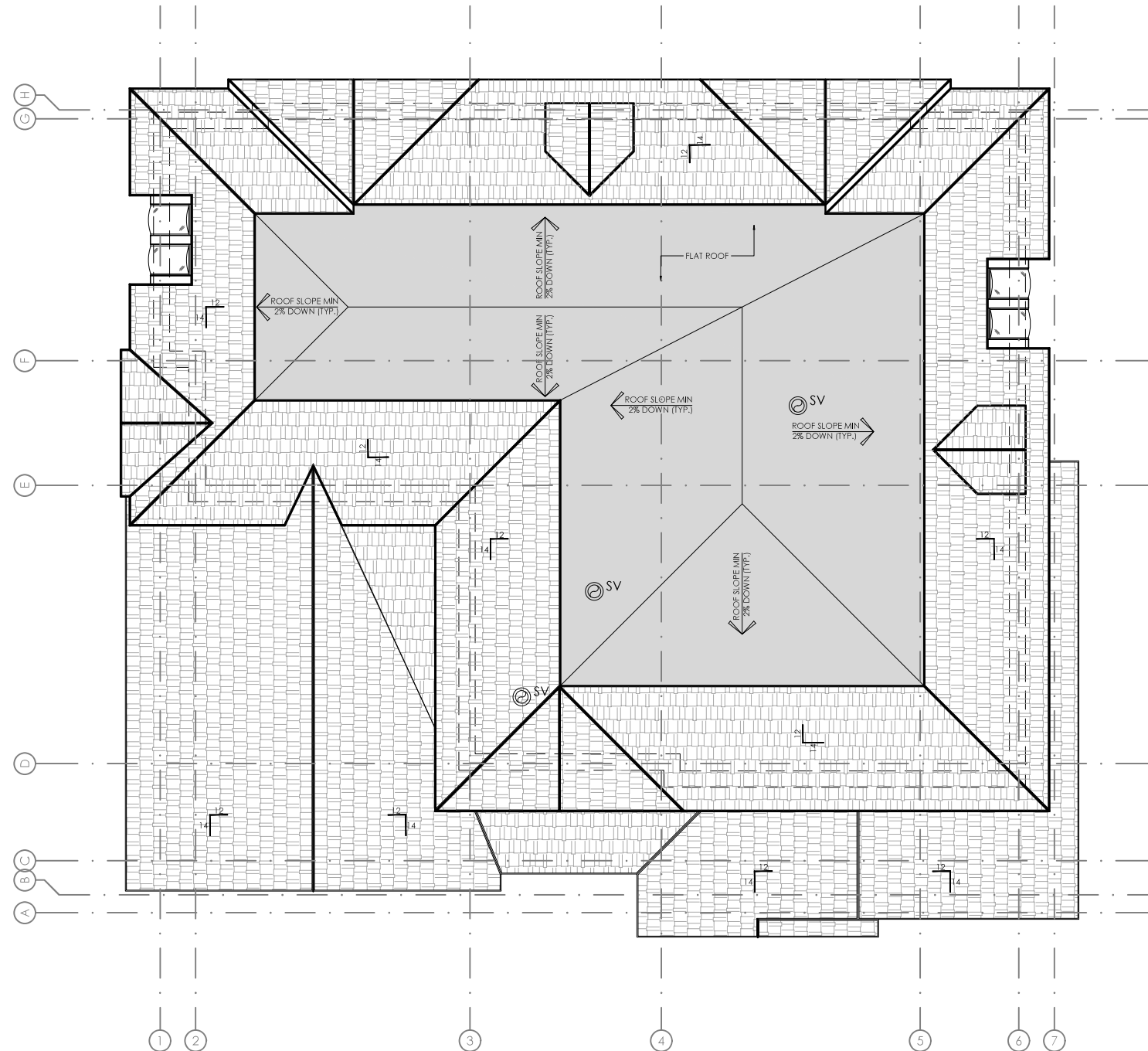
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Project no.:	2230136
Date:	JANUARY 2023
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Scale:	AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

A1.4

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **ROOF PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

A1.5

1 ROOF PLAN
A1.5 SCALE: 1:100

Appendix B

File: 23.115546.000.00.MNV

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: NORTH (FRONT) ELEVATION

HAKOPIAN RESIDENCE

Project no.: 2230136 Date: JANUARY 2023

Drawn by: TM Scale: AS NOTED

Checked by: RT

North Arrow: Drawing No:

A2.1

1 NORTH (FRONT) ELEVATION
A2.1 SCALE: 1:100

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SOUTH ELEVATION**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

A2.2

1
A2.2 SOUTH ELEVATION
SCALE: 1:100

Appendix B

File: 23.115546.000.00.MNV

Date: 04/12/23
MM/DD/YY



setback of 4'-0" (1.22m)
MAX % AREA GLAZED OPENINGS 1.2m LIMITING DISTANCE 8.0% (1.54sqm) ALLOWABLE. (9.10.15.4.(1)&(2))

TOTAL WALL: 207.3sqft 19.3sqm
TOTAL GLASS: 13.4sqft 1.2sqm

% OF GLASS: 6.2%

setback of 6'-0" (1.83m)
MAX % AREA GLAZED OPENINGS 1.5m LIMITING DISTANCE 8.0% (5.10sqm) ALLOWABLE. (9.10.15.4.(1)&(2))

TOTAL WALL: 680.2sqft 63.2sqm
TOTAL GLASS: 41.8sqft 3.8sqm

% OF GLASS: 6.0%

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: WEST ELEVATION

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

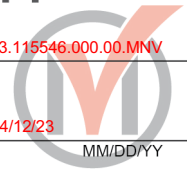
1 WEST ELEVATION
A2.3 SCALE: 1:100

A2.3

Appendix B

File: 23.115546.000.00.MNV

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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: EAST ELEVATION

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

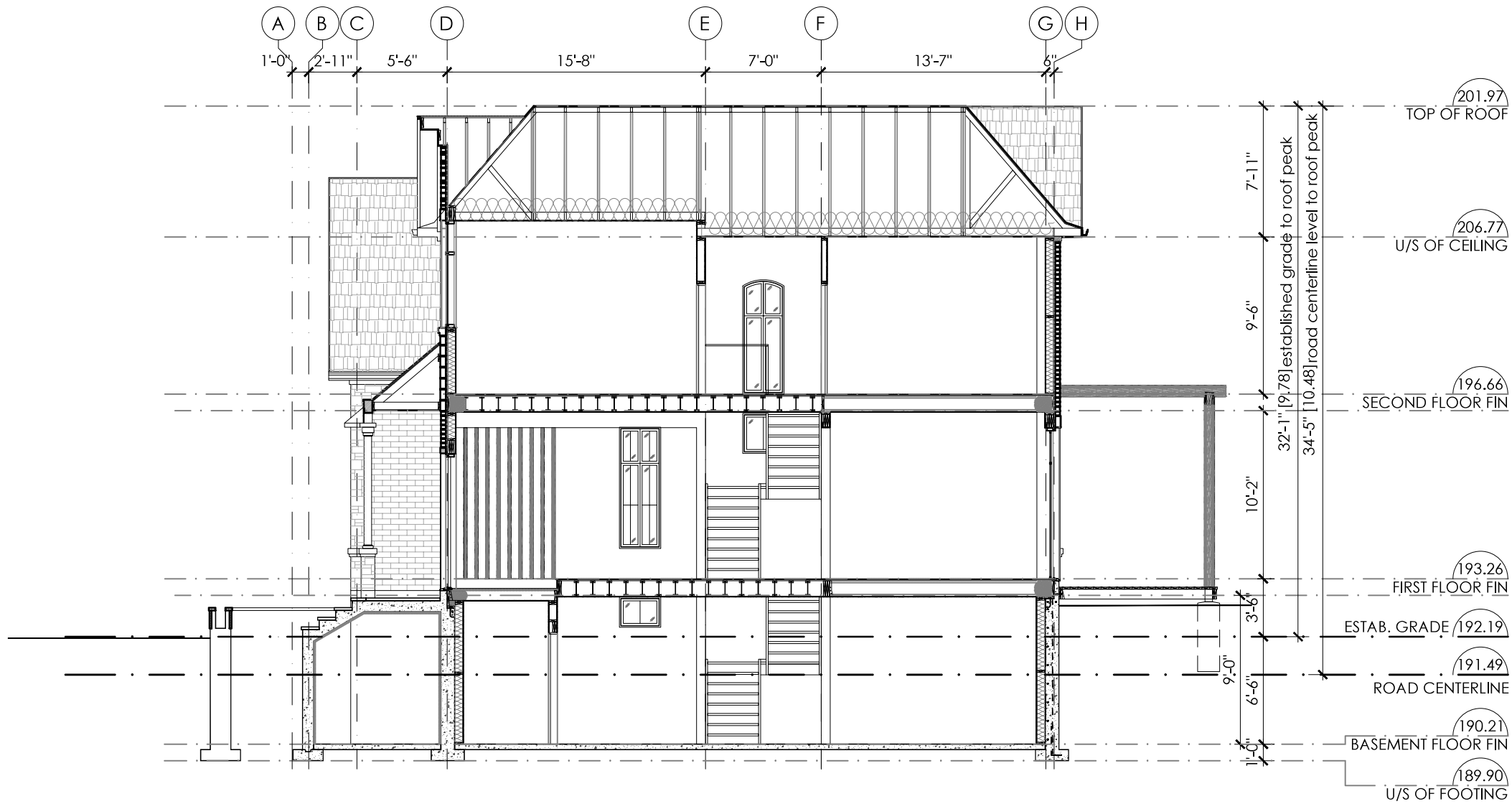
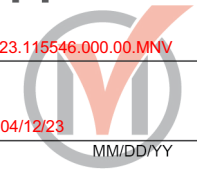
1 EAST ELEVATION
A2.4 SCALE: 1:100

A2.4

Appendix B

File: 23.115546.000.00.MNV

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REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SECTION (FOR REFERENCE)**
HAKOPIAN RESIDENCE

Project no.:	2230136	Date:	JANUARY 2023
Drawn by:	TM	Scale:	AS NOTED
Checked by:	RT		
North Arrow:		Drawing No.:	

A2.5

1 SECTION (FOR REFERENCE)
A2.5 SCALE: 1:100

SURVEYOR'S REAL PROPERTY REPORT
 PLAN AND TOPOGRAPHY OF
LOT 266
 REGISTERED PLAN 9143
 TOWN OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK

SCALE = 1 : 200

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
PLAN SUBMISSION FORM
 1996947

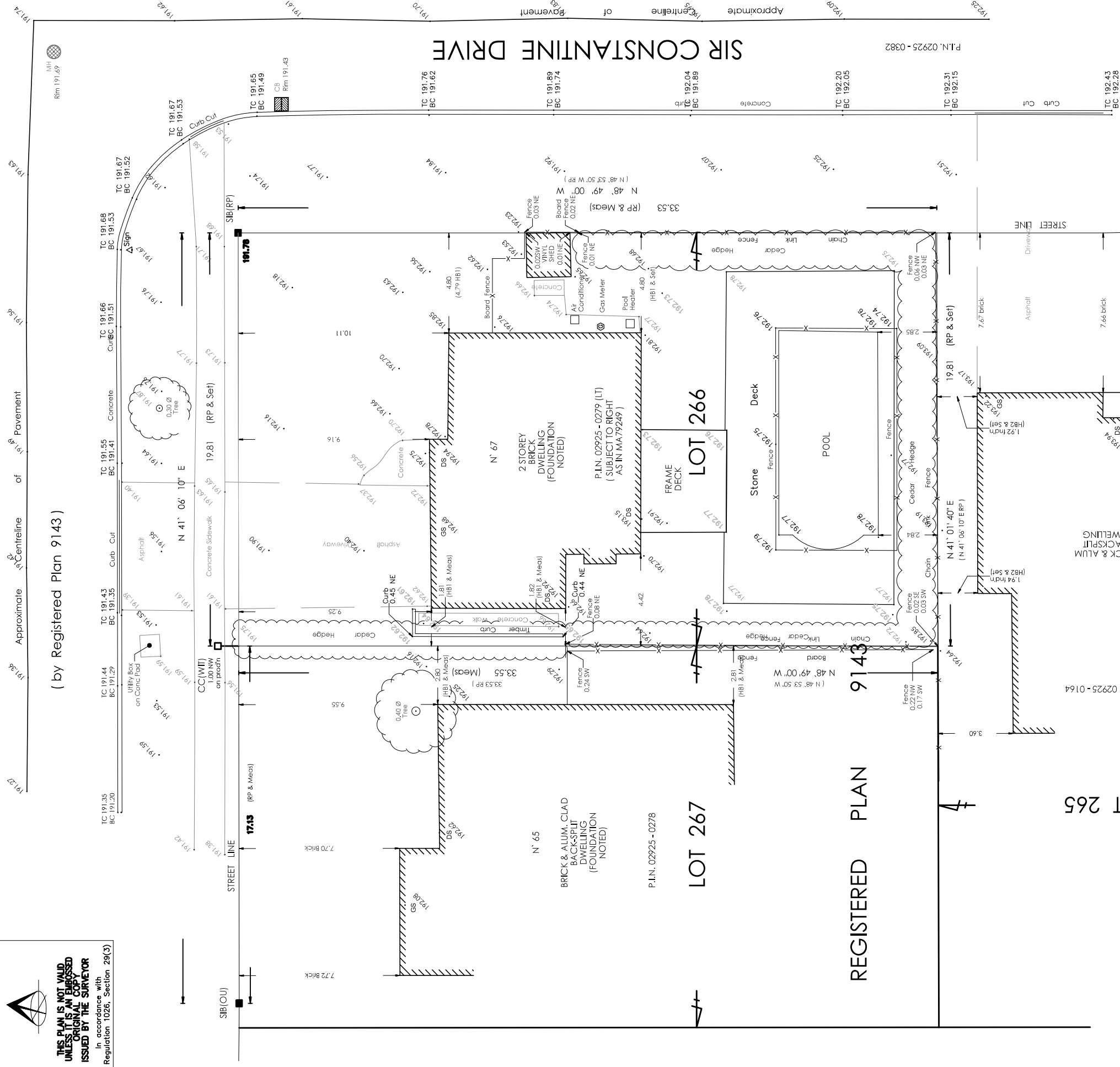


**THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR**
 In accordance with
 Regulation 1026, Section 29(3)

METRIC
 DISTANCES SHOWN HEREON ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY
 DIVIDING BY 0.3048

RAMONA BOULEVARD

P.I.N. 02924 - 0289



LEGEND

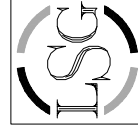
□	DENOTES
■	MONUMENT PLANTED
—	MONUMENT FOUND
—	WITNESS
—	CUT CROSS
—	IRON BAR
—	STANDARD IRON BAR
—	REGISTERED PLAN 9143
—	PLAN OF SURVEY BY HOLDING & BABBS, O.L.S.,
—	DATED JULY 4TH, 1972
—	PLAN OF SURVEY BY HOLDING & BABBS, O.L.S.,
—	DATED AUGUST 11TH, 1972
—	ORIGIN UNKNOWN
—	PROPERTY IDENTIFIER
—	TOP OF CURB
—	BOTTOM OF CURB
—	CATCH BASIN
—	MAINTENANCE HOLE
—	DIAMETER
—	DOORSILL ELEVATION
—	GARAGE SILL ELEVATION

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF RAMONA BOULEVARD HAVING A BEARING OF N 41° 06' 10" E AS SHOWN ON REGISTERED PLAN 9143.

ELEVATION NOTE
 ELEVATIONS SHOWN HEREON ARE GEO METRES AND ARE RELATED TO BENCH MARK N° 092903139 HAVI OF 193.25 METRES [CCVD 1928:Pre

Appendix B

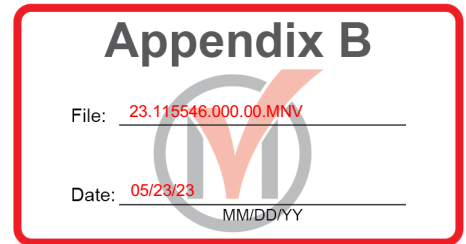
File: 23.115546.000.00.MNV
 Date: 04/12/23



LAND SURVEY GROUP
 ONTARIO LAND SURVEYORS
 777 THE QUEENSWAY, UNIT 10 TORONTO, ONTARIO, M5S 1N4
 Tel: 416-252-2511 416-467-8023 Fax: 416-252-2511

DRAWN : _____ CHECKED BY : _____

APPENDIX "B" – Minutes Extract



CITY OF MARKHAM
Virtual Meeting on Zoom

April 19, 2023
7:00 pm

COMMITTEE OF ADJUSTMENT

Minutes

The 7th regular meeting of the Committee of Adjustment for the year 2023 was held at the time and virtual space above with the following people present:

Arrival Time

Tom Gutfreund, Acting Chair	7:00 pm
Jeamie Reingold	7:08 pm
Sally Yan	7:00 pm
Patrick Sampson	7:00 pm

Greg Whitfield, Supervisor, Committee of Adjustment

Regrets

Gregory Knight, Chair
Kelvin Kwok
Arun Prasad

DISCLOSURE OF INTEREST

None

Minutes: April 5, 2023

THAT the minutes of Meeting No. 6, of the City of Markham Committee of Adjustment, held April 5, 2023, be:

- a) Approved on April 19, 2023.

Moved By: Patrick Sampson
Seconded By: Sally Yan

Carried

PREVIOUS BUSINESS

1. A/175/22

Owner Name: Bing Fu
Agent Name: Gregory Design Group (Shane Gregory)
117 Main Street, Unionville
PL 401 LOT 16

The applicant was requesting relief from the requirements of By-law 122-72, as amended, to permit:

a) Section 7.1:

a minimum flankage side yard setback of 4 feet 9 inches (1.45 metres) for the proposed addition, whereas the by-law requires a flankage side yard setback no less than 12 feet (3.66 metres) or one half the height of the building;

b) Section 11.2 (c):

a minimum rear yard setback of 22 feet 11-1/2 inches (7 metres), whereas the by-law requires a minimum rear yard setback of 25 feet;

c) Section 11.2 (d):

a maximum lot coverage of 34.0 percent, whereas the by-law permits a maximum lot coverage of 33-1/3 percent;

as it related to a proposed two-storey addition with a new detached garage with loft.

The Chair introduced the application.

The agent, Russ Gregory, appeared on behalf of the application.

Member Gutfreund indicated they had visited the site and were of the view the new addition would in keeping with the character of the neighbourhood, and would be in support of the application.

Member Sampson agreed with Member Gutfreund's statements that the variances were minor and would support the application.

Member Yan concurred with Members Gutfreund and Sampson, and was happy with the improvements to the property. Member Yan inquired whether the loft above the garage would be used for an additional dwelling unit.

Russ confirmed the loft would not be used as a dwelling unit.

Member Yan indicated they would be in support of the application.

Member Reingold agreed with the opinion of the other members and was in support of the application.

Member Sampson motioned for approval with conditions.

Moved By: Patrick Sampson
Seconded By: Sally Yan

The Committee unanimously approved the application.

THAT Application No. **A/175/22** be **approved** subject to conditions contained in the staff report.

Resolution Carried

NEW BUSINESS:

2. A/032/23

Owner Name: Vachik Hagopian
Agent Name: RT Architects (Raffi Tashdjian)
67 Ramona Boulevard, Markham
PLAN 9143 LOT 266

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

a) Amending By-law 99-90, Section 1.2(i):

a maximum building height of 10.48 metres, whereas the By-law permits a maximum building height of 9.80 metres;

b) Amending By-law 99-90, Section 1.2(vi):

a maximum floor area ratio of 52.83 percent, whereas the By-law permits a maximum floor area ratio of 45 percent.

as it related to a proposed single detached dwelling.

The Chair introduced the application.

The agent, Raffi Tashdjian, appeared on behalf of the application.

The Committee received two written pieces of correspondence.

Elizabeth Brown, 65 Lincoln Green Drive, the Committee of Adjustment representative for the Markham Village Sherwood Conservation Residents Association, spoke to the Committee.

Elizabeth spoke to the size of the lot and the visibility of the proposal as a result of it being a corner lot. Liz spoke to the neighbourhood characteristics and the current lack of infill development in the neighbourhood, and the tone the application would set for future infill within the area.

Elizabeth spoke to the four tests for Minor Variance, and indicated the request for floor area and height did not meet the tests for Minor Variance. Elizabeth also discussed the Official Plan policies for development standards and infill development, and did not believe that the proposal was appropriate for the area.

Randy Marsh, of 65 Ramona Boulevard, spoke to the Committee.

Randy spoke to the proposed attic and that there was no indication of what would be provided in the attic, and believed it should be included within the overall floor area of the dwelling as it contributes to the massing of the dwelling.

Randy quoted Vincent v. DeGasperis and indicated that the applicant did not adequately demonstrate why the variances should be permitted, and did not provide sufficient evidence that the application met the four tests for Minor Variance.

The agent, Raffi Tashdjian, responded to the concerns related to the ceiling height raised by residents and spoke to the needs of the family for the use of spaces within the proposed house.

Member Sampson reiterated the Committee's previous stance regarding approving variances for floor area above 50%, where 45% is permitted and advised they would not be in support of the application.

Member Yan agreed with Member Sampson's comments regarding the height and floor area proposed.

Member Yan agreed with Elizabeth Brown's comments on the greater impact the building would have as a result of it being located on a corner lot. Member Yan believed the building to be too large and that the applicant should reduce the floor area, and that they would not be in support of the application.

Member Reingold agreed with Members Yan and Sampson, however, noted the potential of the design, and that given the appropriate revisions, could have a positive impact on the neighbourhood.

Acting Chair Gutfreund agreed with the other Member's comments, and believed the floor area and height should be reduced to better fit in with the neighbourhood.

Member Reingold motioned for deferral.

Moved By: Jeamie Reingold

Seconded By: Patrick Sampson

THAT Application No. **A/032/23** be **deferred** sine die.

Resolution Carried

3. A/038/23

Owner Name: 1000183958 Ontario Inc. (Grumeet Minhas)
Agent Name: Zero Degree Studio Inc. (Roy Chan)
41 Galsworthy Drive, Markham
PLAN 4949 LOT 47

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

- a) **By-law 99-90, Section 1.2(i):**
a maximum building height of 10.1 metres, whereas the By-law permits a maximum building height of 9.8 metres;
- b) **By-law 99-90, Section 1.2(iii):**
a maximum depth of 20.68 metres, whereas the By-law permits a maximum of 16.8 metres;
- c) **By-law 99-90, Section 1.2(vi):**
a maximum floor area ratio of 53.58 percent, whereas the By-law permits a maximum of 45 percent;

as it related to a proposed two-storey single detached dwelling.

The Chair introduced the application.

The agent, Roy Chan, appeared on behalf of the application.

The Committee received three written pieces of correspondence.

Elizabeth Brown, 65 Lincoln Green Drive, the Committee of Adjustment representative for the Markham Village Sherwood Conservation Residents Association, spoke to the Committee.

Elizabeth spoke to the City's Official Plan policies with respect to infill development, and did not believe the proposal met the four tests of the Planning Act for Minor Variance. Elizabeth indicated that the increases to depth, floor area and height significantly contributed to the massing of the building, and did not believe the application should be approved.

Mary Hampton Smith and Tony DiGiovanni, of 17 Abercorn Road, spoke to the Committee, and agreed with the comments provided by Elizabeth Brown.

Mary Hampton Smith spoke to the reconstruction of their home without the need for variances, and believed that the proposed home was too large, considering the positioning on the lot.

Mary spoke to the depth of the house contributing to the visual massing given its location in proximity to the nearby schoolyard.

Rosemary Haydon, representing the owner of 19 Abercorn Road, spoke to the Committee.

Rosemary indicated their concern for the overlook of the balcony located at the rear of the house, and the privacy issues that arise due to the location and number of windows that would overlook their property.

The agent, Roy Chan responded to the concerns raised by the residents.

Roy confirmed that the building depth was related to the covered front porch and rear covered verandah.

Roy spoke to the current development in the area, and noted that there had been other examples with greater massing approved recently in the area.

Roy spoke to the impacts of the development on the adjacent properties to the north at 19 and 17 Abercorn Road, and believed the design was reasonable and met the four tests for Minor Variance under the Planning Act.

Roy spoke to the arborist report submitted with the application and indicated that only trees on the subject property would be impacted by the development.

Member Gutfreund reiterated that the Committee does not make decisions based on precedent regarding previous Committee approvals.

Member Reingold spoke to the infill within the neighbourhood, and how the original houses are beginning to not fit in with the current neighbourhood characteristics.

Member Reingold appreciated the presentation and design of the proposed house, but believed the house to be too large, despite respecting the side yard setbacks. Member Reingold believed the building should be reduced, and privacy concerns of the neighbourhood addressed.

Member Sampson inquired about the size of the open to above areas within the house.

The agent, Roy Chan, confirmed the area of the open to below areas to be approximately 54 square metres.

Member Sampson believed the open to below areas contributed to significantly to the massing of the building, and could not support the application.

Acting Chair Gutfreund indicated the floor area increase to be 19% above the by-law requirement, and did not believe it to be minor in nature. Acting Chair Gutfreund did appreciate the design efforts of the applicant and the choice to incorporate the second floor into the roof line.

Member Yan indicated they had no issue with the building height. There were concerns about the impact the covered porches would have on the adjacent properties as they related to the requested building depth. Member Yan suggested the applicant make reductions to the proposed plans to address neighbour concerns over the variances.

Member Reingold motioned for deferral.

Moved By: Jeamie Reingold
Seconded By: Patrick Sampson

THAT Application No. **A/038/23** be **deferred** sine die.

Resolution Carried

Adjournment

Moved by: Patrick Sampson
Seconded by: Sally Yan

THAT the virtual meeting of the Committee of Adjustment was adjourned at 8:30 pm, and the next regular meeting would be held on May 03, 2023.

CARRIED



Acting Secretary-Treasurer
Committee of Adjustment



Acting Chair
Committee of Adjustment

APPENDIX "C"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/032/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix D' to this Staff Report and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Trisha Sridharan, Development Technician, Zoning and Special Projects

APPENDIX "D" - Plans

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY

2 STOREY CUSTOM HOUSE DESIGN PROJECT

67 RAMONA BLVD, MARKHAM, ON L3P 2K2



ARCHITECTURAL

RT ARCHITECTS

DRAWING INDEX:

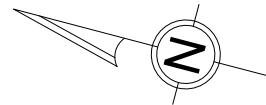
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A1.0	SITE PLAN
A1.1	ZONING STATISTICS & FRONT YARD LANDSCAPING DATA
A1.2	BASEMENT PLAN
A1.3	GROUND FLOOR PLAN
A1.4	SECOND FLOOR PLAN
A2.1	NORTH (FRONT) ELEVATION
A2.2	SOUTH ELEVATION
A2.3	WEST ELEVATION
A2.4	EAST ELEVATION

ISSUED FOR COA REVIEW:
MAY 03, 2023

Appendix D

File: 23.115546.000.00.MNV

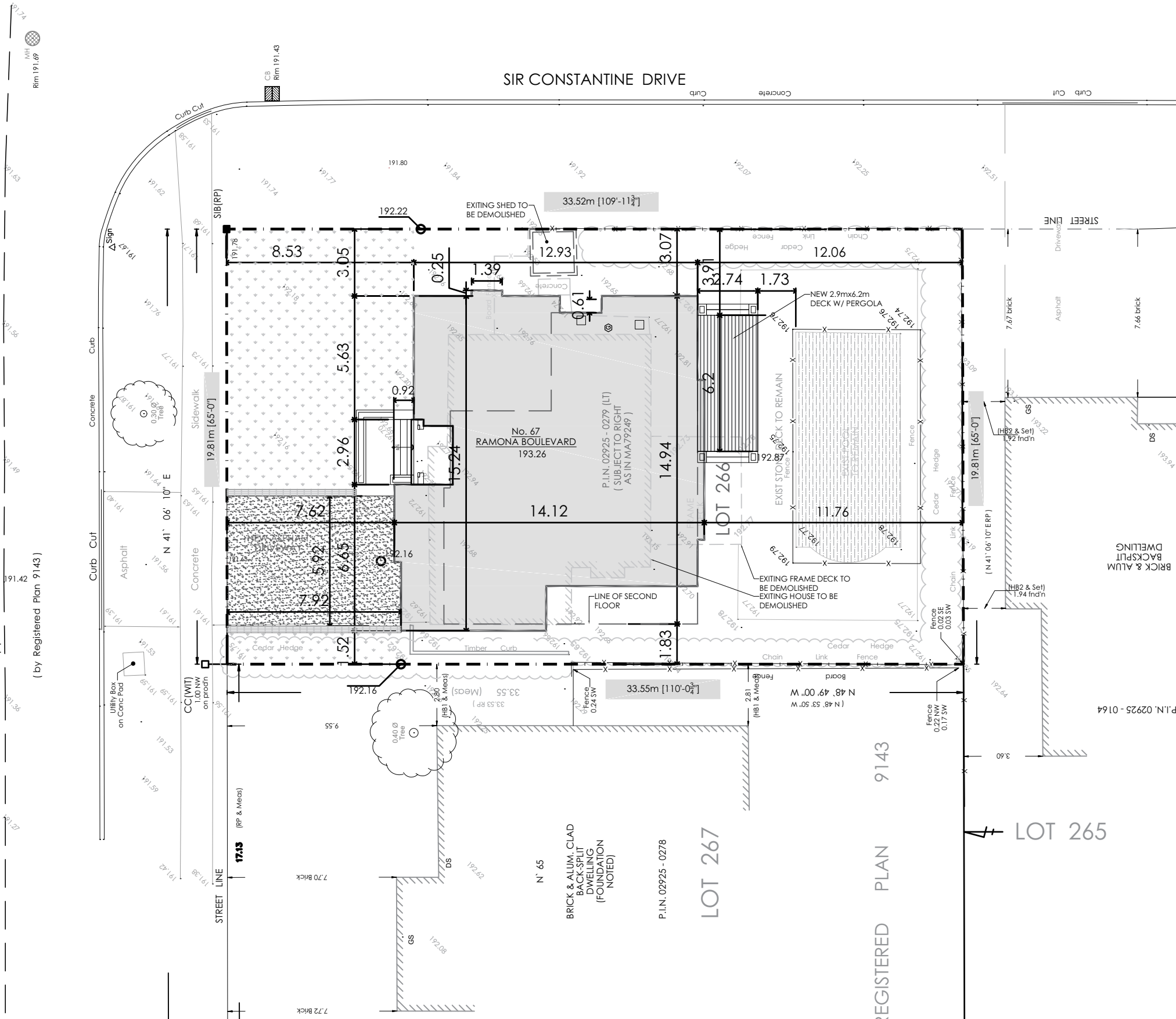
Date: 05/23/23
MM/DD/YY



RAMONA BOULEVARD

Approximate Centreline of Pavement

(by Registered Plan 9143)



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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RT ARCHITECTS

ONTARIO ASSOCIATION
OF
ARCHITECTS
RAFFI TASHDJIAN
LICENCE
9666

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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SITE PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

A1.0







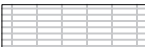
Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY

ZONING STATISTICS:		MARKHAM ZONING	
ZONING:	R-1 Residential under by-law 1229 as amended by 99-90		
BUILDING STRUCTURE:	DETACHED		
	ZONING BY LAW	PROPOSED	
LOT AREA:	664.3 SM [7,150.0 SF]		
GROUND FLOOR LEVEL AREA: <small>(INC. COVERED PORCH, & GARAGE INTERIOR AREA)</small>		189.2 SM	[2,037.0 SF]
SECOND FLOOR LEVEL AREA: <small>(INC. STAIRS AREA)</small>		142.7 SM	[1,535.5 SF]
OVERALL FLOOR AREA:		331.9 SM	[3,572.5 SF]
COVERED PORCH AREA:		5.1 SM	[54.5 SF]
STAIRS AREA:		7.8 SM	[84.0 SF]
GROSS FLOOR AREA: <small>(AS PER COA)</small>	319.35 SM [3,437.5 SF] <small>(50% OF 6,875 SQ FT)</small>	319.0 SM	[3,434.0 SF] <small>(49.95% OF 6,875 SQ FT)</small>
LOT COVERAGE: <small>(GROUND FL & COVERED PORCH)</small>	2,158.3 SF	35%	30.2%
BUILDING HEIGHT: <small>(AS PER COA)</small>	9.80M +0.3M	10.10M	10.10M
BUILDING SETBACK:			
FRONT:	7.62M / 25'	7.62M / 25'	
REAR:	7.62M / 25'	12.06M / 39'-7"	
SIDE-INTIRIOR:	1.22M & 1.83M / 4' & 6'	1.22M & 1.83M / 4' & 6'	
SIDE-EXTERIOR:	3.05M / 10'	3.05M / 10'	

LANDSCAPE DATA:			
DESCRIPTION:	SQ M	SQ FT	%
TOTAL FRONT AREA :	162.9	1,753.7	
TOTAL CAR PARKING HARD AREA :	46.0	495.1	
TOTAL LANDSCAPE AREA :	116.9	1,258.6	71.8
TOTAL AREA OF SIDEWALK & CONCRETE STEP & BORDERS:	13.8	148.8	
TOTAL SOFT LANDSCAPE AREA :	103.1	1,109.8	88.2

-  GROUND FLOOR LINE
-  SECOND FLOOR LINE
-  COVERED PORCH
-  DECK W/ PERGOLA
-  NEW ASPHALT
-  GRASS
-  CONCRETE BORDER

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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Project: 2 STOREY CUSTOM HOUSE DESIGN
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: ZONING STATISTICS & FRONT YARD LANDSCAPING DATA

HAKOPIAN RESIDENCE
Project no.: 2230136 Date: JANUARY 2023
Drawn by: TM Scale: AS NOTED
Checked by: RT

North Arrow: Drawing No: A1.1

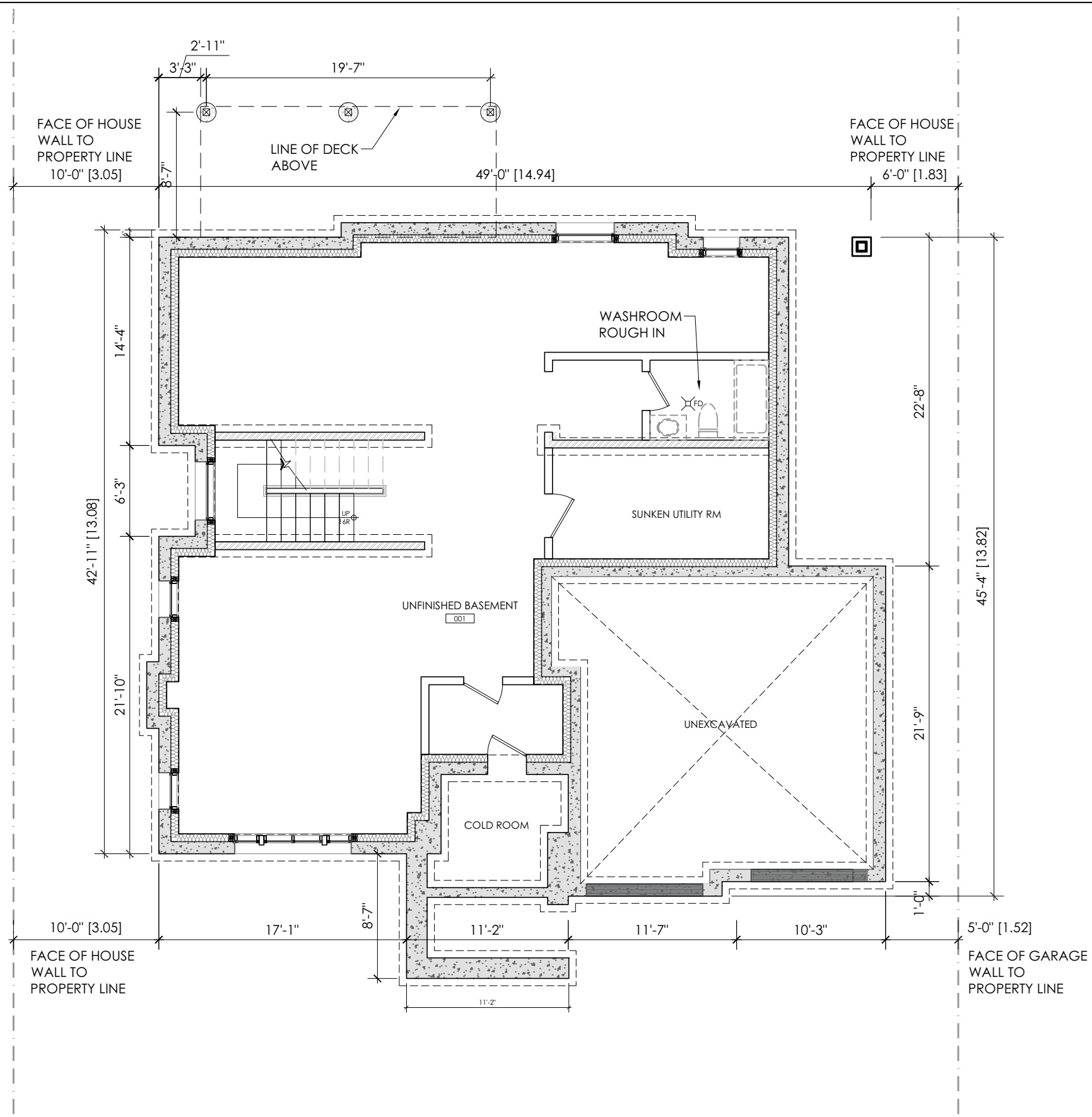
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A1.1 SCALE: NTS

2 FRONT YARD LANDSCAPING DATA
A1.1 SCALE: NTS

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



BASEMENT GROSS FLOOR AREA:
147.7 sm (1,590.2 sf) **INCLUDING**
COLD RM AREA WITH AREA OF
6sm (65sf)

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **BASEMENT PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

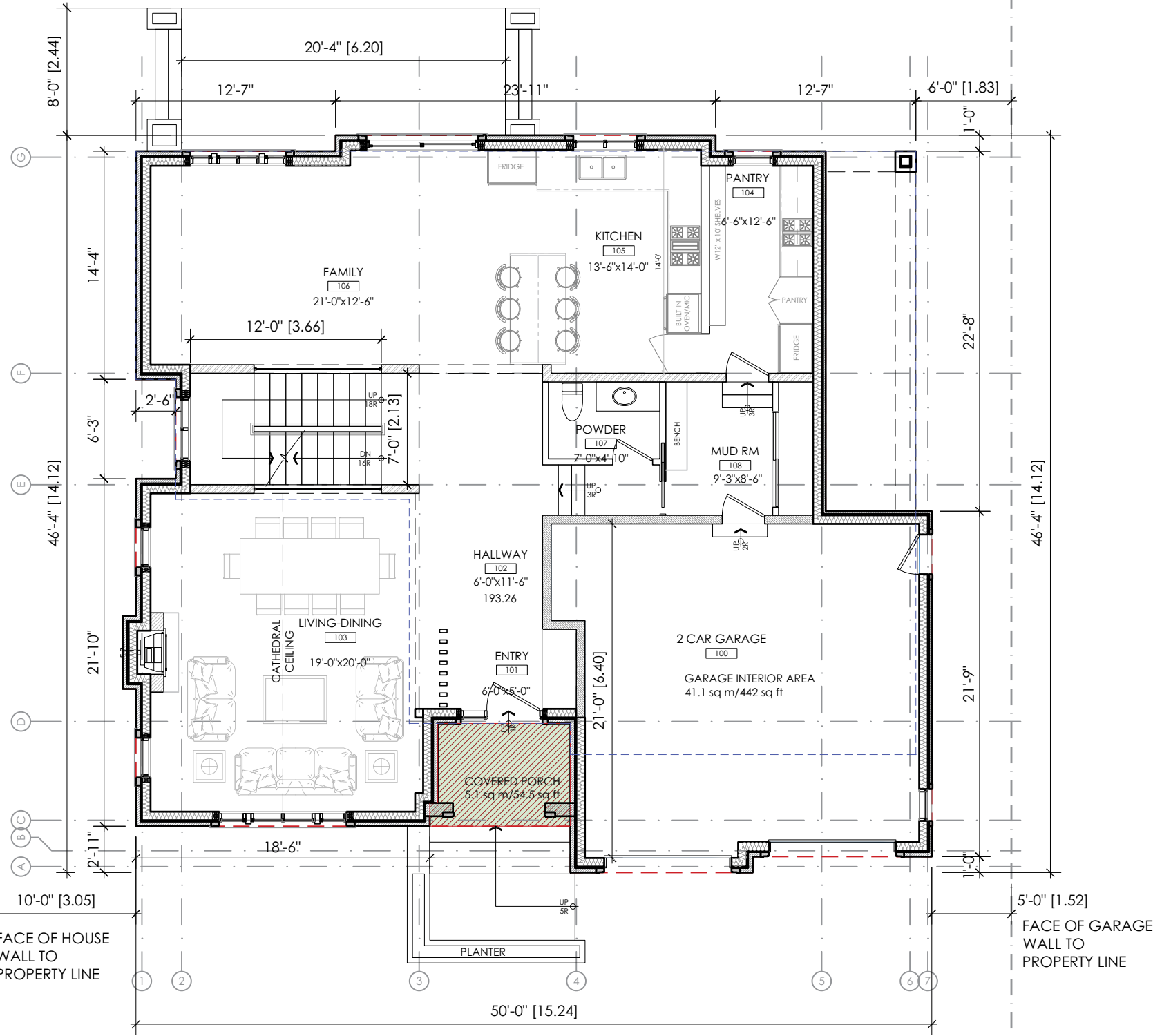
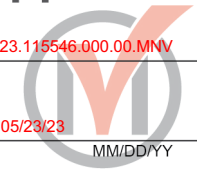
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A1.2 **BASEMENT PLAN**
SCALE: 1:100

A1.2

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



GROUND FL GROSS FLOOR AREA:
OVERALL AREA: 189.0 sm (2,037.0sf)
COVERED PORCH 5.1sm (54.5sf)
GROUND FL GFA: 183.9 sm (1,982.5sf)

FACE OF HOUSE WALL TO PROPERTY LINE

FACE OF GARAGE WALL TO PROPERTY LINE

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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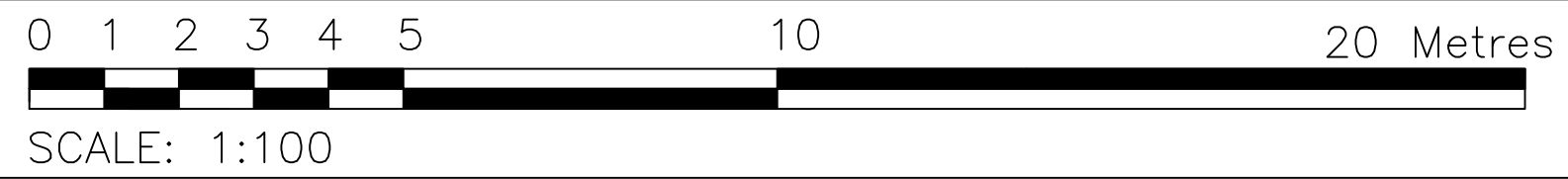
PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **GROUND FLOOR PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

1 GROUND FLOOR PLAN
A1.3 SCALE: 1:100

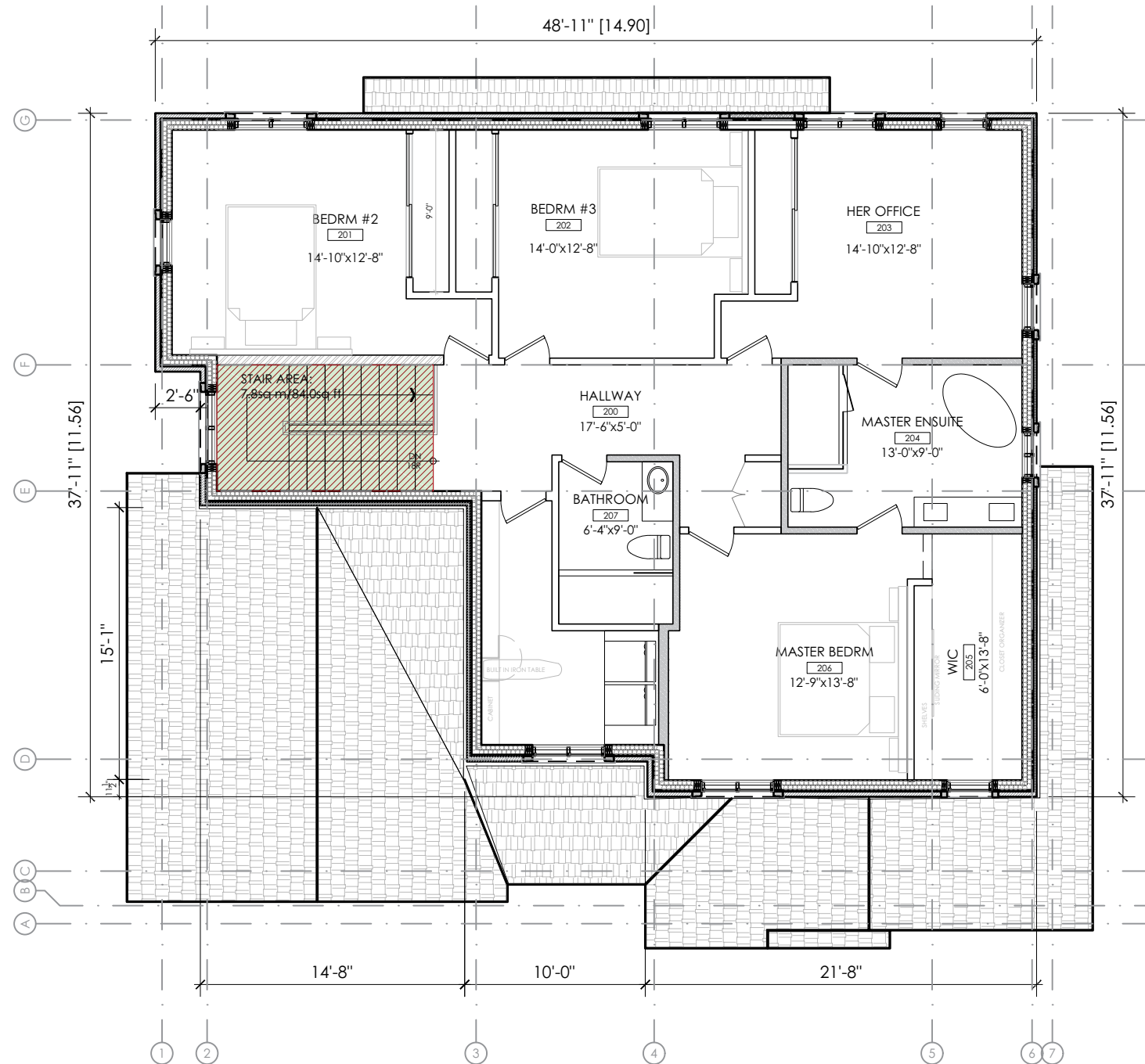


Drawing No.: **A1.3**

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



SECOND FL GROSS FLOOR AREA:
OVERALL AREA: 142.7sm (1,535.5sf)
STAIR AREA: 7.8sm (84.0sf)
SECOND FL GFA: 134.8sm (1,451.5sf)

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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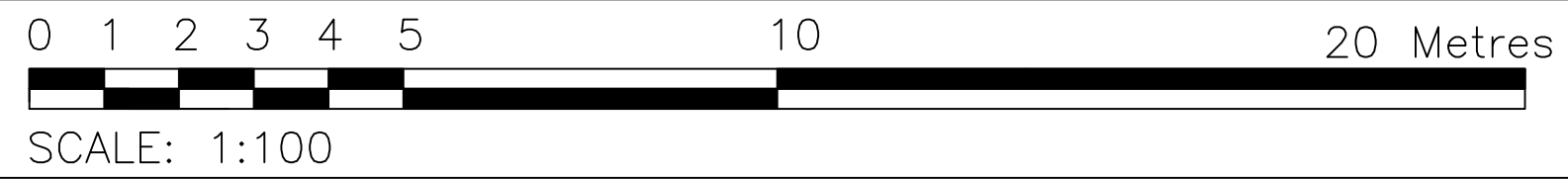
PO Box 31031 Drive-Thru Parcel Centre,
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w: www.rtarchitects.ca

Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SECOND FLOOR PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

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A1.4 SECOND FLOOR PLAN
SCALE: 1:100

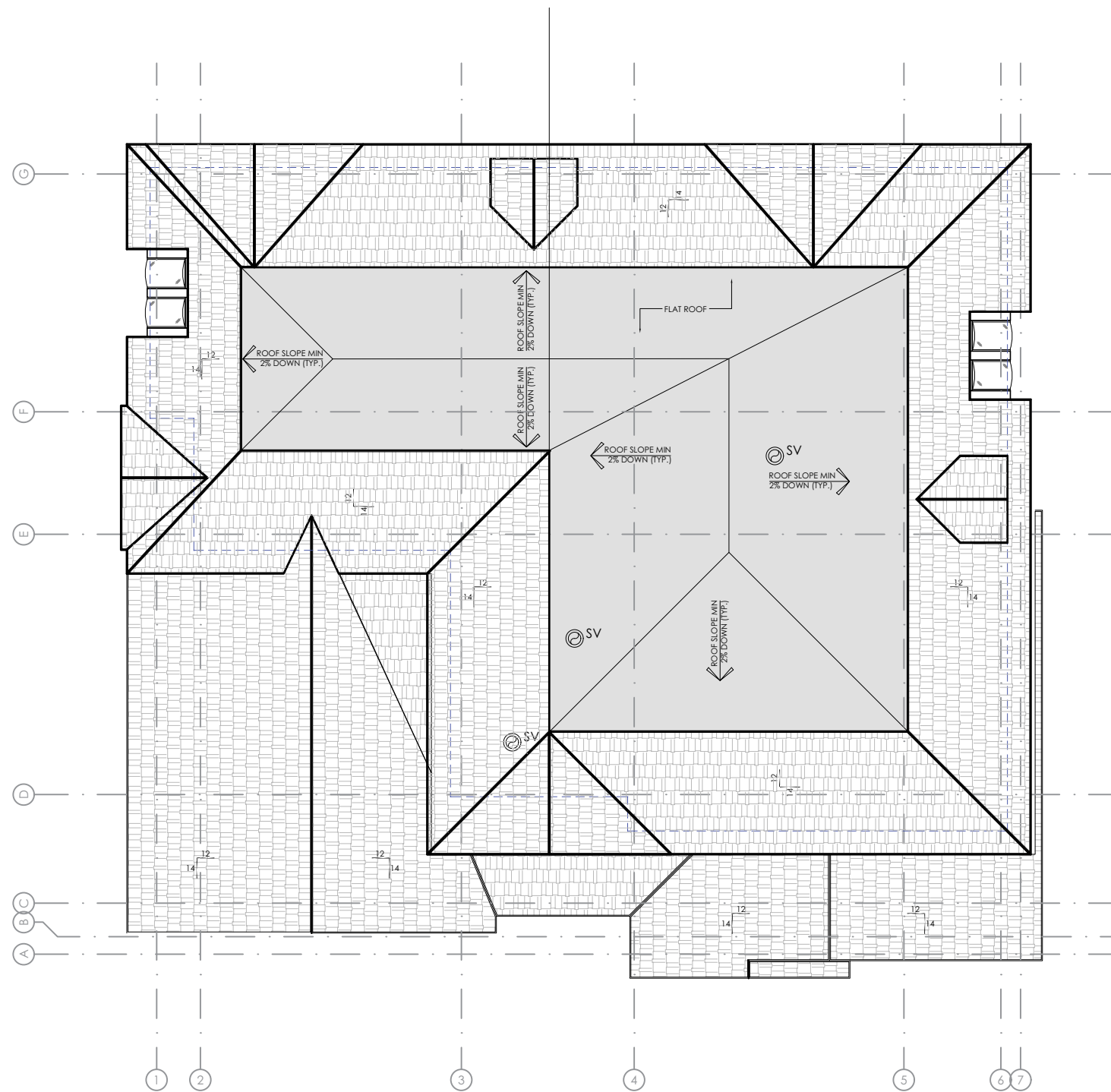


A1.4

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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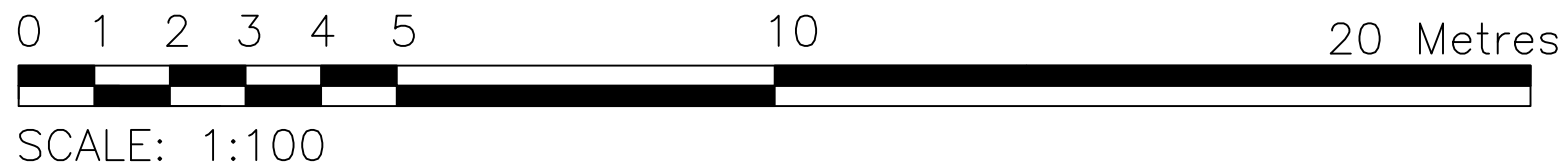
Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **ROOF PLAN**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

A1.5

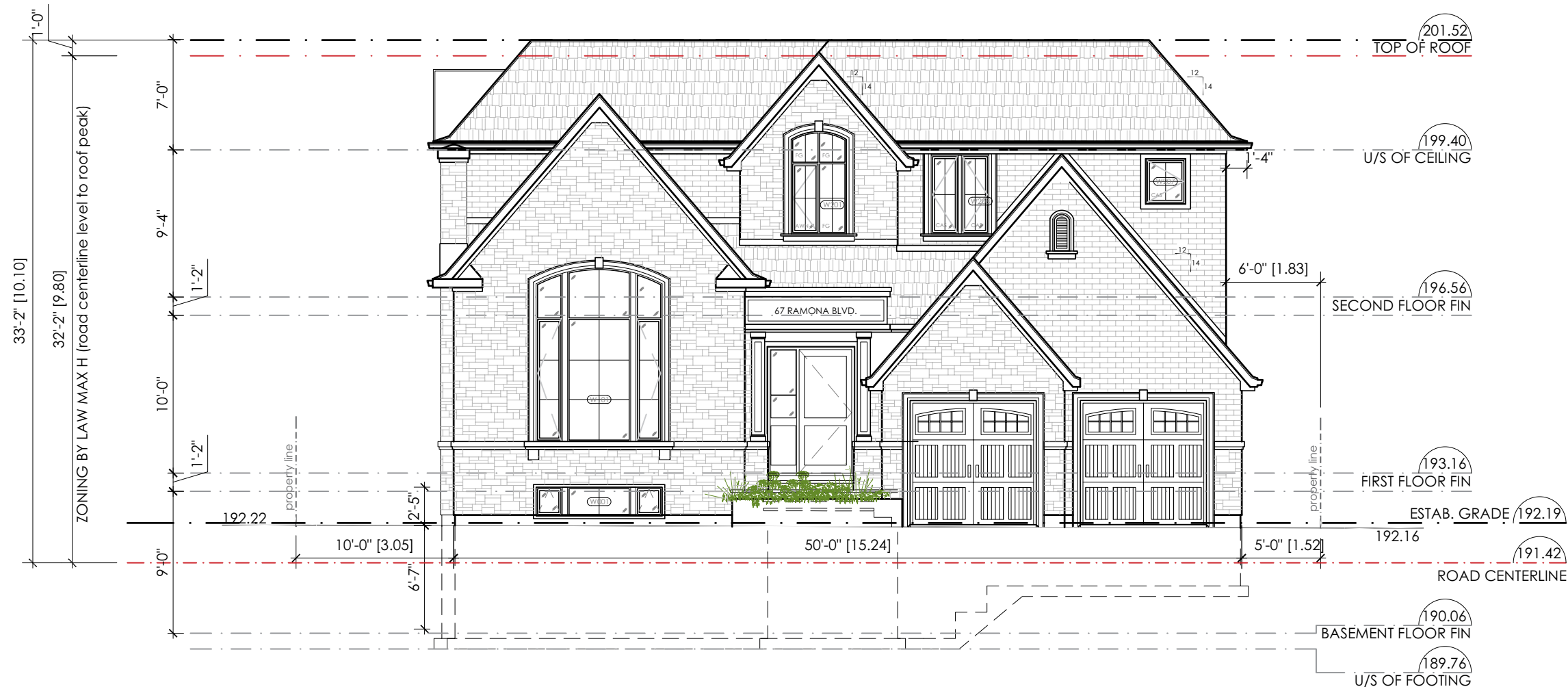
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A1.5 ROOF PLAN
SCALE: 1:100



Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
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4.		
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ONTARIO ASSOCIATION
OF
ARCHITECTS
RAFFI TASHDJIAN
LICENCE
9666

PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **NORTH (FRONT) ELEVATION**

HAKOPIAN RESIDENCE

Project no.: 2230136 Date: JANUARY 2023

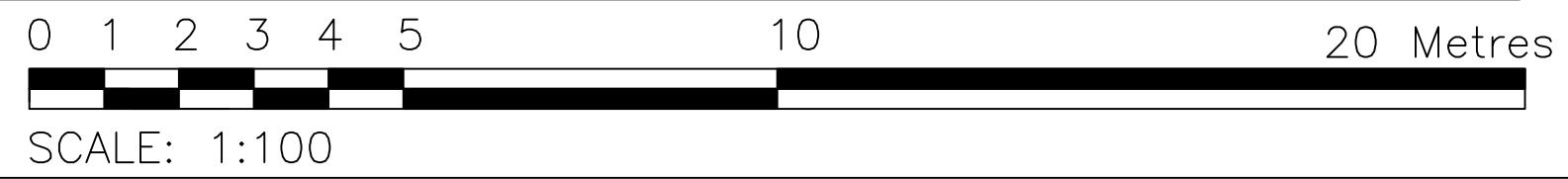
Drawn by: TM Scale: AS NOTED

Checked by: RT

North Arrow: Drawing No:

A2.1

1 NORTH (FRONT) ELEVATION
A2.1 SCALE: 1:100



Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
2.		
3.		
4.		
5.		



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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **SOUTH ELEVATION**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

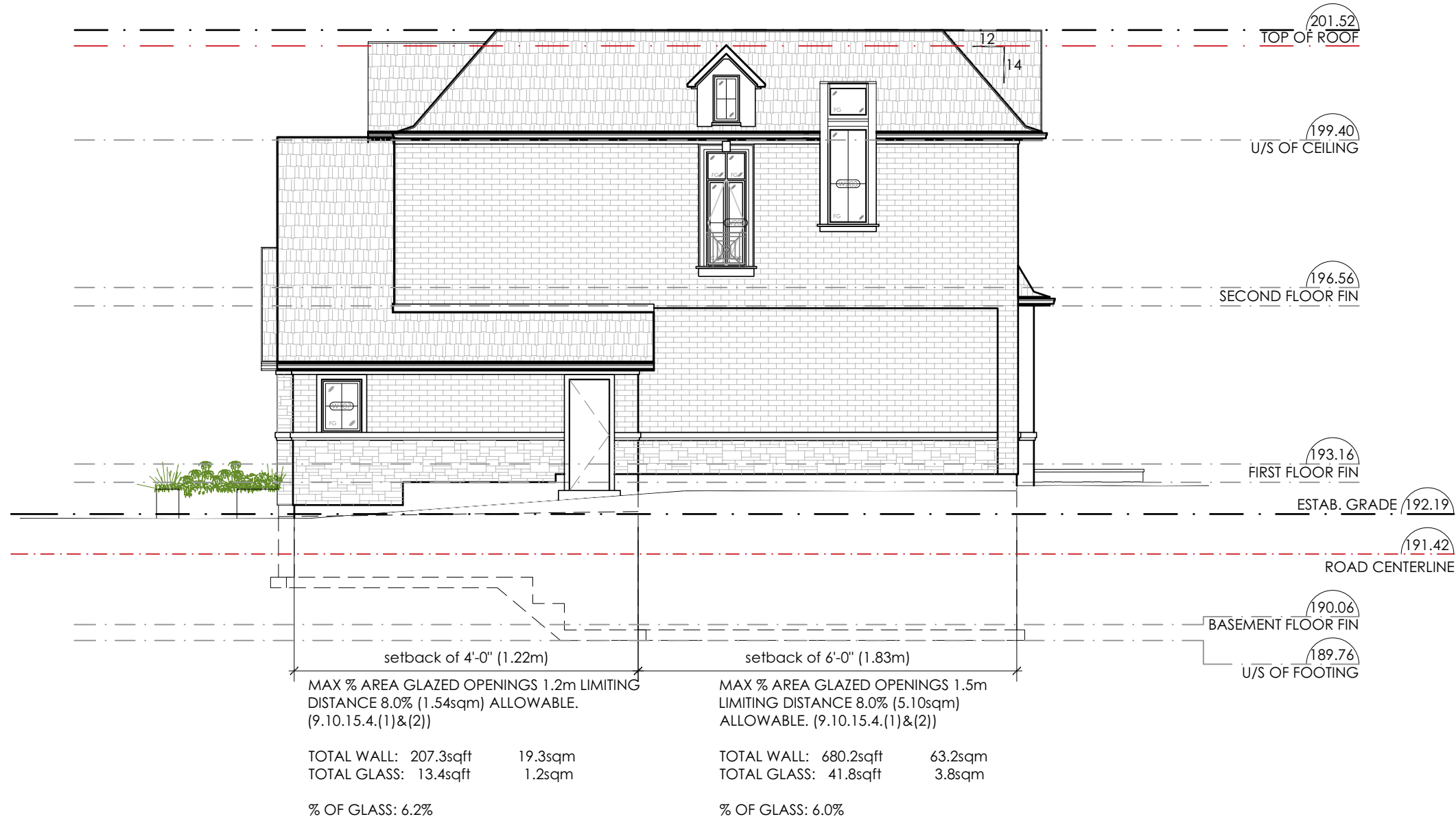
1
A2.2 SOUTH ELEVATION
SCALE: 1:100

A2.2

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
2.		
3.		
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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **WEST ELEVATION**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Drawn by:	TM
Checked by:	RT
North Arrow:	

Date: JANUARY 2023
Scale: AS NOTED
Drawing No.: **A2.3**

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
2.		
3.		
4.		
5.		



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Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **EAST ELEVATION**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

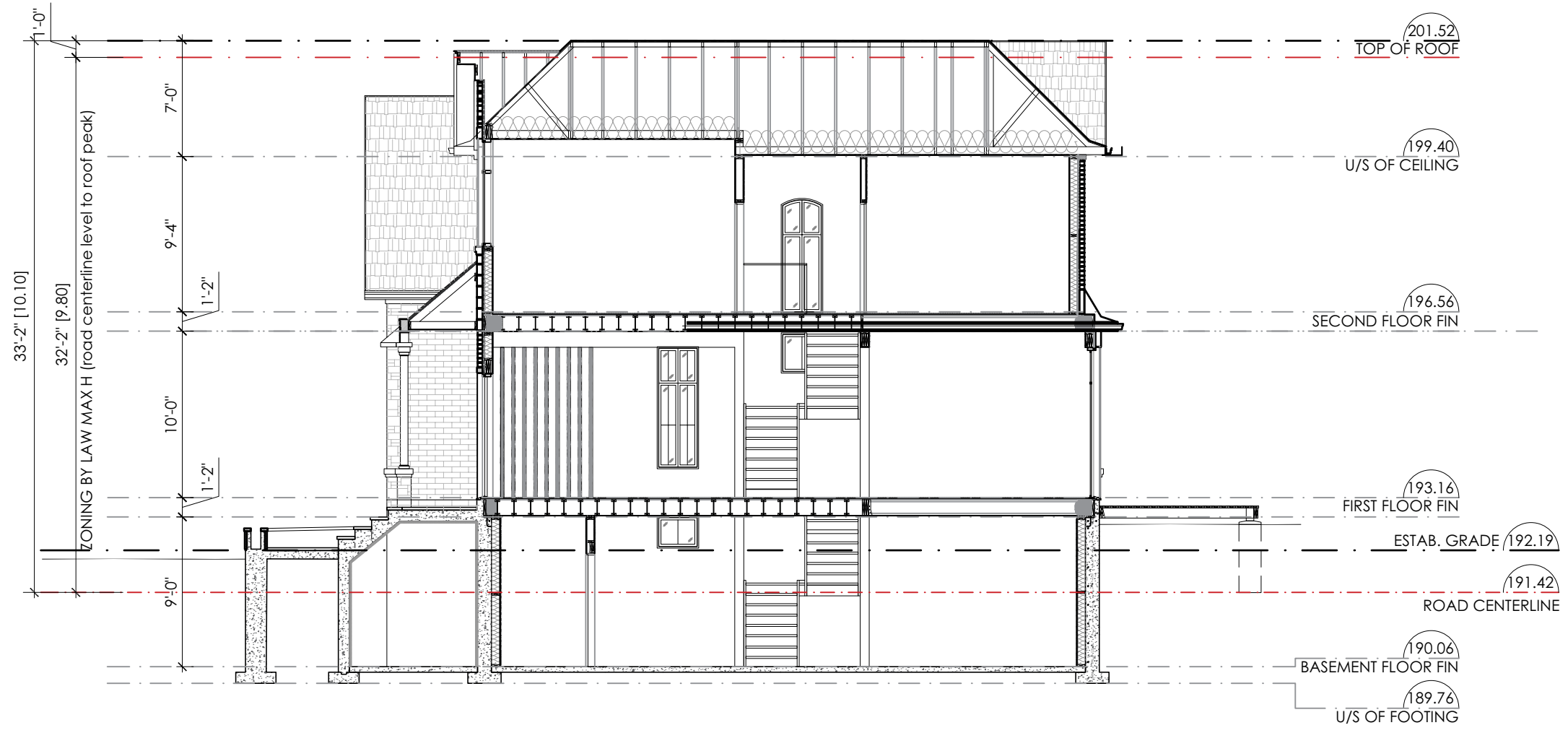
A2.4

1 EAST ELEVATION
A2.4 SCALE: 1:100

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23
MM/DD/YY



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2023-03-01
2.		
3.		
4.		
5.		



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w: www.rtarchitects.ca

Project: **2 STOREY CUSTOM HOUSE DESIGN**
67 RAMONA BLVD, MARKHAM, ON

Drawing Name: **BUILDING SECTION**

HAKOPIAN RESIDENCE	
Project no.:	2230136
Date:	JANUARY 2023
Drawn by:	TM
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

1 BUILDING SECTION
A2.5 SCALE: 1:100

A2.5

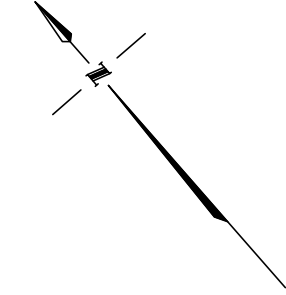
SURVEYOR'S REAL PROPERTY REPORT
 PLAN AND TOPOGRAPHY OF
LOT 266
 REGISTERED PLAN 9143
 TOWN OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK

SCALE = 1 : 200

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
PLAN SUBMISSION FORM
 1996947



**THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR**
 In accordance with
 Regulation 1026, Section 29(3)



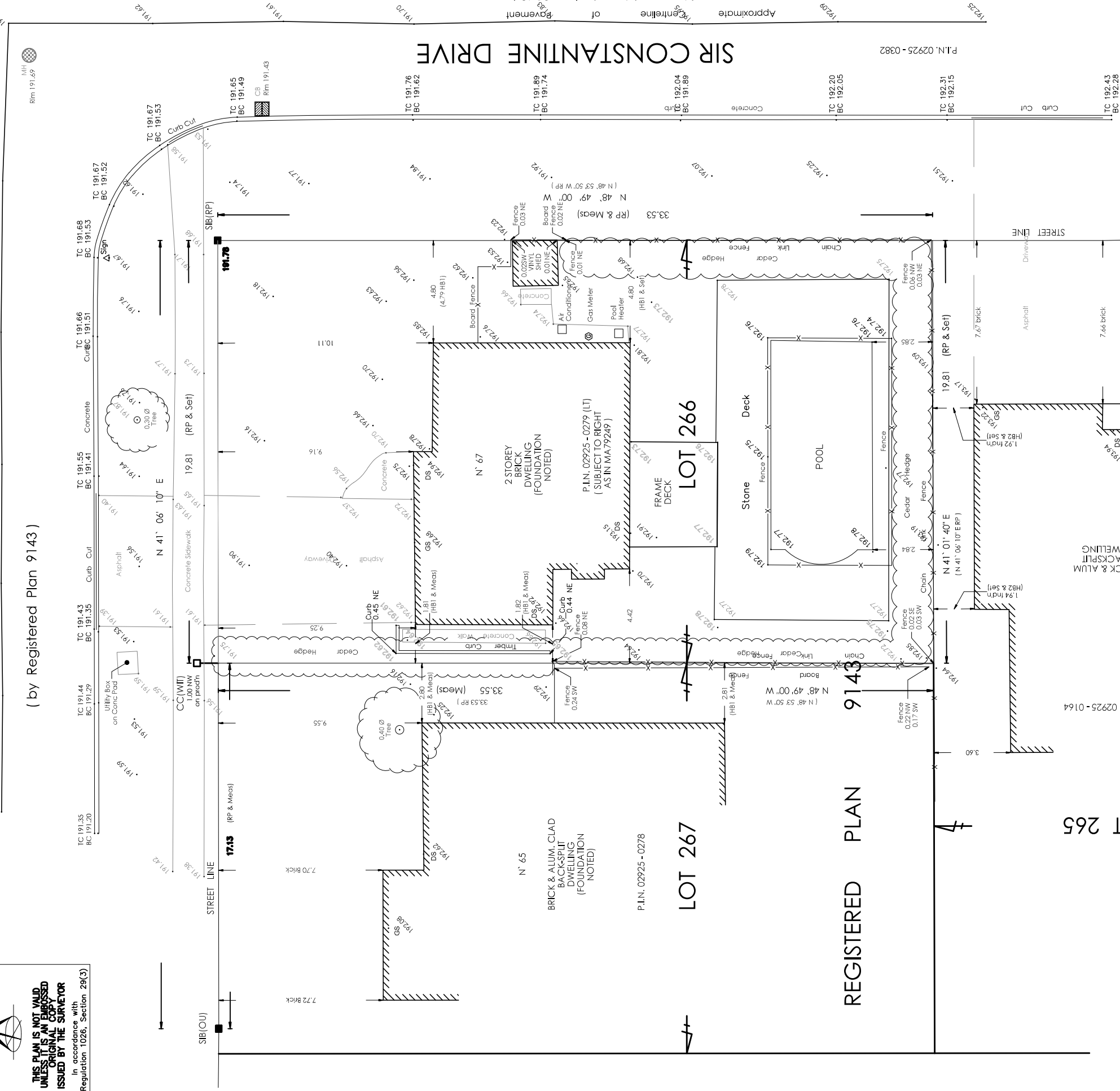
METRIC
 DISTANCES SHOWN HEREON ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY
 DIVIDING BY 0.3048

RAMONA BOULEVARD

P.I.N. 02924 - 0289

Approximate Centreline of Pavement

(by Registered Plan 9143)



LEGEND

□	DENOTES
■	MONUMENT PLANTED
—	MONUMENT FOUND
—	WITNESS
—	CUT CROSS
—	IRON BAR
—	STANDARD IRON BAR
—	REGISTERED PLAN 9143
—	PLAN OF SURVEY BY HOLDING & BABBS, O.L.S.,
—	DATED JULY 4TH, 1972
—	PLAN OF SURVEY BY HOLDING & BABBS, O.L.S.,
—	DATED AUGUST 11TH, 1972
—	ORIGIN UNKNOWN
—	PROPERTY IDENTIFIER
—	TOP OF CURB
—	BOTTOM OF CURB
—	CATCH BASIN
—	MAINTENANCE HOLE
—	DIAMETER
—	DOORSILL ELEVATION
—	GARAGE SILL ELEVATION

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF RAMONA BOULEVARD HAVING A BEARING OF N 41° 06' 10" E AS SHOWN ON REGISTERED PLAN 9143.

ELEVATION NOTE
 ELEVATIONS SHOWN HEREON ARE GEO METRES AND ARE RELATED TO BENCH MARK N° 092903139 HAVI OF 193.25 METRES [CCVD 1928;Pre

Appendix D

File: 23.115546.000.00.MNV

Date: 05/23/23



LAND SURVEY GROUP
 ONTARIO LAND SURVEYORS

777 THE QUEENSWAY, UNIT 100 TORONTO, ONTARIO, M5S 1N4
 Tel: 416-252-2511 416-467-8023 Fax: 416-252-2511

DRAWN : _____ CHECKED BY : _____