

Memorandum to the City of Markham Committee of Adjustment

November 30, 2023

File: A/178/23
Address: 38 Elgin Street, Markham (Thornhill)
Applicant: Peter Andrews
Agent: In Tech House Design Corporation (Andrii Golovnia)
Hearing Date: Wednesday, December 13, 2023

The following comments are provided on behalf of the West District Team.

The Applicant is requesting relief from the following “Third Density Single Family Residential (R3)” zone requirements of By-law 2237, as amended, as it relates to a proposed second storey addition.

a) Amending By-law 101-90, Section 1.2 (vii):

a maximum floor area ratio of 55.2 percent (4,195 ft²), whereas the by-law permits a maximum floor area ratio of 50 percent (3,795 ft²).

BACKGROUND

Property Description

The 717.22 m² (7,720 ft²) “Subject Lands” are located on the north side of Elgin Street, east of Dudley Avenue, and west of Alcaine Court (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. Mature vegetation exists across the property with a mature tree in the front yard, and two mature trees in the rear yard.

There is an existing 248.66 m² (2,677 ft²) two-storey detached dwelling on the Subject Lands which was constructed in 1969, according to assessment records.

Proposal

The Owners have proposed a 103.98 m² (1,119 ft²) one-storey addition above the garage to an existing two-storey dwelling.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Subject Lands are designated “Residential Low Rise”, which permits low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing and setbacks. The purpose of this development criteria is to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

Zoning By-Law 2237, as amended

The Subject Lands are zoned “Third Density Single Family Residential (R3)” under By-law 2237, as amended, which permits single family detached dwellings.

Residential Infill Zoning By-law 101-90, as amended

The subject property is also subject to the Residential Infill Zoning By-law 101-90, as amended. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to floor area ratio.

Applicant’s Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *“we are not able to comply as more space is required because the client’s family is expanding. An additional 2 bedrooms are required along with a kitchen, living space and bathrooms. The proposed additional space is required to be able to cater to the requirements while providing a comfortable habitable environment.”*

Zoning Preliminary Review (ZPR) Undertaken

The Owner has completed a Zoning Preliminary Review (ZPR) on August 29, 2023 to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Increased Maximum Floor Area Ratio Variance

The Applicant is requesting relief to permit a floor area ratio of 55.2 percent (4,195 ft²), whereas a maximum floor area ratio of 50 percent (3,795 ft²) is permitted. The variance will facilitate the construction of a one-storey addition above the garage with a total floor area of 389.73 m² (4,195 ft²), whereas the By-law permits a dwelling with a maximum floor area of 352.57 m² (3,795 ft²). This represents an increase in floor area of approximately 37.16 m² (400 ft²) or 10 percent, above what is permitted by the By-law.

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area however; it is not a definitive measure of the mass of the dwelling. The building layout meets all other zoning provisions that establish the prescribed building envelope, which ensures the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood.

Staff are of the opinion that the proposed maximum floor area ratio is compatible with development on the street, have no concern with the requested variance and that the

proposed addition to the existing dwelling is generally consistent with what the By-law permits.

PUBLIC INPUT SUMMARY

No written submissions were received as of November 28, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the requested variance meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix “C” for conditions to be attached to any approval of this application.

PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office

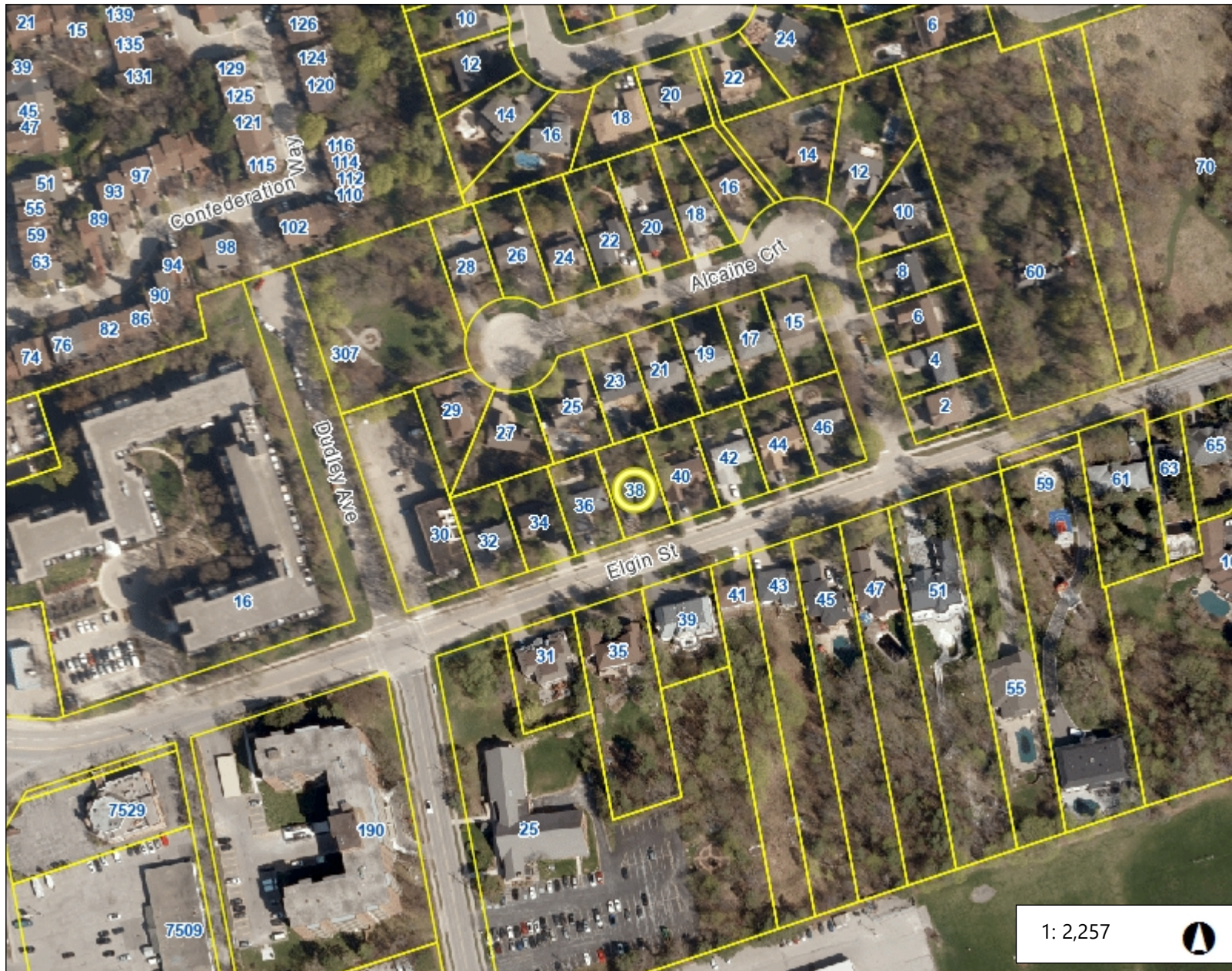
REVIEWED BY:



Rick Cefaratti, MCIP RPP, Senior Planner, West District

APPENDICES

- Appendix “A” – Aerial Context Photo
- Appendix “B” – Plans
- Appendix “C” – A/178/23 Conditions of Approval



Legend

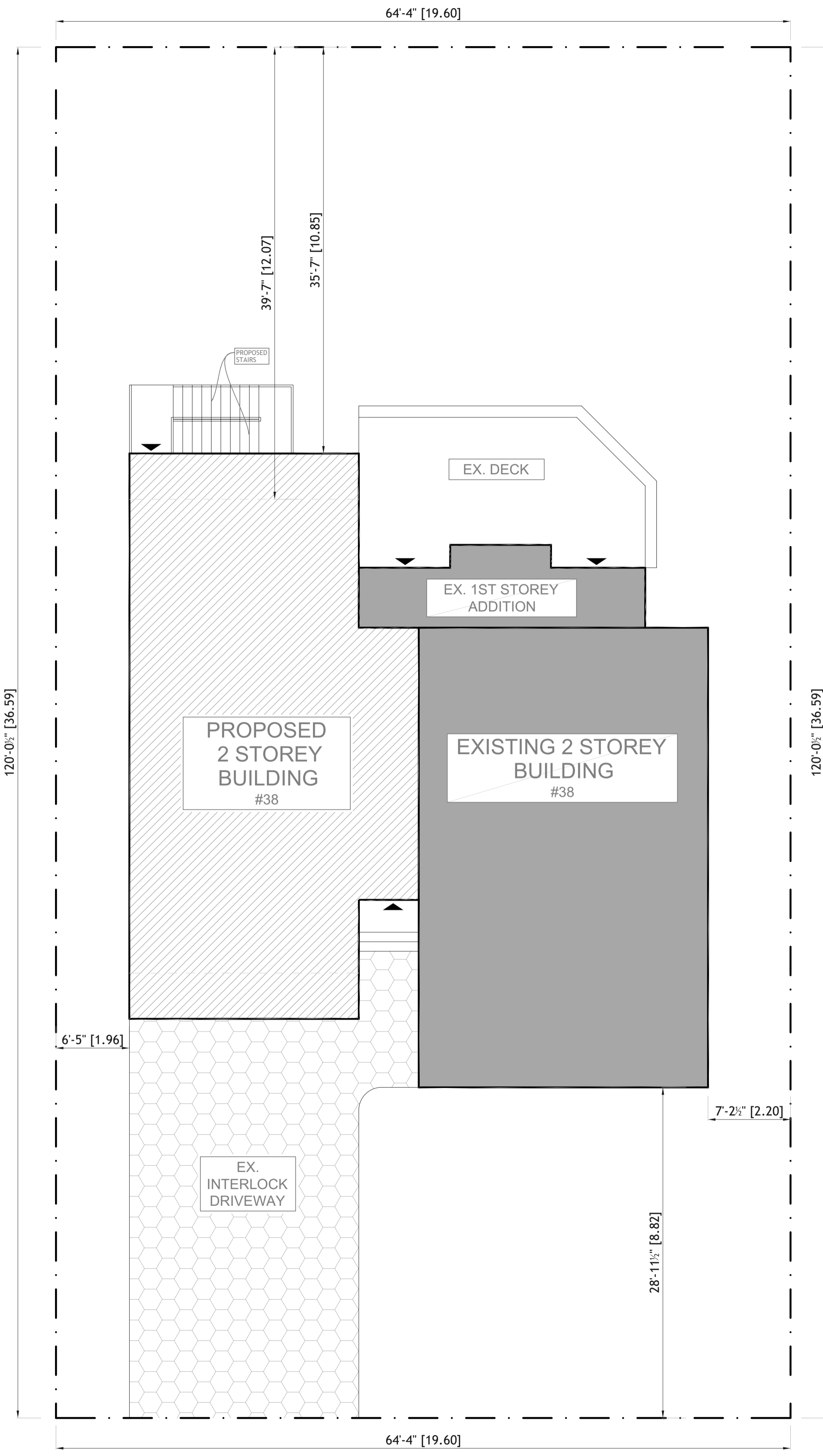
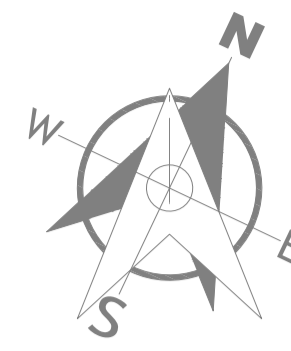
- Parcel Overlay

1: 2,257



114.7 0 57.33 114.7 Meters

Notes



Elgin Str.

Site Plan

SITE STATISTICS		
	EXISTING	PROPOSED
LOT AREA	717.22 m ²	
BUILDING AREA	197.68 m ²	214.10 m ²
LOT COVERAGE	27.5%	29.8%
GROSS FLOOR AREA		
1ST FLOOR	153.93 m ²	153.93 m ²
2ND FLOOR	94.73 m ²	198.71 m ²
TOTAL G.F.A.	248.66 m ²	352.64 m ²
ATTACHED GARAGE	37.74 m ²	37.74 m ²
FINISHED BASEMENT	137.08 m ²	137.08 m ²
ELEVATOR	- m ²	1.49 m ²
BUILDING HEIGHT	8.24 m	8.24 m
SETBACKS		
FRONT	8.82m	8.82m
REAR	12.07 m	10.85 m
WEST SIDE	1.96 m	1.96 m
EAST SIDE	2.20 m	2.20 m
LOT FRONTAGE	19.60 m	
BUILDING LENGTH	15.70 m	16.92 m

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- GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH WORK.
 - DO NOT SCALE DRAWINGS.
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REVISIONS AND ISSUES		
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

PROJECT NAME:
2nd Storey Addition

PROJECT ADDRESS:
38 Elgin St.

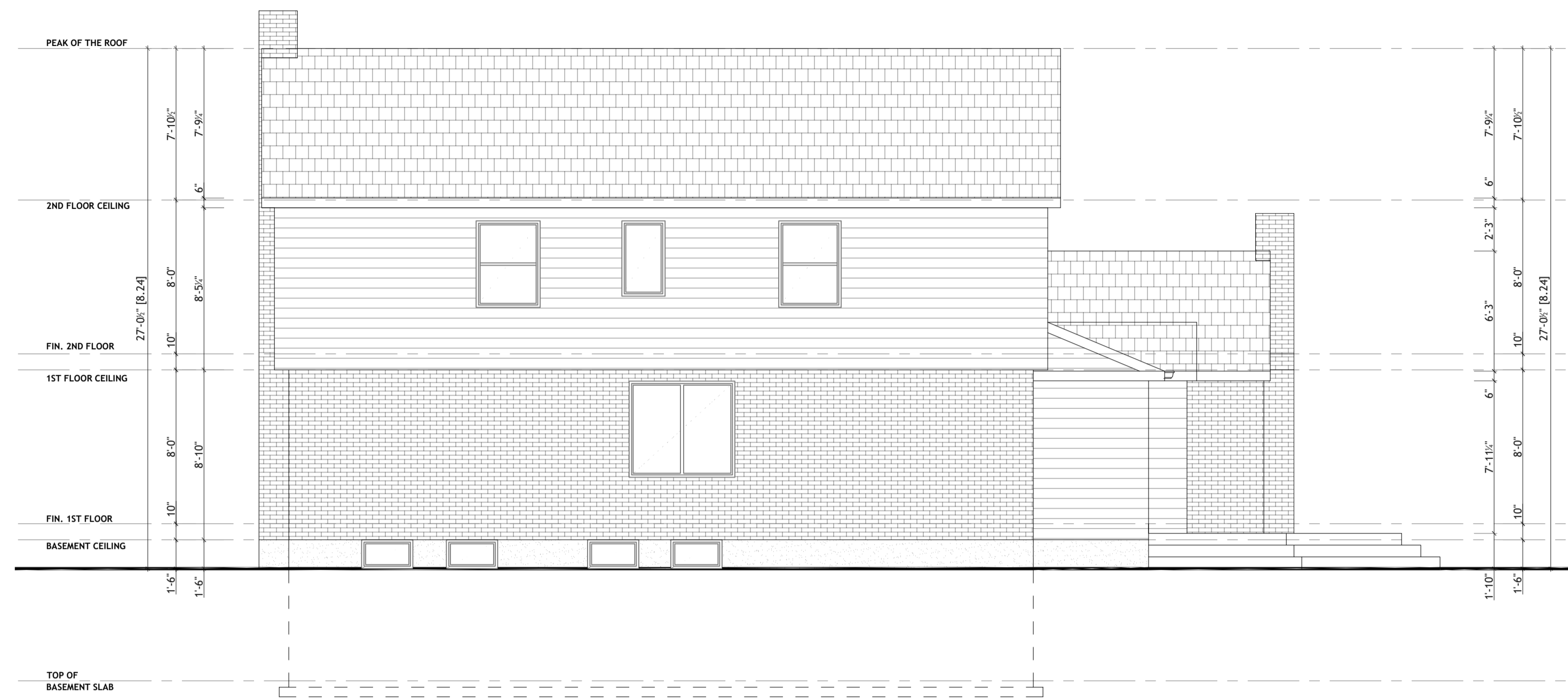
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Site Plan, Site Statistics

DESIGN BY:	RH	DRAWING N°: A1
DRAWN BY:	AVG	
CHECKED BY:	AG	
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DATE:	2023/09/26	
PROJECT N°:	22-603	SIZE: ARCH D 36 X24

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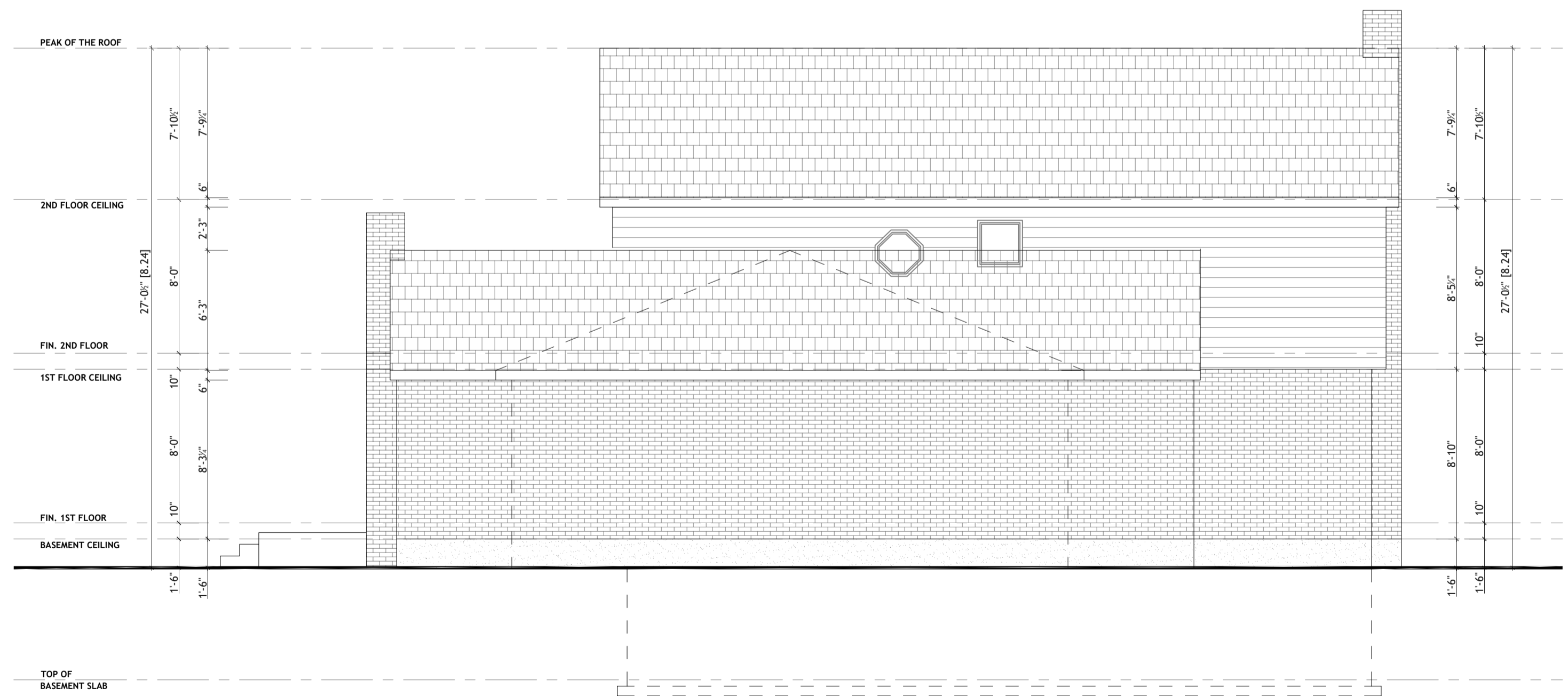
North Elevation
(Existing)



East Elevation
(Existing)



South Elevation
(Existing)



West Elevation
(Existing)

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DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

A. GOLOVINA
 100196685
 2023/08/16
 PROVINCE OF ONTARIO

REGISTERED PROFESSIONAL ENGINEER
 REGISTERED CIVIL ENGINEER
 REGISTERED ELECTRICAL ENGINEER
 REGISTERED MECHANICAL ENGINEER
 REGISTERED STRUCTURAL ENGINEER
 REGISTERED SURVEYOR
 REGISTERED ARCHITECT
 REGISTERED LANDSCAPE ARCHITECT
 REGISTERED PLANNING ENGINEER
 REGISTERED ENVIRONMENTAL ENGINEER
 REGISTERED ENVIRONMENTAL SCIENTIST
 REGISTERED ENVIRONMENTAL TECHNICIAN
 REGISTERED ENVIRONMENTAL MONITORING AND ASSESSMENT ENGINEER
 REGISTERED ENVIRONMENTAL ASSESSMENT ENGINEER
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PROJECT NAME:
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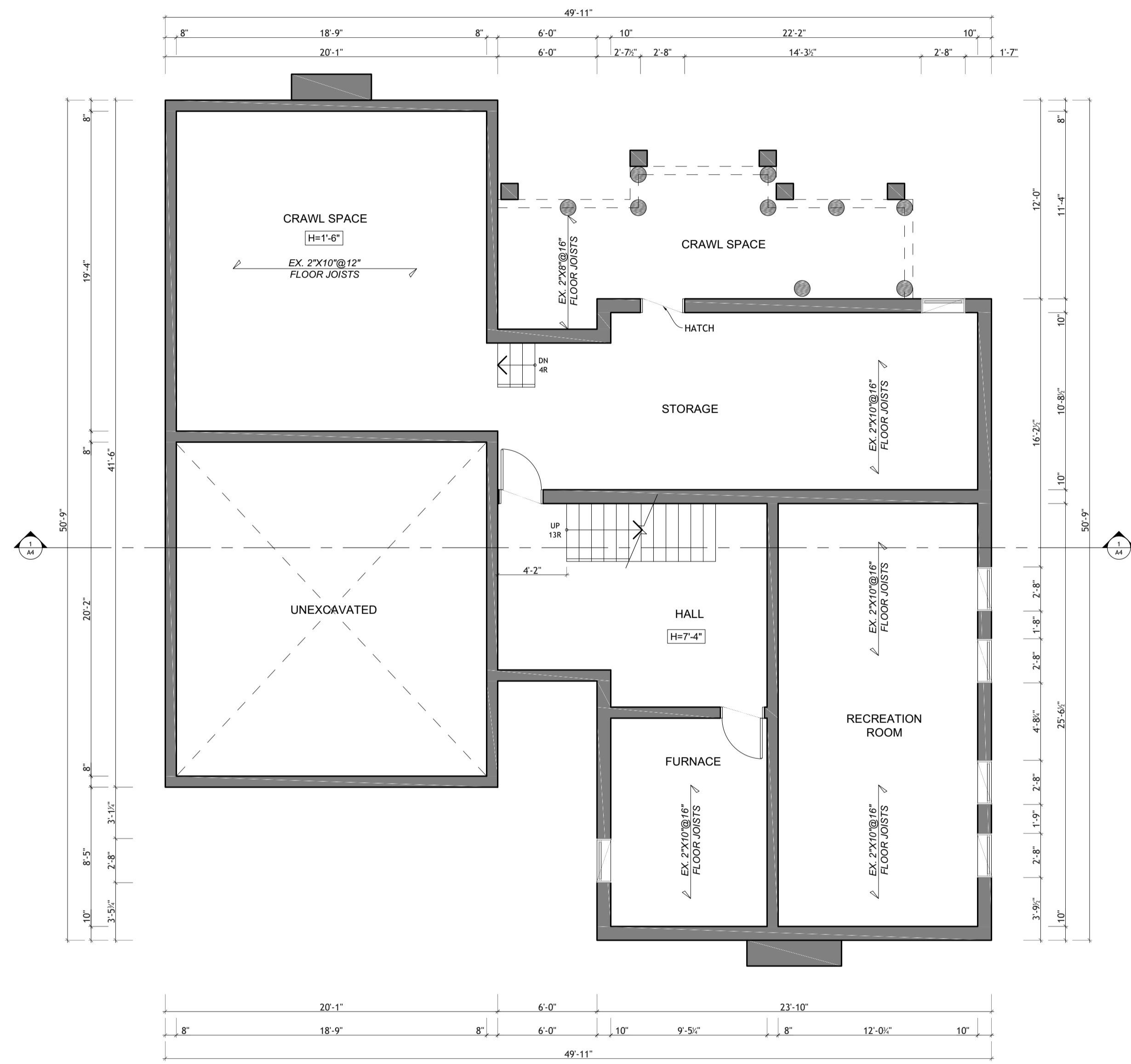
PROJECT ADDRESS:
38 Elgin St.

SHEET TITLE:
Elevations (Existing)

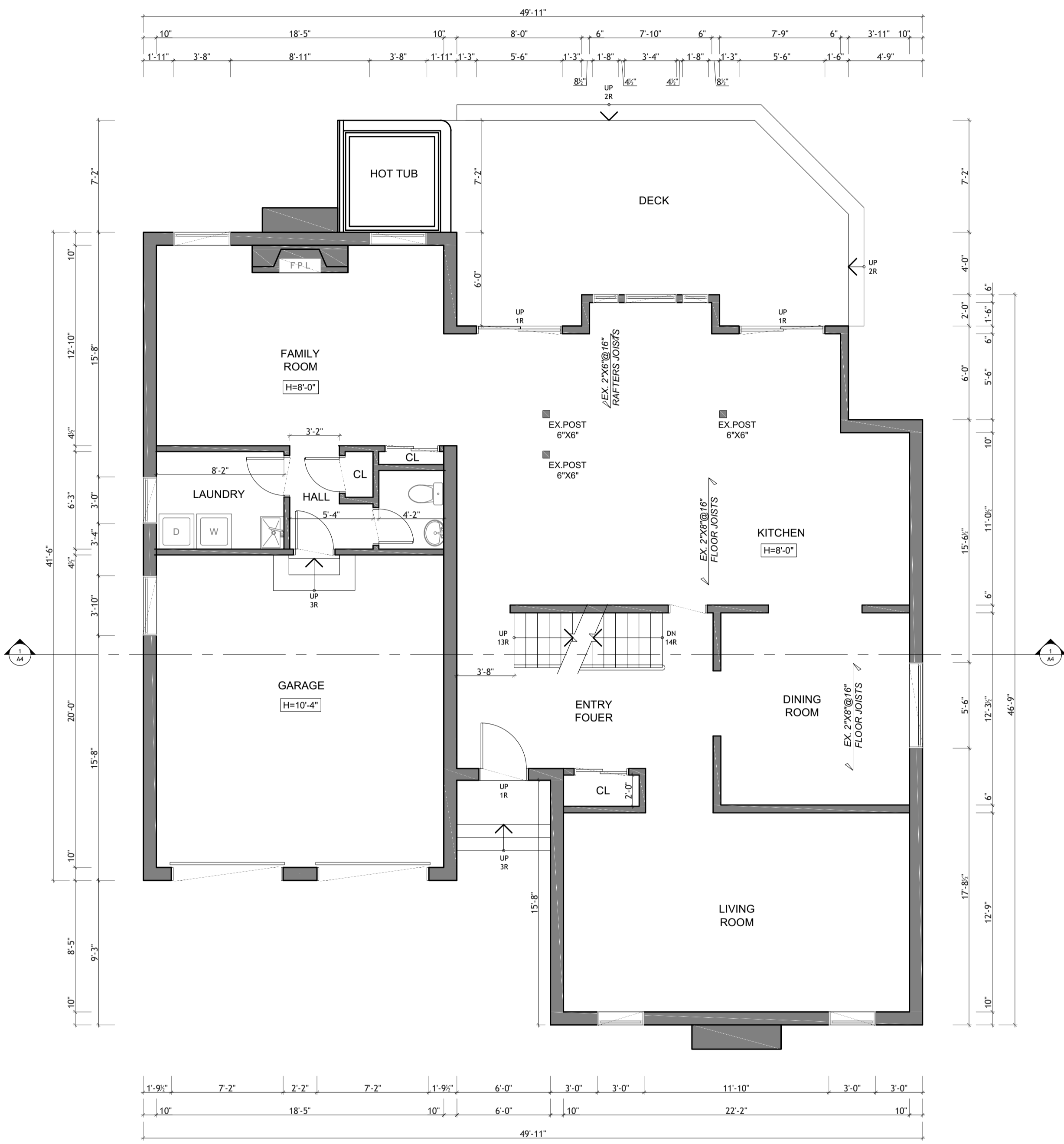
DESIGN BY: RH
 DRAWN BY: AVG
 CHECKED BY: AG
 SCALE: 3/16" = 1'-0"
 DATE: 2023/08/16
 PROJECT No: 22-603

DRAWING No:
A2

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Basement Floor Plan (Existing)



1st Floor Plan (Existing)

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Andri Golovina BCIN 47354
 REGISTRATION INFORMATION
 Required stamp design as per the code
 Designation: Architect
 Firm Name: Itch House Design Corp
 City: Toronto

PROJECT NAME:
 2nd Storey Addition

PROJECT ADDRESS:
 38 Elgin St.

SHEET TITLE:
 Basement And 1st Floor Plans (Existing)

DESIGN BY:	RH	DRAWING NO: A3
DRAWN BY:	AVG	
CHECKED BY:	AG	
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DATE:	2023/08/16	
PROJECT No:	22-603	SIZE: ARCH D 36"x24"

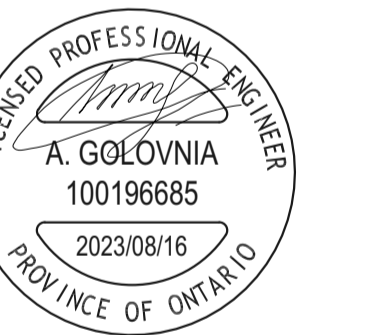
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REGISTERED PROFESSIONAL ENGINEER UNDER DIVISION C-3.2.3.1 OF THE 2012 O.B.C.

Andri Golovnia BORN 47354

REGISTRATION INFORMATION
Required under Section 44 of the Regulated Professions Act, 2012 O.B.C.
Firm Name: Itd. Tech House Design Corp
DOB: 1982

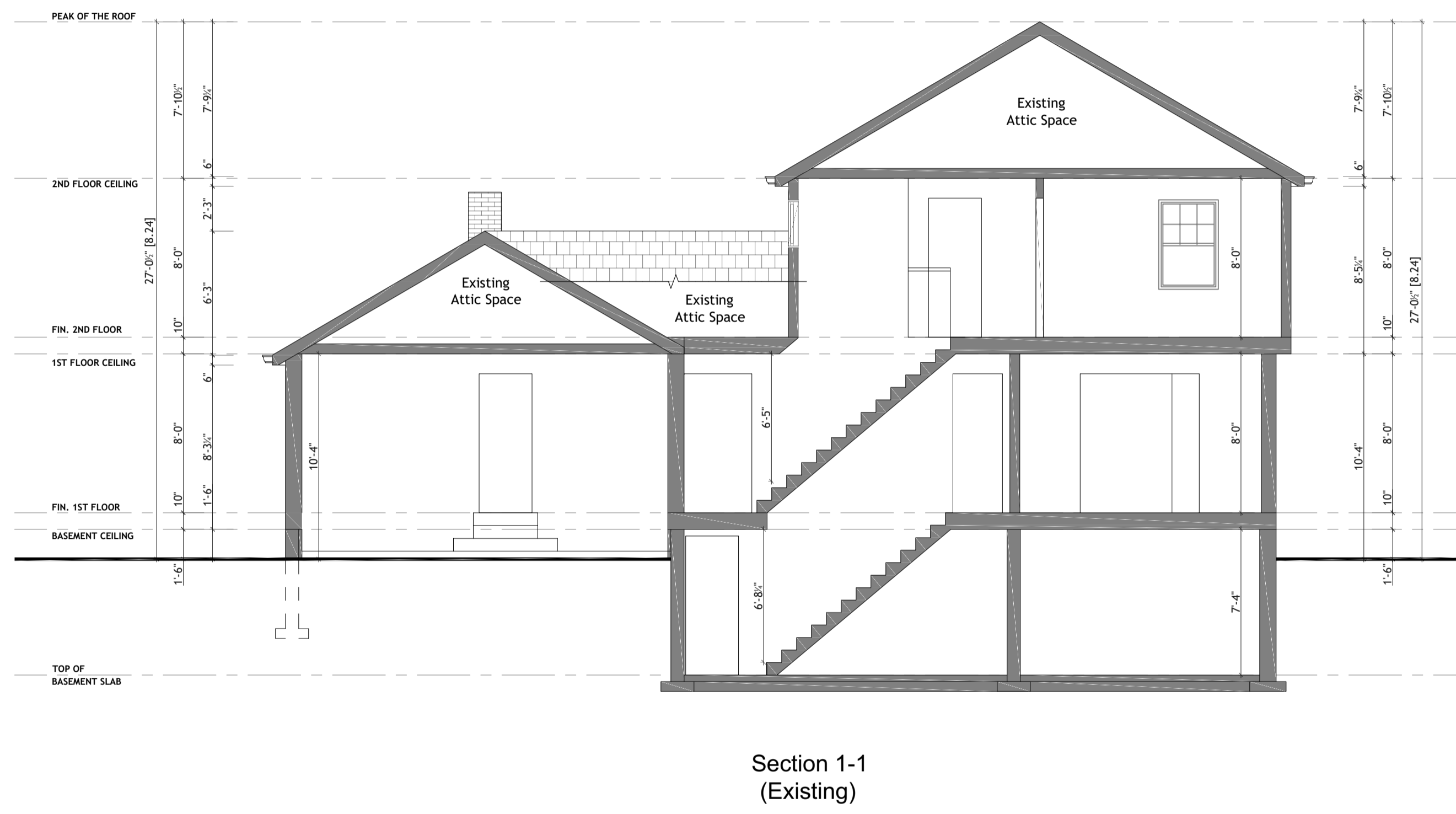
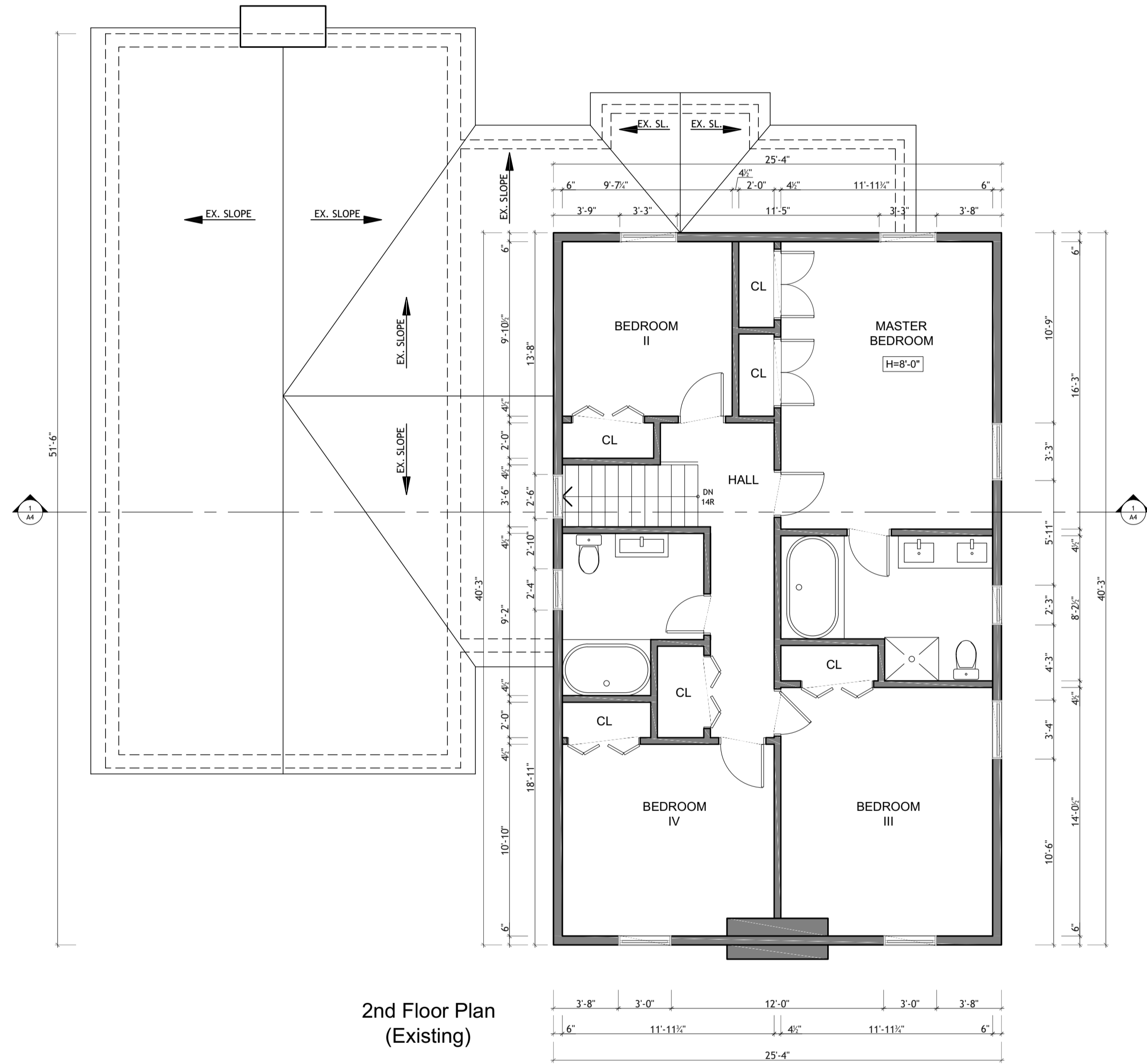
PROJECT NAME:
2nd Storey Addition

PROJECT ADDRESS:
38 Elgin St.

SHEET TITLE:
**2nd Floor Plan (Existing).
Section 1-1 (Existing)**

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DRAWN BY: AVG
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2023/08/16
PROJECT No: 22-603

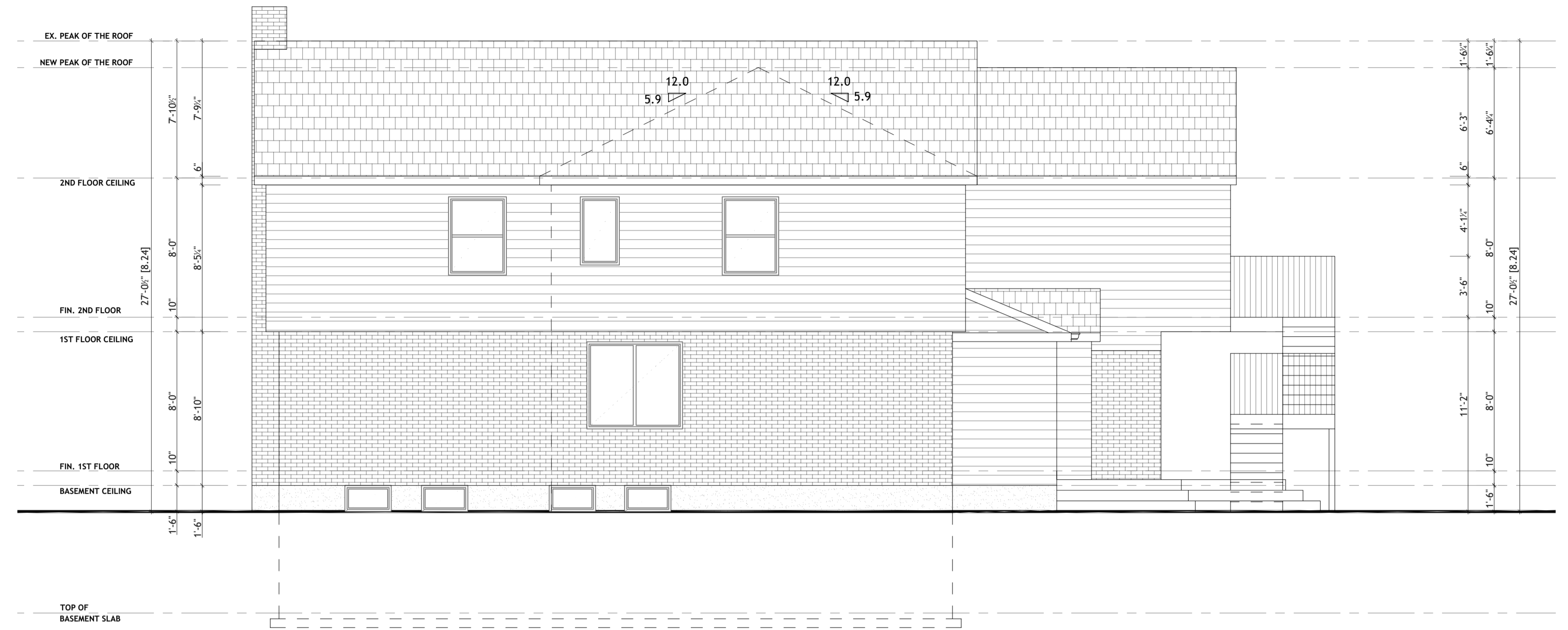
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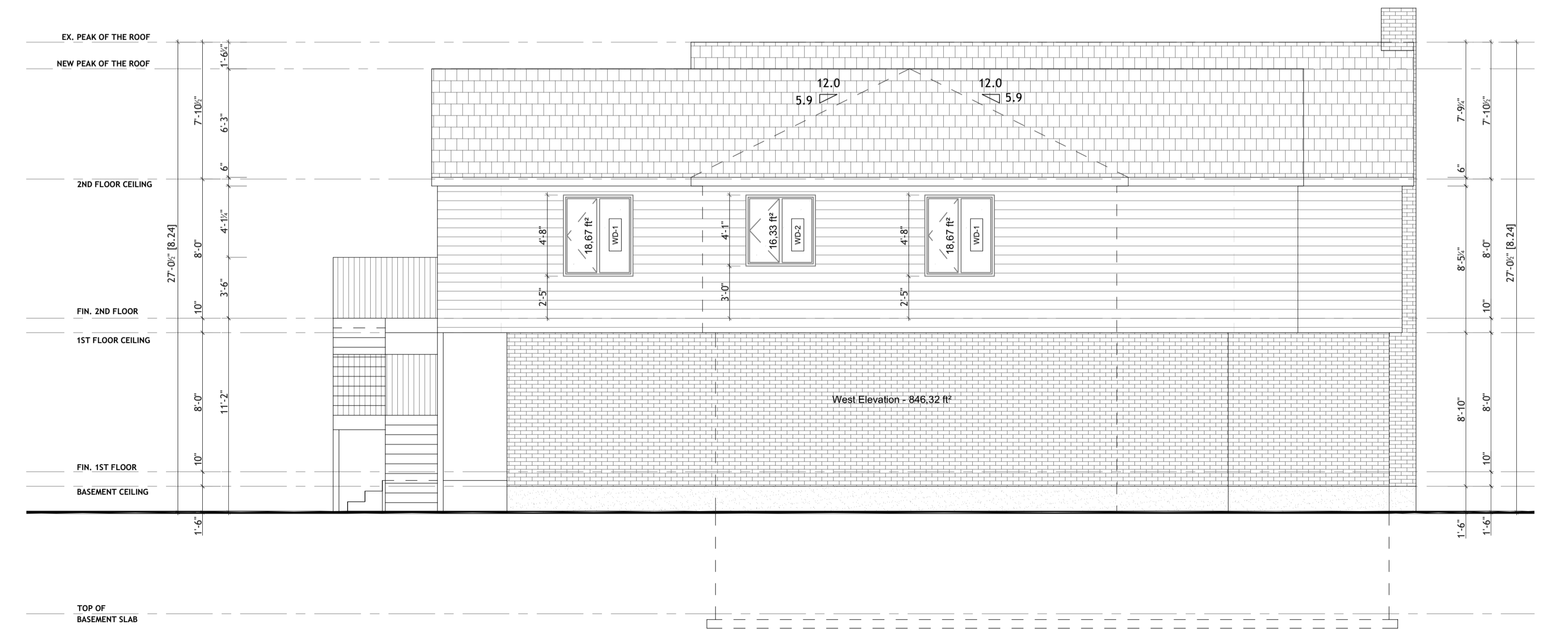
North Elevation
(Proposed)



East Elevation
(Proposed)



South Elevation
(Proposed)



West Elevation
(Proposed)

West Elevation - 846.32 R²
 Window West Elevation - 53.67 R² x 0.90 = 48.30 R²

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 LICENSED PROFESSIONAL ENGINEER
 100196685
 2023/08/16
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André Golovnja BCIN 47354
 REGISTRATION INFORMATION
 Required under Reg. 44, Reg. 45 or Reg. 46 of the O.B.C.
 Firm Name: Tech House Design Corp
 BCIN: 19424

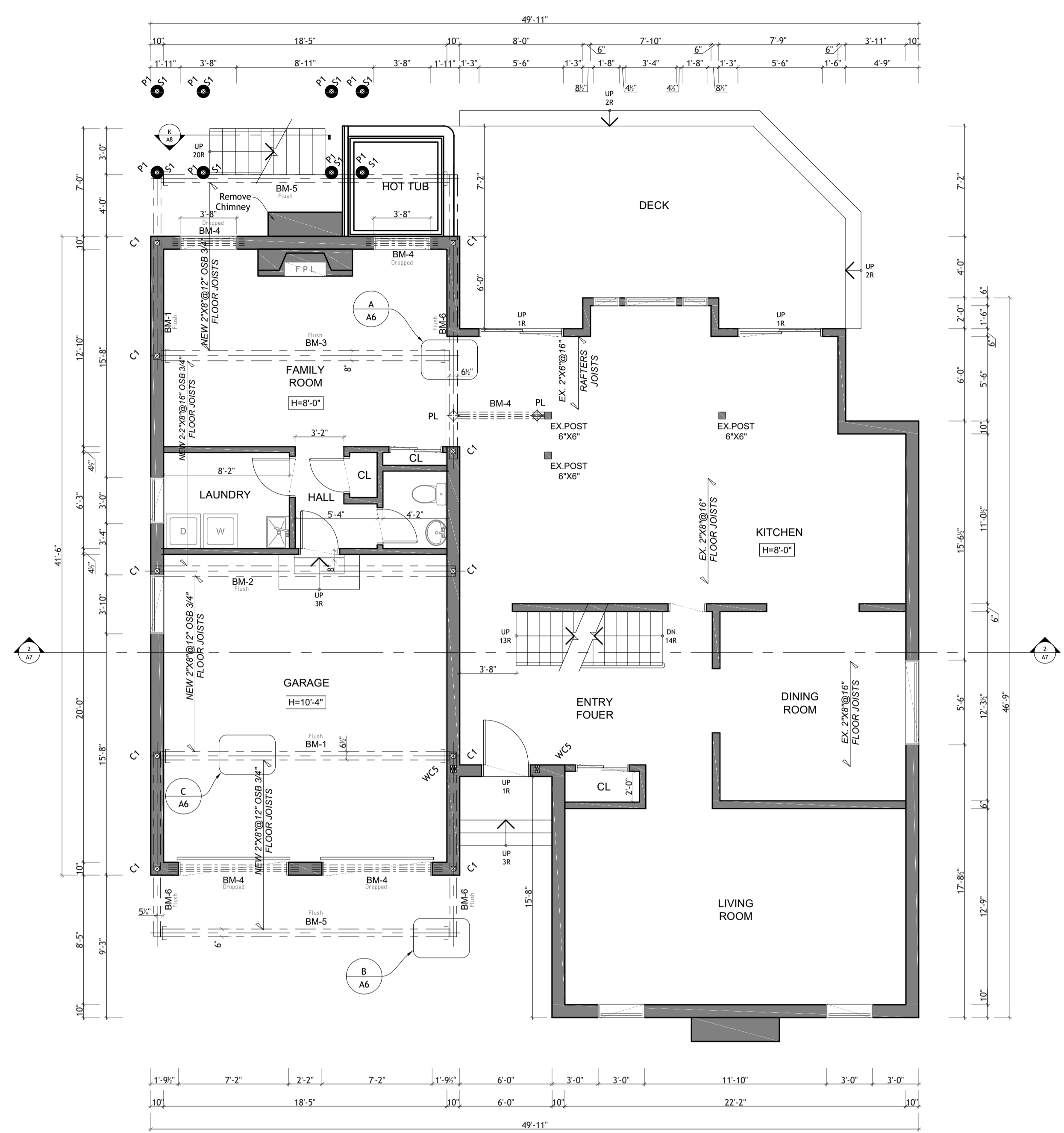
PROJECT NAME:
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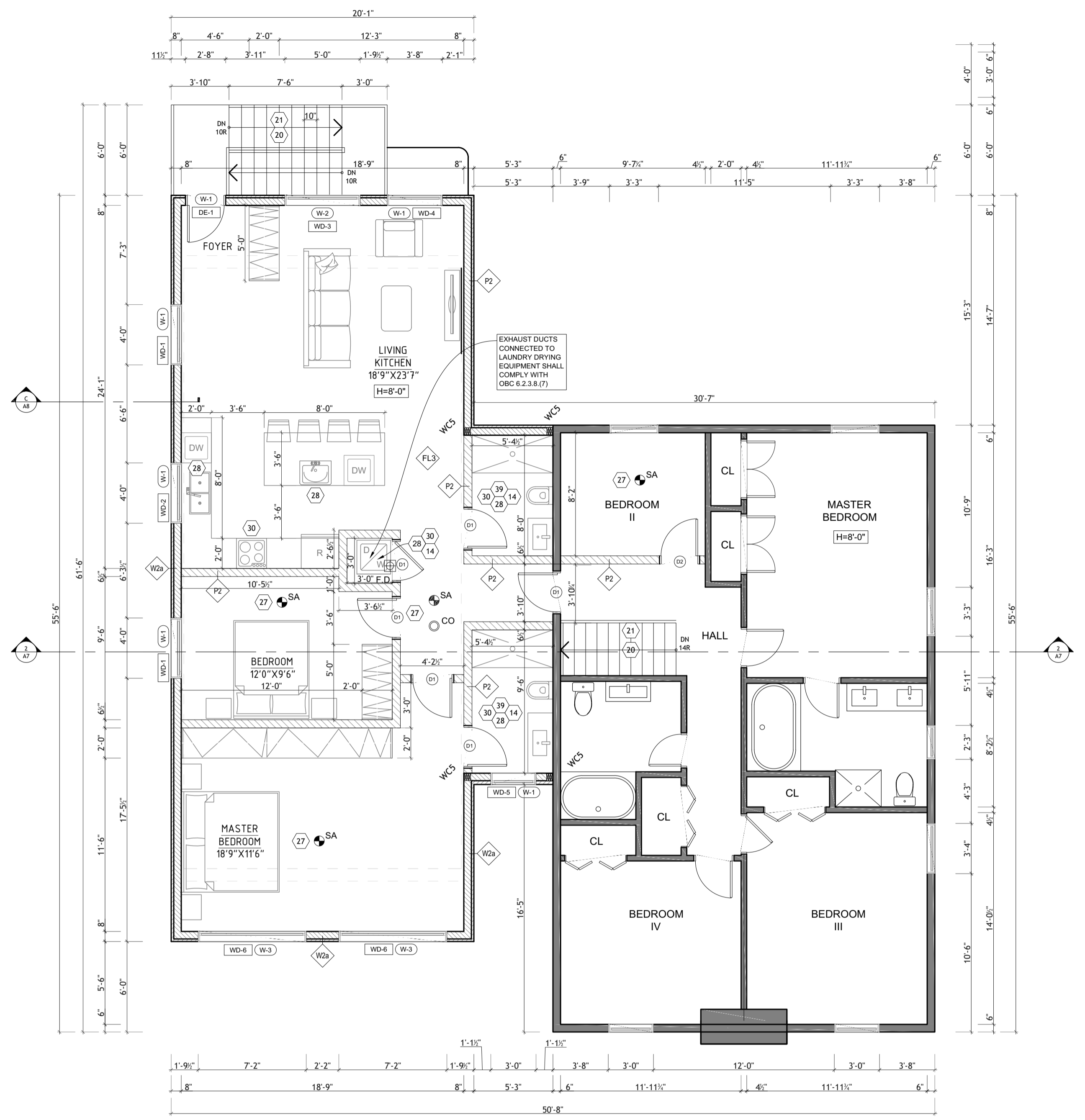
SHEET TITLE:
Elevations (Proposed)

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CHECKED BY:	AG	
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DATE:	2023/08/16	
PROJECT N°:	22-603	SIZE: ARCH D 36"x24"

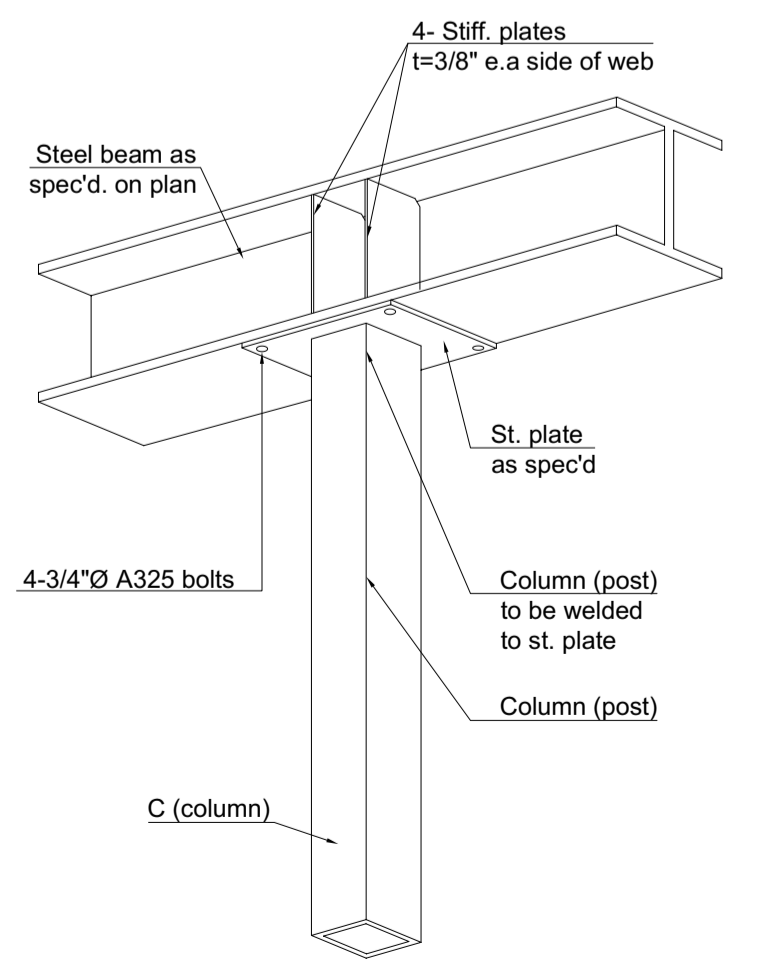
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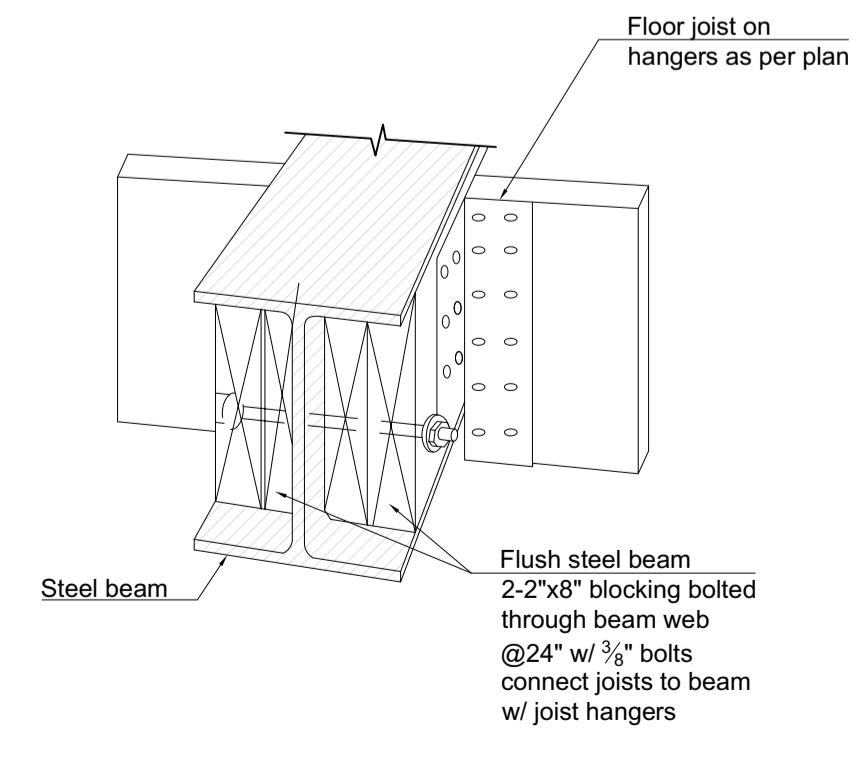
1st Floor Plan (Proposed)



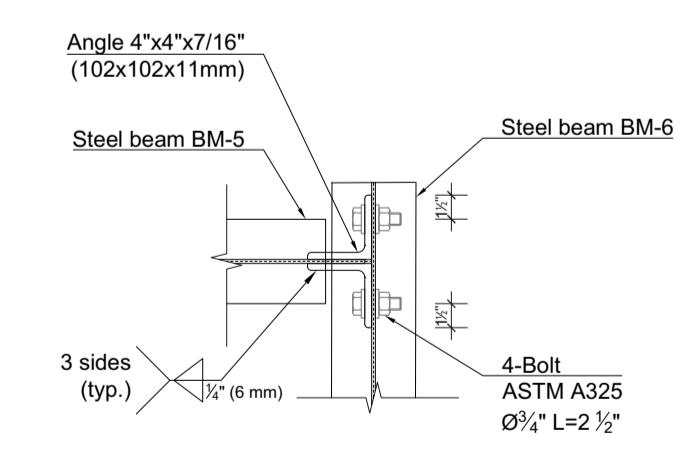
2nd Floor Plan (Proposed)



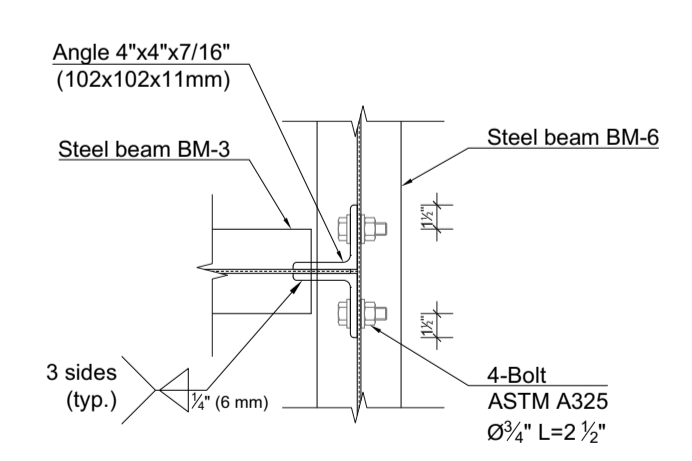
Steel column (post) supporting steel beam.



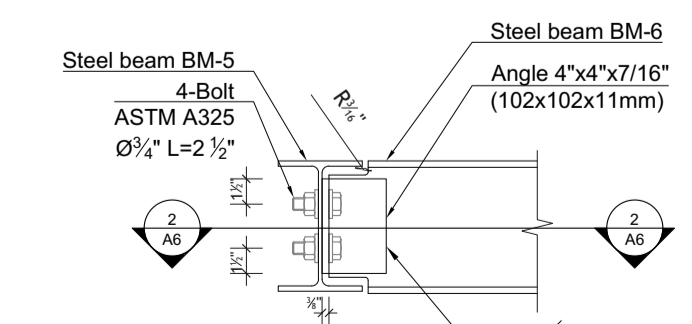
Typ. connection st. beam w/ wood joists



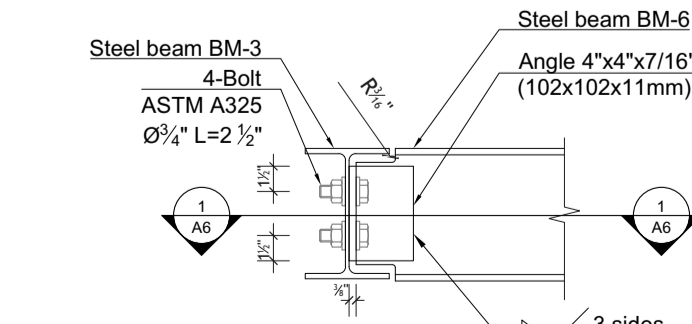
Section 2-2



Section 1-1



Typ. "T" connect st. beam to st. beam



Typ. "T" connect st. beam to st. beam

WOOD LINTEL SCHEDULE		
FIRST AND 2ND FLOOR WOOD LINTEL SCHEDULE		
W-1	Up to 4'-0" Opening	2 - 2" x 10"
W-2	Up to 6'-0" Opening	2 - 2" x 12"
W-3	Up to 8'-0" Opening	3 - 2" x 12"

BEAM SCHEDULE		
NAME	TYPE	NOTES
BM-1	W200x42	
BM-2	W200x59	
BM-3	W200x46	
BM-4	3-2"x8"	S-P-F, No.2
BM-5	W150x37	
BM-6	W200x36	

COLUMNS SCHEDULE		
NAME	TYPE	NOTES
WC5	3-2"x6"	
C1	HSS 3 1/2" X 3 1/2" X 1/4" W/ 8" X 8" X 3/8" TOP & BOT PL. CW 4-1/2" DIA ANCHOR BOLTS 6" LONG	

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REVISIONS AND ISSUES		
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

Licensed Professional Engineer
A. GOŁOVNIA
 100196685
 2023/08/16
 PROVINCE OF ONTARIO

REGISTRATION INFORMATION
 Registered under the Engineering and Geomatics Act, R.S.O. 1990, Chapter O.19
 Division C-3.3.1 of the 2012 O.B.C.
 Firm Name: ITHD House Design Corp
 B.O.N.: 19422

PROJECT NAME:
 2nd Storey Addition

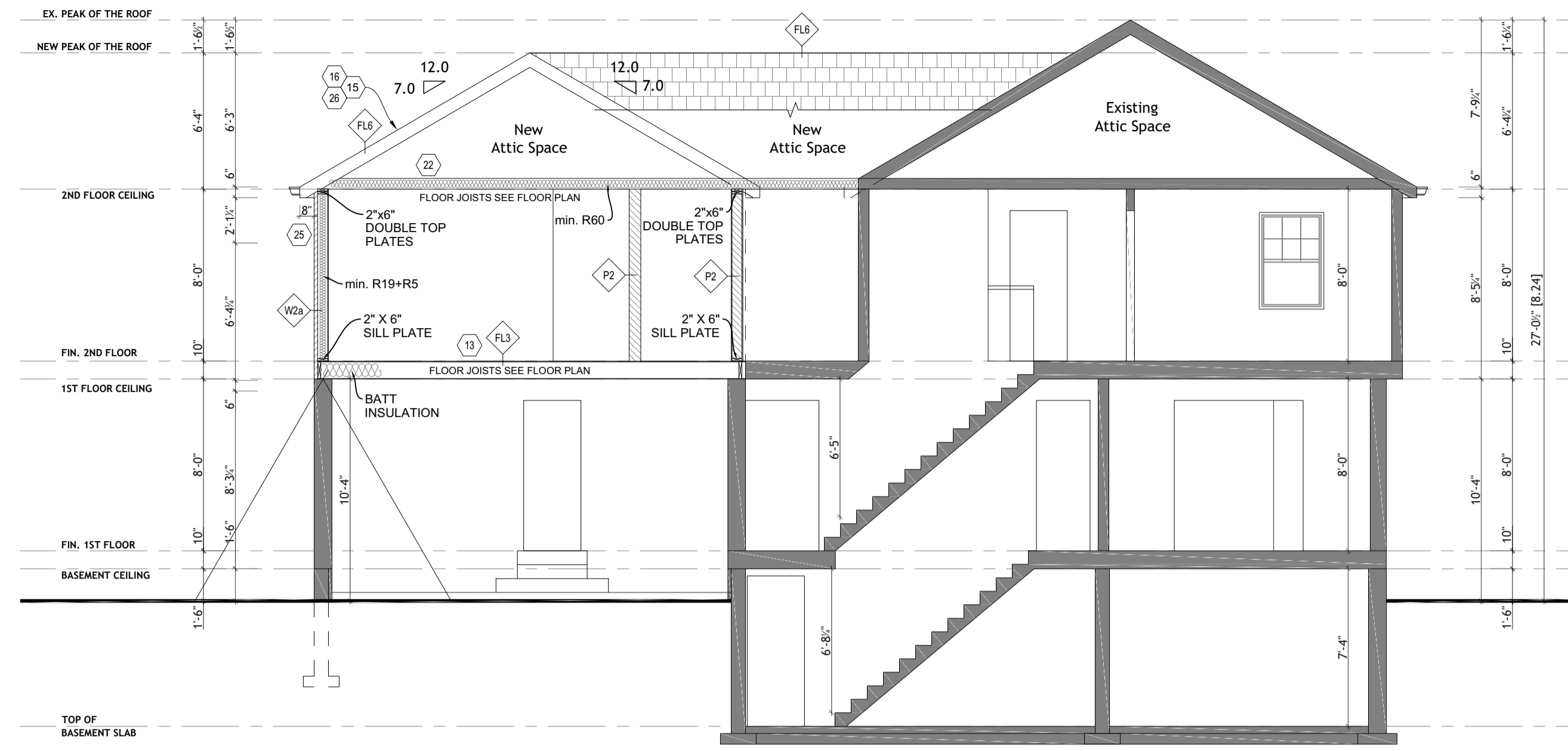
PROJECT ADDRESS:
 38 Elgin St.

SHEET TITLE:
 1st And 2nd Floor Plans (Proposed)

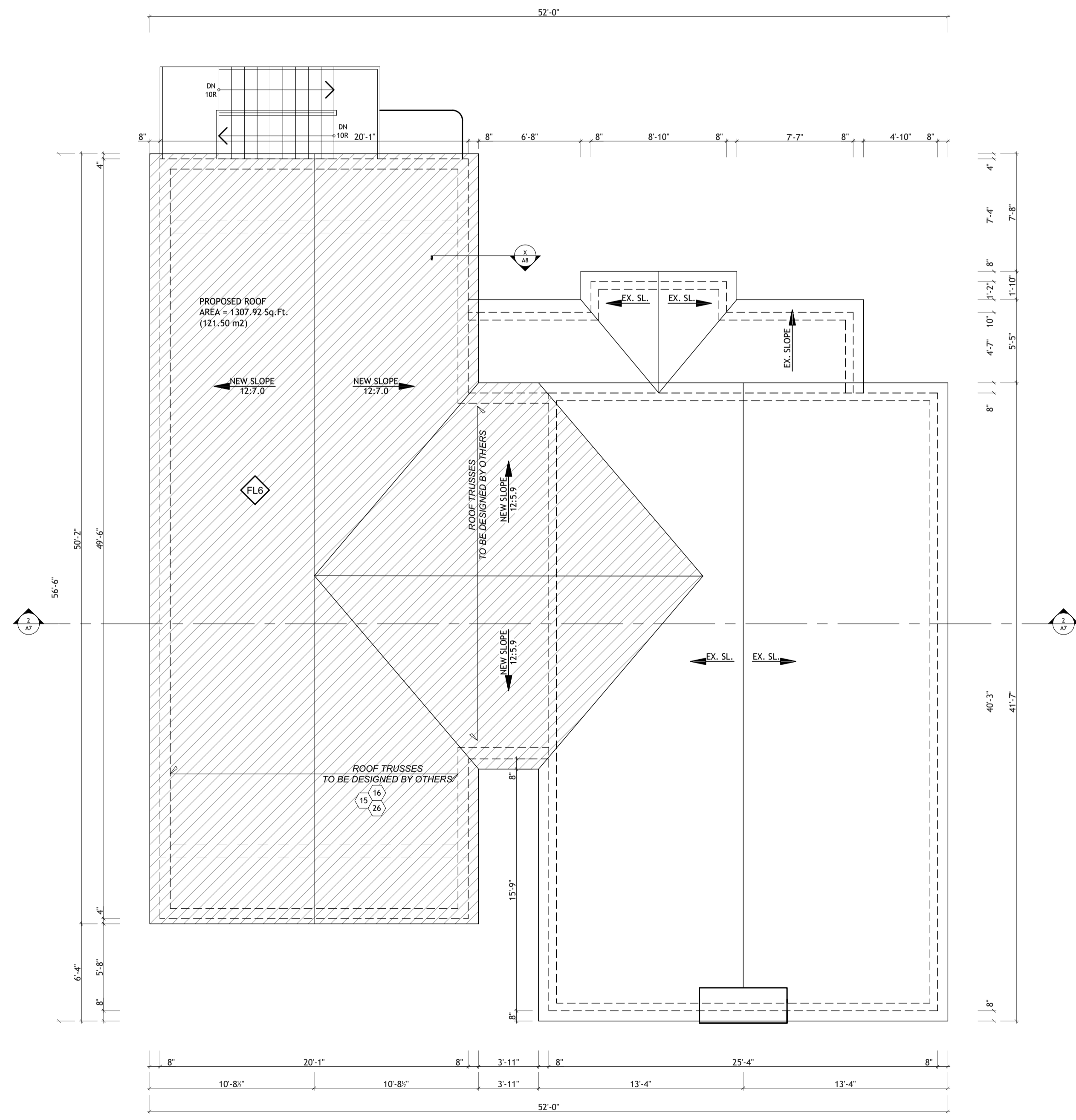
DESIGN BY: RH
DRAWN BY: AVG
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2023/08/16
PROJECT No.: 22-603

DRAWING No.:
A6

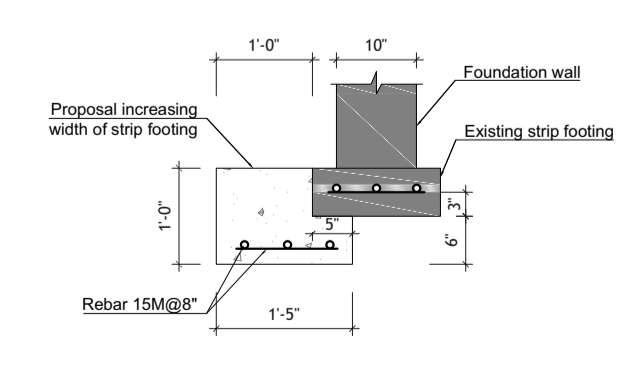
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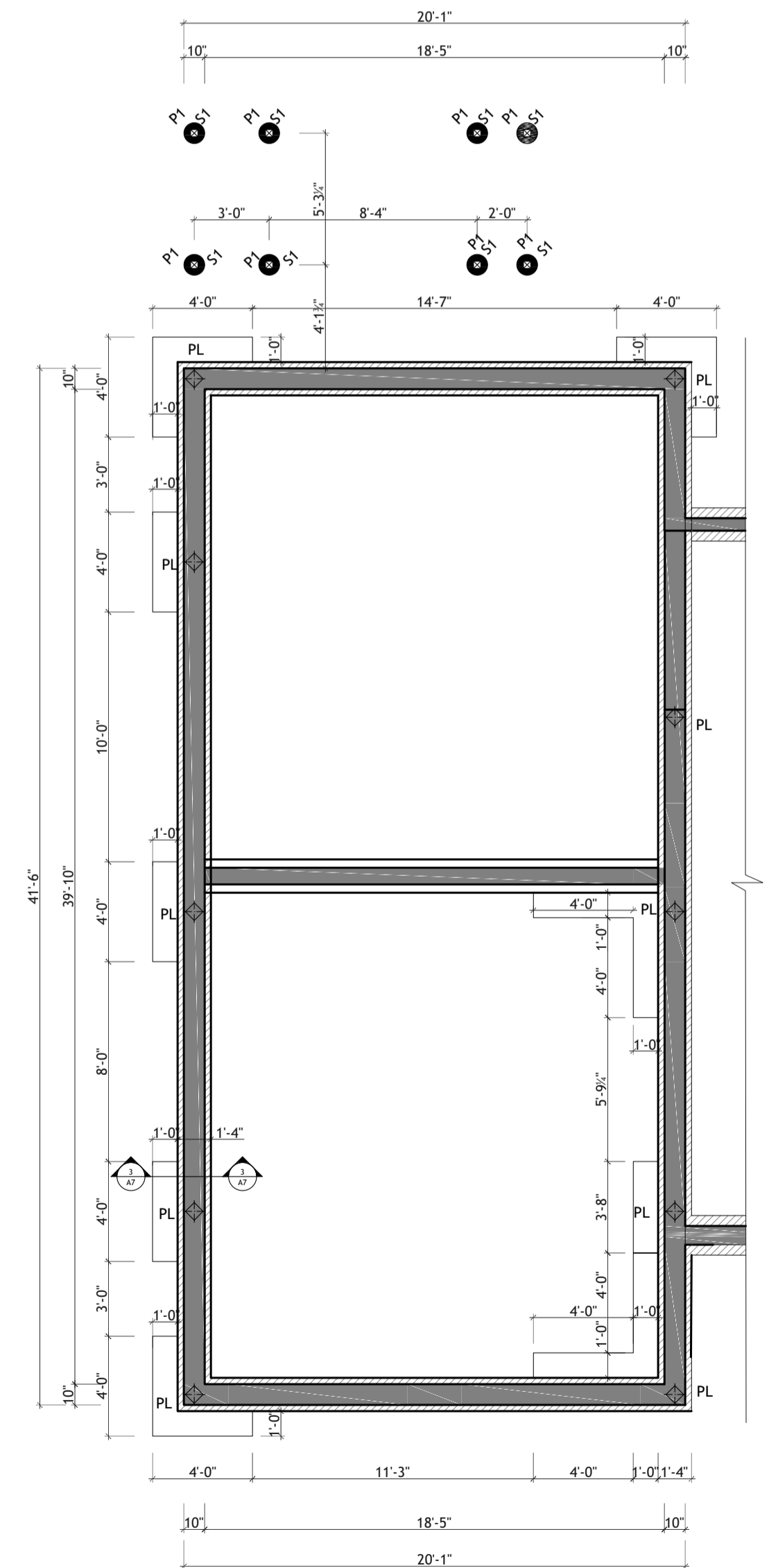
Section 2-2
(Proposed)



Roof Plan
(Proposed)



Section 3-3
Scale: 3/4" = 1'-0"



Foundation Plan
(Proposed)

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 Toronto, ON M8V 3Y3
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- GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH WORK.
 - DO NOT SCALE DRAWINGS.
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 - ALL TEMPORARY WORKS INCLUDING SHORING ARE TO BE PROVIDED BY THE CONTRACTOR.
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REVISIONS AND ISSUES		
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

RESPONSIBILITY FOR THIS DESIGN AND THE QUALIFICATION WHO MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFIED FOR REGISTRATION UNDER DIVISION C-3.2.3.1 OF THE 2012 O.B.C.

Andri Golovnia BORN 47354
 REGISTRATION INFORMATION
 Required stamp design as per the O.B.C.
 Designation: Professional Engineer
 Firm Name: Tech House Design Corp
 License No: 100196685

PROJECT NAME:
2nd Storey Addition

PROJECT ADDRESS:
38 Elgin St.

SHEET TITLE:
**Roof Plan (Proposed),
 Section 2-2 (Proposed),
 Foundation Plan (Proposed)**

DESIGN BY:	RH	DRAWING NO: A7
DRAWN BY:	AVG	
CHECKED BY:	AG	
SCALE:	3/16" = 1'-0"	
DATE:	2023/08/16	
PROJECT NO:	22-603	SIZE: ARCH D 36"x24"

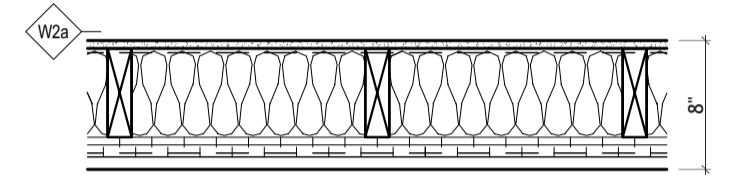
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WINDOW SCHEDULE (WINDOW ROUGH OPENING SIZE)						
Nr	WINDOW DIAGRAM	EACH	L	H	WALL TYPE	WALL THICKNESS
WD-1 2nd		2	4'-0"	4'-8"	NEW	8"
WD-2 2nd		1	4'-0"	4'-1"	NEW	8"
WD-3 2nd		1	5'-0"	4'-8"	NEW	8"
WD-4 2nd		1	3'-8"	4'-8"	NEW	8"
WD-5 2nd		1	3'-0"	2'-0"	NEW	8"
WD-6 2nd		2	7'-2"	4'-8"	NEW	8"

DOOR SCHEDULE (DOOR ROUGH OPENING SIZE)						
Nr	DOOR DIAGRAM	EACH	L	H	WALL TYPE	WALL THICKNESS
DE-1 2nd		1	2'-8"	6'-11"	NEW	8"

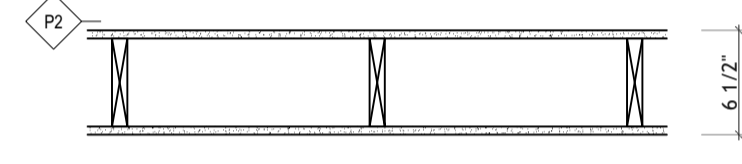
DOOR SCHEDULE (DOOR ROUGH OPENING SIZE)						
Nr	DOOR DIAGRAM	EACH	L	H	WALL TYPE	WALL THICKNESS
D1 2nd		6	2'-10"	7'-0"	NEW, EX.	6 1/2", 6"
D2		1	2'-8"	7'-0"	NEW	6 1/2"

NOTE: S - SLIDING
F - FIXED



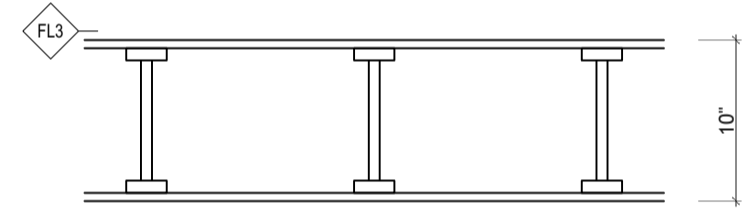
SIDING WALL CONSTRUCTION
COMPLIANCE PACKAGES A2, A4, A5, A6 OF 3.1.1.2.A OBC

- PREF. SIDING VENEER AS PER MANUFACTURER THROUGH RIGID BOARD INTO WOOD STUDS
- 26MM (1") CONTINUOUS R5 INSULATED RIGID BOARD FASTENED AS PER MANUFACTURER'S SPECIFICATIONS (SEALED AIR BARRIER SYSTEM)
- DIAGONAL T-PROFILE STEEL STRAPPING (SUGGEST SIMPSON TWB12 STEEL STRAPPING OR APPROVED EQUAL)
- 38MM X 140MM (1 1/2" X 5 1/2") WOOD STUDS @ 400MM (1'-4") O.C. W/ MIN. R19+R5 INSULATION IN VOID SPACE B/W WOOD STUDS
- 6 MIL POLYETHYLENE VAPOUR BARRIER OR APPROVED EQUAL
- 13MM (1/2") GYPSUM WALL BOARD INTERIOR FINISH



2" X 6" INTERIOR PARTITION

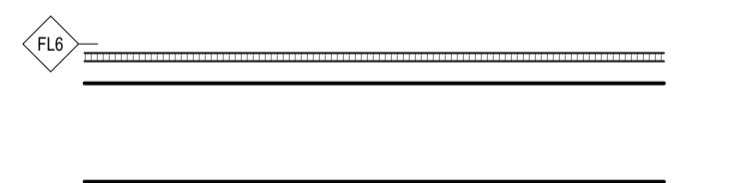
- 13MM (1/2") GYPSUM WALL BOARD
- 38MM X 140MM (2" X 6") @ 400MM (1'-4") O.C. BEARING PARTITIONS TO BE 38MM X 140MM (2" X 6") @ 400MM (1'-4") O.C. FOR TWO (2) STOREYS AND 300MM (1'-0") O.C. FOR 3 STOREYS
- 13MM (1/2") GYPSUM WALL BOARD



TYPICAL FLOOR

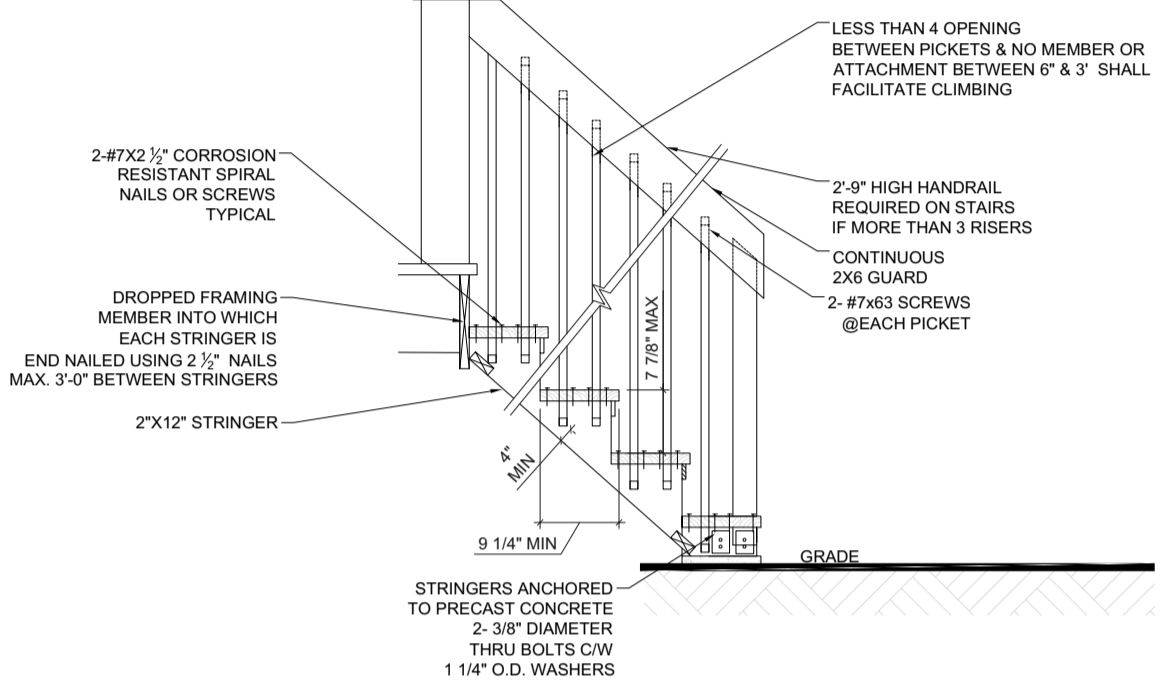
- FINISHES BY OWNERS CHOICE
- 1/2" T&G EXT. PLYWOOD SUB-FLOOR
- GLUED AND SCREWED TO FLOOR JOISTS OR O.S.B.
- FASTENERS AS PER O.B.C. TABLE 9.23.3.5.
- 2" SCREWS 6" O.C. ALONG EDGES
- 12" O.C. ALONG INTERMEDIATE SUPPORTS
- FLOOR JOISTS REFER TO PLAN FOR SIZE AND SPACING
- 1/2" GYPSUM BOARD

- *OPTIONAL
- PROVIDE BATT INSULATION TO ALL BATHROOMS
- DRAINAGE PIPES FOR SOUND PROOF AT FLOOR / CEILING & WALLS



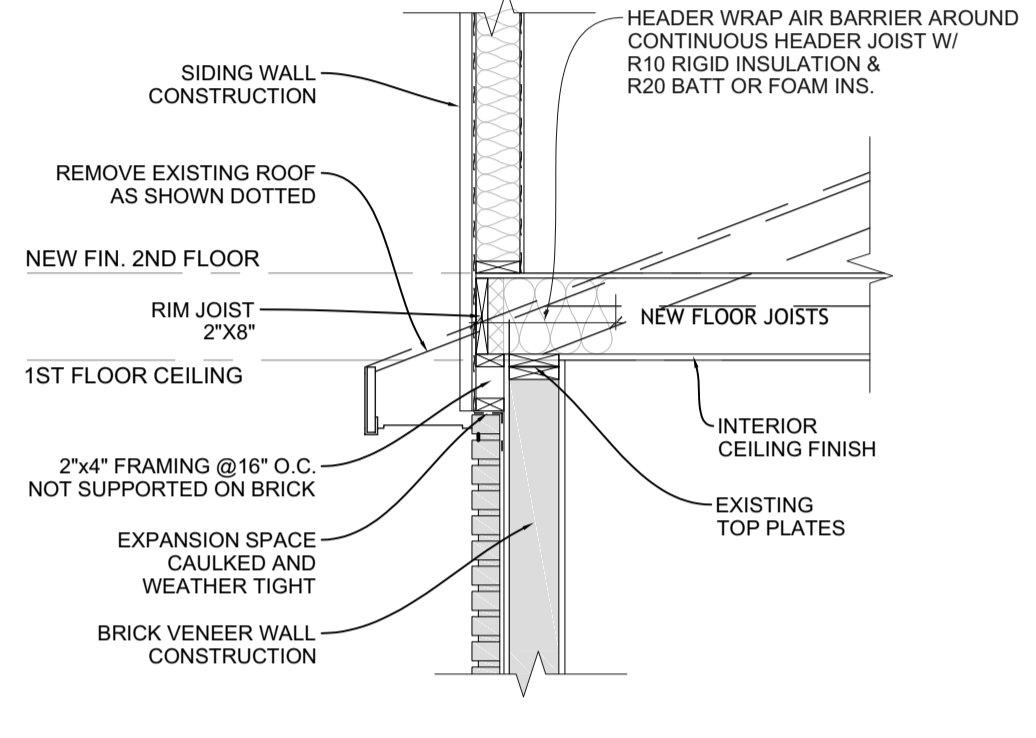
ROOF

- #210 ASPHALT SHINGLES (CHATEAU SHINGLES) (SELF - SEALING)
- 1/2" PLYWOOD SHEATHING CW "H" CLIPS ON
- APPROVED ROOF TRUSSES



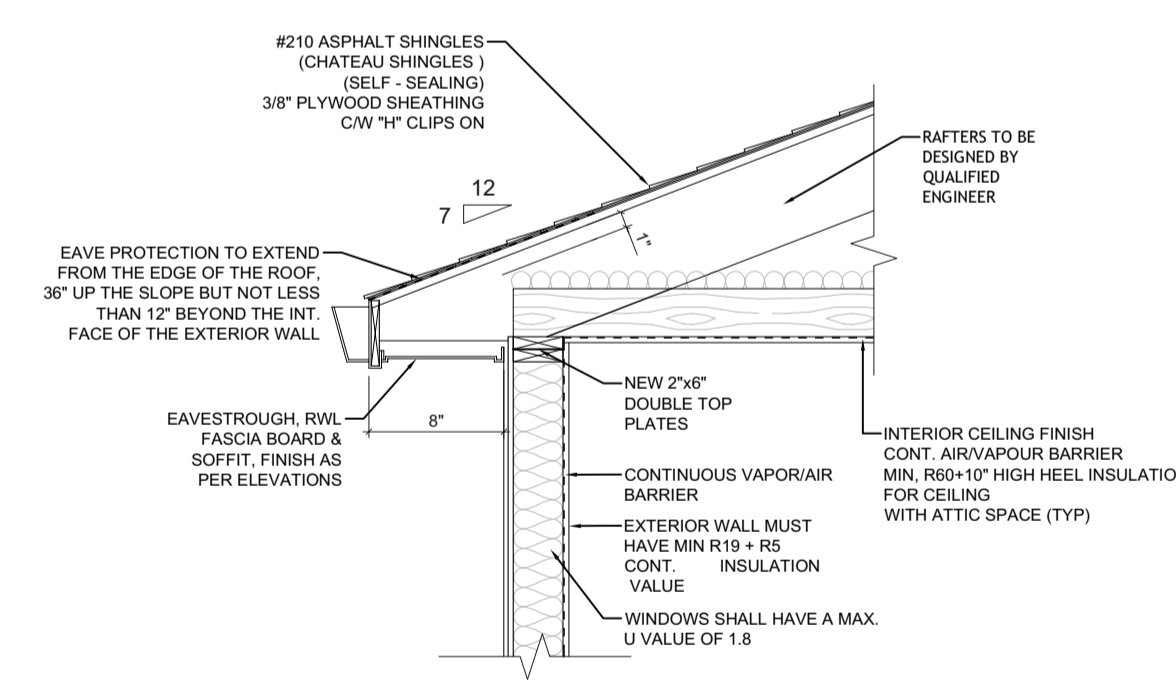
Wood Stairs

Scale: 1/2" = 1'-0"



Second Storey Addition Ceiling Replacement

Scale: 1/2" = 1'-0"



Slope Roof

Scale: 1/2" = 1'-0"

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REVISIONS AND ISSUES		
DATE	#	DESCRIPTION

PROFESSIONAL SEAL:

RESPONSIBILITY FOR THIS DESIGN AND HAS THE NECESSARY QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

REQUIRED UNDER REGULATION 810 OF THE ONTARIO BUILDING CODE DIVISION C-3.2.3.1 OF THE 2012 O.B.C.

Andri Golovnia BORN 47354

REGISTRATION INFORMATION
 Required under Reg. 810 of the Ontario Building Code
 Division Name: Tech House Design Corp
 DIV. TRUST

PROJECT NAME:
2nd Storey Addition

PROJECT ADDRESS:
38 Elgin St.

SHEET TITLE:
**Window And Door Schedule.
Wall And Floor Schedule.
Detail**

DESIGN BY:	RH	DRAWING N°: A8
DRAWN BY:	AVG	
CHECKED BY:	AG	
SCALE:	3/16" = 1'-0"	
DATE:	2023/08/16	
PROJECT N°:	22-603	SIZE: ARCH D 36"x24"

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1 EXCAVATION AND BACKFILL

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES
- THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM DEPTH OF 11 1/2" IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 17 1/2"

2 DAMPPROOFING AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES SHALL BE DAMPPROOFED, WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 1/2" OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMPPROOFING
- 4" FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR DRAIN SPACE FLOOR AND SHALL BE COVERED WITH 6" OF CRUSHED STONE. FOUNDATION DRAINS SHALL DRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING, AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR
- THE BUILDING SITE SHALL BE GRADED SO THAT SURFACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES

3 FOOTINGS

- MINIMUM 2200 PSI POURED CONCRETE
- MINIMUM 48" BELOW FINISHED GRADE
- FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 1570 PSF

4 FOOTING SIZE

Table with 5 columns: FLOORS SUPPORTED, EXT. WALL, INT. WALL, COLUMN AREA. Rows 1-3 showing dimensions and areas.

5 STEP FOOTINGS

- VERTICAL RISE: 22 1/2" MAX. FOR FIRM SOILS 15 1/2" MAX. FOR SAND OR GRAVEL
- HORIZONTAL RUN: 23 1/2" MIN.

6 FOUNDATION WALL

- TO BE POURED CONCRETE, UNIT MASONRY OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE AND THICKNESS)
- DAMPPROOFINGS SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.
- FOUNDATION WALL TO EXTEND MINIMUM 6 1/2" ABOVE FINISHED GRADE
- A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF:
- MIN. 1/2" MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 3.6 LB/FT³
- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL, OR
- AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE
- FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.
- REDUCTION IN THICKNESS: THE REDUCED SECTION SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED NOT MORE THAN (a) 7'-0" VERTICALLY, AND (b) 2'-11" O.C. HORIZONTALLY. THE SPACE BETWEEN WALL AND FACING SHALL BE FILLED WITH MORTAR.
- MAXIMUM HEIGHT OF FINISHED GRADE ABOVE BASEMENT SLAB FOR CONCRETE WALLS OF 9'-0" (SEE PLANS/ELEVATIONS) FOUNDATION WALLS LATERALLY SUPPORTED AT THE TOP, PROVIDE CONTROL JOINTS EVERY 49'-0" FROM TILE HOLES TO BE SEALED WITH MINIMUM 3000 PSI CONCRETE
- SOIL CONDITION TO BE VERIFIED BY SOIL ENGINEER.

7 WOOD FRAME CONSTRUCTION

- ALL LUMBER SHALL BE SPRUCE-PINE-FIR NO. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP
- MAXIMUM MOISTURE CONTENT 19% AT TIME OF INSTALLATION
- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE SEPARATED FROM THE CONCRETE WITH 6 MIL POLYETHYLENE
- SILL PLATE SET ON FOAM GASKET, POLY. OR MORTAR BED AND ANCHORED 6'-0" O.C. WITH ANCHOR BOLTS SET INTO CONCRETE A MIN DEPTH OF 4".

8 NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

- HOLES IN FLOOR, ROOF AND CEILING MEMBERS TO BE MAXIMUM 1/3 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES
- NOTCHES IN FLOOR, ROOF AND CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/3 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 1/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, AND 1 1/2" IF NON-LOAD BEARING
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

9 WALLS

- EXTERIOR WALLS SHALL CONSIST OF:
- CLADDING
- SHEATHING PAPER LAPPED 4" AT JOINTS
- 1/2" FIBREBOARD OR GYPSUM BOARD OR 1/2" 2X6 WOOD SHEATHING
- 2X6 STUDS @ 16" O.C.
- 2X6 BOTTOM PLATE AND DOUBLE 2X6 TOP PLATE
- 2X4 STUDS @ 16" O.C. CAN BE UTILIZED PROVIDED THE COMBINED R VALUE OF THE BATT INSULATION AND EXTERIOR RIGID INSULATION ACHIEVES R-19 +7.5 CONT. INSUL.
- INTERIOR WALLS SHALL CONSIST OF:
- 2X4 STUDS @ 16" O.C.
- 2X4 BOTTOM PLATE AND DOUBLE 2X4 TOP PLATE
- 2X4 MID-GIRTS IF NOT SHEATHED
- 1/2" GYPSUM BOARD SHEATHING

10 EXTERIOR WALLS

- NO WINDOWS OR OTHER UNPROTECTED OPENINGS ARE PERMITTED IN EXTERIOR WALLS LESS THAN 3'-11" FROM PROPERTY LINES
- FIRE RATED DRYWALL SHALL BE INSTALLED ON THE INSIDE FACE OF ATTACHED GARAGE EXTERIOR WALLS AND GABLE ENDS OF ROOFS WHICH ARE LESS THAN 3'-11" FROM PROPERTY LINES
- NON-COMBUSTIBLE CLADDING SHALL BE INSTALLED ON ALL EXTERIOR WALLS LESS THAN 23 1/2" FROM PROPERTY LINES

11 GASPROOF DOORS

- GASPROOF DOOR AND FRAME ASSEMBLY WITH O/H CLOSER AND WEATHERSTRIPPING

12 GASPROOFED WALLS & CEILING

- GARAGE WALLS AND CEILING SHALL BE GASPROOFED WITH 1/2" G.B. AND TAPED JOISTS

13 FLOORS

- JOISTS TO HAVE MINIMUM 1 1/2" OF END BEARING
- JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FOUNDATION WITH 1/2" ANCHOR BOLTS @ 7'-10" O.C.
- HEADER JOISTS BETWEEN 3'-11" AND 10'-6" IN LENGTH SHALL BE DOUBLED, HEADER JOISTS EXCEEDING 10'-6" SHALL BE SIZED BY CALCULATIONS
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 2'-7" AND 6'-7", TRIMMER JOISTS SHALL BE SIZED BY CALCULATIONS WHEN SUPPORTED HEADER EXCEEDS 6'-7"

14 CERAMIC TILE 9.30.6 (B) O.B.C.

- WHEN CERAMIC TILE APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MINIMUM OF 3/4" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON
- JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING

15 ROOF

- HIP AND VALLEY RAFTER SHALL BE 2" DEEPER THAN COMMON RAFTERS
- 2X4 COLLAR TIES @ RAFTER SPACING WITH 1X4 CONTINUOUS BRACE AT MID SPAN IF COLLAR TIE EXCEEDS 7'-10" IN LENGTH
- NO. 210 (30.5KGM2) ASPHALT SHINGLES

16 ROOFING

- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT, ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 1/2" INTO ROOF SHEATHING
- EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS
- EAVE PROTECTION SHALL EXTEND 2'-11" UP THE ROOF SLOPE FROM THE EDGE, AND AT LEAST 11 1/2" FROM THE INSIDE FACE OF THE EXTERIOR WALL, AND SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING LAID WITH MINIMUM 4" HEAD AND END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED
- OPEN VALLEYS SHALL BE FLASHED WITH 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 23 1/2" WIDE
- FLASHING SHALL BE PROVIDED AT THE INTERSECTION OF SHINGLE ROOFS WITH EXTERIOR WALLS AND CHIMNEYS
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1/2" SHEET LEAD, 0.012" GALVANIZED STEEL, 0.018" COPPER, 0.018" ZINC, OR 0.019" ALUMINUM
- ROOF VENTILATION 1 SQ.FT. PER 300 SQ.FT. OF CEILING AREA (50% AT EAVES) AS PER 9.29 O.B.C

17 COLUMNS, BEAMS & UNTELS

- STEEL BEAMS AND COLUMNS SHALL BE SHOP PRIMED.
- MINIMUM 3 1/2" END BEARING FOR WOOD AND STEEL BEAMS, WITH 7 1/2" SOLID MASONRY BENEATH THE BEAM.
- STEEL COLUMNS TO HAVE MINIMUM OUTSIDE DIAMETER OF 2 1/2" AND MINIMUM WALL THICKNESS OF 7/8"
- WOOD COLUMNS FOR CARPORTS AND GARAGES SHALL BE MINIMUM 3 1/2" X 3 1/2"; IN ALL OTHER CASES EITHER 5 1/2" X 5 1/2" OR 7 1/2" ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER
- MASONRY COLUMNS SHALL BE A MINIMUM OF 11 1/4" X 11 1/4" OR 9 1/2" X 15"

18 INSULATION & WEATHERPROOFING

- CEILING WITH ATTIC R-60
- CEILING WITHOUT ATTIC R-31
- EXTERIOR WALL R-19 + R5i
- FOUNDATION WALL R-20 + R8i
- EXPOSED FLOOR R-31
- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6 MIL POLY IS SUPPORTED FOR FIBREGLASS TYPE INSULATIONS
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE OR SEALANT
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND WINDOWS BETWEEN THE FRAME AND THE EXTERIOR CLADDING
- WEATHERSTRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR
- EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR
- 1 1/2" (R10) RIGID PERIMETER INSULATION TO EXTEND 2'-0" BELOW EXT. FIN. GRADE

19 DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 3.8 M² AND NO DIMENSION LESS THAN 15", WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT

20 STAIRS

- MINIMUM RISE - 5"
- MAXIMUM RISE - 7 1/2"
- MINIMUM RUN - 10"
- MINIMUM TREAD - 10"
- MINIMUM HEAD ROOM - 7'-0"
- MINIMUM WIDTH - 2'-10"
- CURVED STAIRS SHALL HAVE A MIN. RUN OF 5 1/8" AT ANY POINT AND A MINIMUM AVERAGE RUN OF 7 1/2"
- WINDOWS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90°, WITH NO LESS THAN 30" OR MORE THAN 45" PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 3'-11 1/2" ALONG THE RUN OF THE STAIR
- A LANDING MINIMUM 2'-11" IN LENGTH IS REQUIRED AT THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING, AND OTHER ENTRANCES WITH MORE THAN 3 RISERS
- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS REQUIRE FOUNDATIONS

21 HANDRAILS AND GUARDS

- A HANDRAIL IS REQUIRED FOR INTERIOR STAIRS CONTAINING MORE THAN 2 RISERS AND EXTERIOR STAIRS CONTAINING MORE THAN 3 RISERS
- GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 23 5/8" ABOVE THE ADJACENT LEVEL.
- INTERIOR AND EXTERIOR GUARDS MIN. 2'-11 1/2" HIGH. EXTERIOR GUARDS SHALL BE 3'-6" HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 5'-11"
- GUARDS SHALL HAVE NO OPENINGS GREATER THAN 4", AND NO MEMBER BETWEEN 4" AND 2'-11" THAT WILL FACILITATE CLIMBING
- NOTE:
- HANDRAIL AND GUARDRAIL CONSTRUCTION TO COMPLY WITH O.B.C. SUPPLEMENTARY STANDARDS S8-7
- FOR GLASS HANDRAIL AND GUARDRAIL CONSTRUCTION TO COMPLY WITH O.B.C. SUPPLEMENTARY STANDARDS S8-13

22 ACCESS TO ATTICS AND CRAWL SPACES

- ACCESS HATCH MINIMUM 21 1/2" X 23" TO BE PROVIDED TO EVERY CRAWL SPACE AND EVERY ROOF SPACE WHICH IS 108 SQ. FT OR MORE IN AREA AND MORE THAN 23 1/2" IN HEIGHT

23 SKYLIGHT

- CURB-MOUNTED DOUBLE-GLAZED SKYLIGHT BY VELUX OR APPROVED EQUAL. PROVIDE INSIDE CURB DIMENSIONS AS INDICATED ON DWG.CO-ORDINATE W/ MANUFACTURER, INSTALL AS PER MANUFACTURER'S GUIDE. DOUBLE FRAME SURROUNDING SKYLIGHT
- NOTE:
- ALL SKYLIGHTS ARE REQUIRED TO HAVE A MAXIMUM U-VALUE OF 2.80 (REFER TO ENERGY EFFICIENCY DESIGN SUMMARY INFORMATION ON THIS PAGE)

24 BAY WINDOW SOFFIT

- INSUL. MIN R-31&8 MIL POLY V.B. (WARM SIDE)
- EXTERIOR TYPE SOFFIT

25 EAVE

- PREFIN. ALUM. EAVE/TROUGH ON 1"x6" FASCIA BOARD W/ VENTED ALUM. SOFFIT AND INSULATION Baffle TO PROVIDE CLEAR VENTILATION FLOW OVER INSULATION
- DRIP EDGE AT FASCIA
- ALUM. CORRUGATED RECTANGULAR DOWN SPOUTS SPACED @ 60" MIN. - 50" MAX.
- FOUNDATION WALL R-20 + R8i
- DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM BLDG, & PROVISIONS SHOULD BE MADE TO PREVENT SOIL EROSION

26 NATURAL VENTILATION

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF INSULATED AREA
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF INSULATED AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1M² OF VENTILATION FOR EACH 538 M²
- MINIMUM NATURAL VENTILATION AREAS, WHERE MECHANICAL VENTILATION IS NOT PROVIDED, ARE: BATHROOMS: 0.97 M²
- OTHER ROOMS: 3 M²
- UNFINISHED BASEMENT: 0.2% OF FLOOR AREA

27 ALARMS AND DETECTORS

- AT LEAST ONE SMOKE ALARM SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 2'-11" OR MORE ABOVE AN ADJACENT LEVEL
- SMOKE ALARMS CONFORMING TO CANULC-S531, "SMOKE ALARMS", SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM NOT WITHIN A DWELLING UNIT, IN COMPLIANCE WITH THE SUBSECTION 9.10.19, OF THE OBC
- ALL SMOKE ALARMS ARE REQUIRED TO BE PROVIDED WITH VISUAL SIGNALING COMPONENTS (9.10.19.3 (5))
- WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA IN THE SUITE, IN COMPLIANCE WITH THE SUBSECTION 9.33.4 OF THE OBC
- WHEN A GARAGE IS ATTACHED TO THE DWELLING UNIT, A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EACH SLEEPING ROOM

28 PLUMBING

- EVERY DWELLING REQUIRES A KITCHEN SINK, LAVATORY, WATER CLOSET, BATH/TUB OR SHOWER STALL AND THE INSTALLATION OR AVAILABILITY OF LAUNDRY FACILITIES
- A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO THE SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES, IT SHALL BE CONNECTED TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL

29 ELECTRICAL

- AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE
- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS
- STAIRS SHALL BE LIGHTED, AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRWAY.
- BASEMENTS REQUIRE A LIGHT FOR EACH 323 M² CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS

30 MECHANICAL VENTILATION

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
- 21.2 CFM EACH FOR BASEMENT AND MASTER BEDROOM
- 10.6 CFM FOR EACH OTHER ROOM
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCE ARE INSTALLED
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS
- DRYERS TO BE VENTED DIRECTLY TO OUTSIDE THROUGH WALL OR ROOF

31 NOTE FOR SPRAY FOAM INSULATION

- SPRAY FOAM INSULATION TO CONFORM TO CANULC-S705.1, THERMAL INSULATION-SPRAY APPLIED RIGID POLYURETHANE FOAM, MEDIUM DENSITY, MATERIAL SPECIFICATION
- INSTALLATION:
- INSULATION INSTALLERS ARE TO BE CERTIFIED BY THE MANUFACTURER. INSULATION IS TO BE INSTALLED IN ACCORDANCE WITH CANULC-S705.2
- TEST REPORTS CONDUCTED IN ACCORDANCE WITH SECTION 3 OF CANULC 5705.2 SHALL BE SUBMITTED TO THE AREA INSPECTOR
- DUE TO THE HAZARDOUS CONDITIONS RELATED TO OFF GASSING, NO INSPECTIONS SHALL BE CONDUCTED UNTIL 24 HOURS AFTER INSTALLATION.

32 FIREPLACES

- DIRECT VENT GAS FIREPLACE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS

33 WINDOW WELLS

- WINDOW WELLS SHALL BE DRAINED TO THE WEEPING TILE

34 DAMPPROOFED STAIRS

- BASEMENT STAIR STRINGERS SHALL BE DAMPPROOFED US WITH 45# BUILDING PAPER

35 RAIN WATER LEADERS

- R.W.L. DRAINED TO CONE. SPLASH PAD

36 BASEMENT SUMP PIT

- SUMP PIT COVERS SHALL BE SEALED W/ GASKET AND BOLTED
- SUMP COVER COLLAR SHALL BE INSTALLED WITH MIN. 1" CLEARANCE ABOVE THE SLAB

37 CONCRETE PORCH

- ALLOW 4" BEARING FOR CONC. SLAB. PROVIDE DEEP POCKETS TO SUPPORT CONC. SLAB BY REMOVING EVERY 2ND PAIR OF FACE BRICK WHEN BRICK FACING IS USED. WHEN BRICK FACING IS USED ABOVE GRADE LEVEL PROVIDE 3/4" DIAM. CORROSION RESISTANT MTL TIES @ 36" HORIZ. 8" VERT
- MIN 1/2" CLEAR CONC. TO COVER RE-BARS, STAIRS & HANDRAILS TO CONFORM TO NOTES RE. HAND & GUARDRAIL REQUIREMENTS

38 WOOD DECK

- DECK IS NOT PERMITTED TO SUPPORT ON BRICK VENEER.
- PROVIDE 10" DIA. SONO TUBE FOR POURED CONC. PIERS MIN 4'-0" BELOW GRADE. BEARING ON UNDISTURBED SOIL
- USE SPR #2 OR BETTER WOOD POSTS MIN. 4X4 (SOLID) USE CORROSION RESISTANT SPICAL NAILS OR SCREWS DOUBLE 2X6 WOOD LEDGER BOLTED TO FDN WALL W/ 1/2" DIA. BOLTS @ 32" O.C. MIN INTO SOLID MASONRY OR CONC. PROVIDE HANDRAIL IF MORE THAN 3 RISERS. STAIRS & HANDRAILS TO CONFORM TO NOTES RE. HAND & GUARDRAIL REQUIREMENTS

9.6.1.4. TYPES OF GLASS AND PROTECTION OF GLASS

- (6) GLASS, OTHER THAN SAFETY GLASS, SHALL NOT BE USED FOR A SHOWER OR BATH/TUB ENCLOSURE

GENERAL NOTES:
1. ALL CONSTRUCTION TO CONFORM TO ONTARIO BUILDING CODE 2012
2. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH OCCUPATIONAL HEALTH AND SAFETY ACT
3. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCY PRIOR TO PROCEEDING WITH THE WORK
4. LUMBER IS #2 GRADE SPRUCE, UNLESS NOTED OTHERWISE
5. ALL CONCRETE TO BE MINIMUM 25 MPA AT 28 DAYS. ANY MASONRY WORK TO BE PERFORMED IN ACCORDANCE WITH CSA STANDARD S304. MORTAR FOR MASONRY TO BE TYPE "S", UNLESS NOTED OTHERWISE ON DRAWINGS
6. ALL LVL TO BE 295F8-2 OE
7. JOIST CONNECTIONS: SIMPSON STRONG TIE

WATERPROOF WALL FINISH:

- 9.29 2.1, WHERE REQUIRED
(1) WATERPROOF FINISH SHALL BE PROVIDED TO A HEIGHT OF NOT LESS THAN,
(a) 1 800 MM ABOVE THE FLOOR IN SHOWER STALLS,
(b) 1 200 MM ABOVE THE RIMS OF BATHTUBS EQUIPPED WITH SHOWERS, AND
(c) 400 MM ABOVE THE RIMS OF BATHTUBS NOT EQUIPPED WITH SHOWERS.
9.29 0.1, MATERIALS
(1) WATERPROOF FINISH SHALL CONSIST OF CERAMIC PLASTIC OR METAL TILE, SHEET VINYL, TEMPERED HARDBOARD, LAMINATED THERMOSETTING DECORATIVE SHEETS OR LINOLEUM.

NOTE:

- ALL STORM WATER SHELL BE DIRECTED IN SUCH A MANNER THAT WATER WILL NOT ACCUMULATE AT OR NEAR A BUILDING INCLUDING FOUNDATION WALLS, WINDOWS, ENTRANCE AND WALK WAYS.
EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS, AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.

NOTE:

- ALL SUBFLOORS TO BE 5/8" OSB GLUED & NAILED TO WOOD JOISTS.

REINFORCED WALLS AT WINDOW OPENINGS:

- REINFORCE WALLS AROUND WINDOW OPENINGS IN THE FOUNDATION WALL AS PER O.B.C. 9.15.4.3, (9) (A) & (B) (TYP.) WHEN MORE THAN 1.2M WIDE OR MORE THAN 25% THE WIDTH OF THE WALL, (WALL BELOW WINDOW CONSIDERED LITERALLY UNSUPPORTED)

RENOVATION NOTES:

- PROVIDE ALL BRACING, SHORING AND NEEDLES NECESSARY, FOR THE SAFE EXECUTION OF THIS WORK
- THERMALLY INSULATED: WALL, CEILING AND FLOOR ASSEMBLES SHALL BE CONSTRUCTED WITH AN UNBROKEN AIR AND VAPOUR BARRIER SYSTEM AS PER O.B.C 9.25.3 AND 9.25.4

HAND AND GUARDRAILS

- ALL HAND AND GUARDRAILS MUST COMPLY WITH SB. 7, SB. 13 AND 9.8.8. 0.B.C. (TYP.)

CONCRETE COVER TO REINFORCING BARS:

- TO EXPOSED SURFACE 1 5/8" TO GRANULAR FILL 2 3/8" TO EARTH 3"

STRUCTURAL INTEGRITY:

- ALL MEMBERS SHALL BE SO FRAMED, FASTENED, TIED, BRACED AND ANCHORED TO PROVIDE THE NECESSARY STRENGTH, RIGIDITY AND STABILITY PER OBC 9.23.2.1.

STRUCTURAL ADEQUACY:

- VERIFY/REINFORCE EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION.

SUPPORT - POST:

- PROVIDE POSTS UNDER ALL BEAMS/GIRDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT, OBC 9.20.8.3, 9.23.8.1, 9.23.10.7.

WHEN REPLACING INSULATION, MINIMUM R-VALUE TO MATCH EXISTING

- WHEN REPLACING INSULATION, MINIMUM R-VALUE TO MEET ALL REQUIREMENTS OF THE CURRENT ONTARIO BUILDING CODE

NOTES:

- 1. SITE VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN, NOTIFY CONSULTANT IF ANY DISCREPANCIES ARE FOUND.
2. LOADS:
LIVE LOAD = 40 PSF (1.9 KPA)
DEAD LOAD = 11 PSF (0.5 KPA)
3. EXISTING GROUND FLOOR PLAN IS SHOWN FOR REFERENCE ONLY

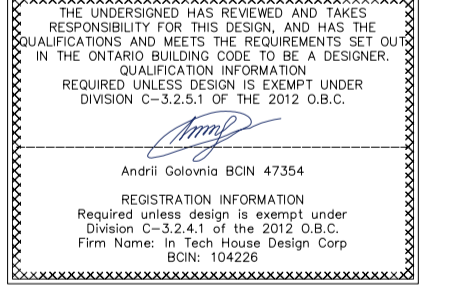
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Phone: +1(647)478-5055 ithd.ca
Toll free: +1(885)561-4161 info@ithd.ca

- GENERAL NOTES
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING WITH WORK
- DO NOT SCALE DRAWINGS
- ALL WORKS TO BE CARRIED OUT ACCORDING TO THE ONTARIO BUILDING CODE 2012 AND BY LAWS
- ALL EXISTING SURFACES AND STRUCTURES ADJACENT TO THE PROPOSED WORK ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION
- THE CONTRACTOR AND/OR THE OWNER SHALL BE RESPONSIBLE FOR THE ARRANGEMENT OF ALL NECESSARY INSPECTIONS AND FOLLOW INSPECTION SCHEDULES
- ALL TEMPORARY WORKS INCLUDING SHORING ARE TO BE PROVIDED BY THE CONTRACTOR
- READ THIS DRAWING IN CONJUNCTION WITH OTHER DRAWINGS: ARCHITECT, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER RELEVANT DRAWINGS AND SPECIFICATIONS
- THESE DRAWING MUST NOT BE DUPLICATED IN ANY FORM, OR USE FOR ANY OTHER PROJECTS, WITHOUT WRITTEN CONSENT OF THE DESIGNER

Table with 3 columns: DATE, #, DESCRIPTION. Header: REVISIONS AND ISSUES

PROFESSIONAL SEAL:
LICENSED PROFESSIONAL ENGINEER
A. GOLOVNIA
100196685
2023/08/16
PROVINCE OF ONTARIO

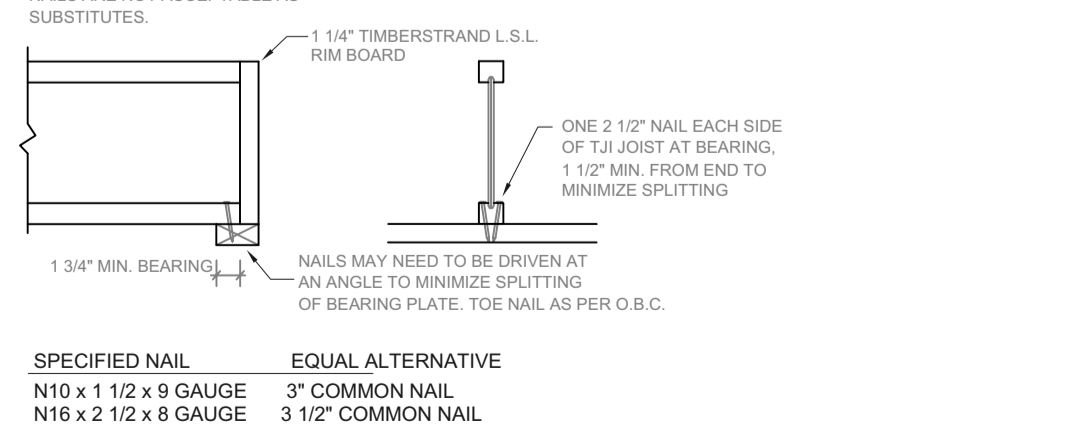
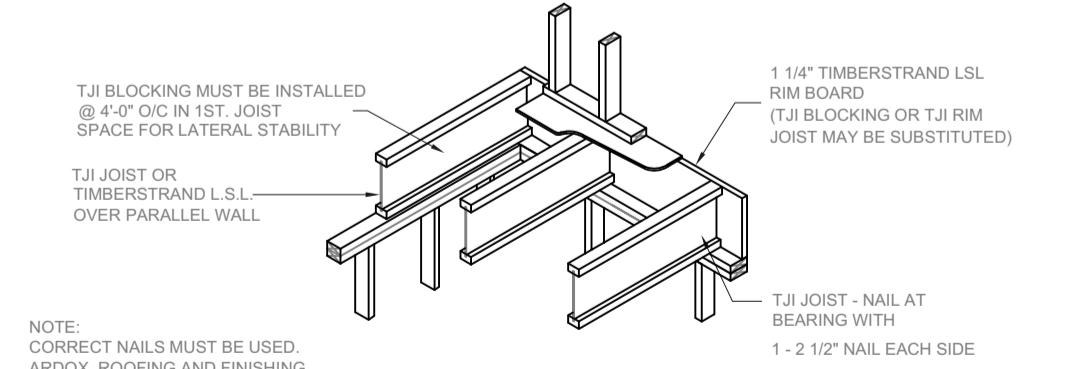


PROJECT NAME: 2nd Storey Addition
PROJECT ADDRESS: 38 Elgin St.

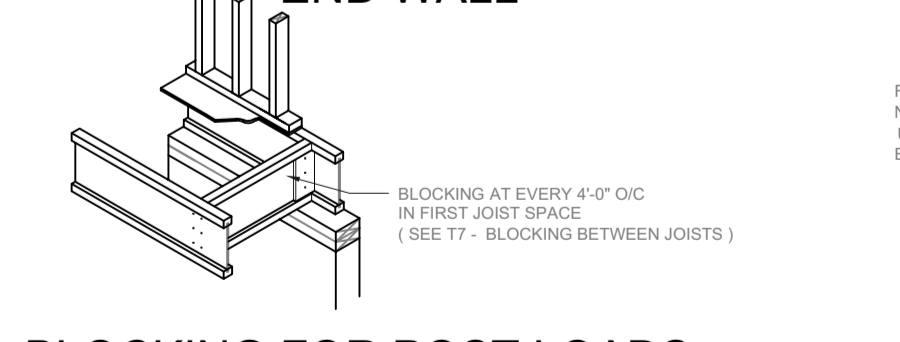
SHEET TITLE: Notes

DESIGN BY: RH
DRAWN BY: AVG
CHECKED BY: AG
SCALE: 3/16" = 1'-0"
DATE: 2023/08/16
PROJECT No.: 22-603
DRAWING No.: A9

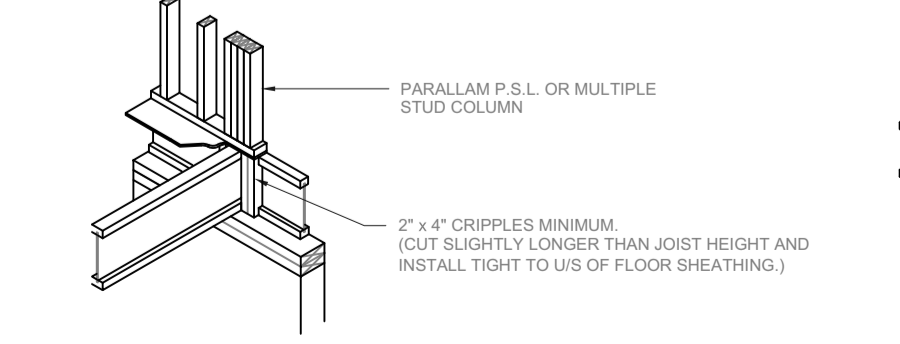
TIMBERSTRAND L.S.L. RIM BOARD



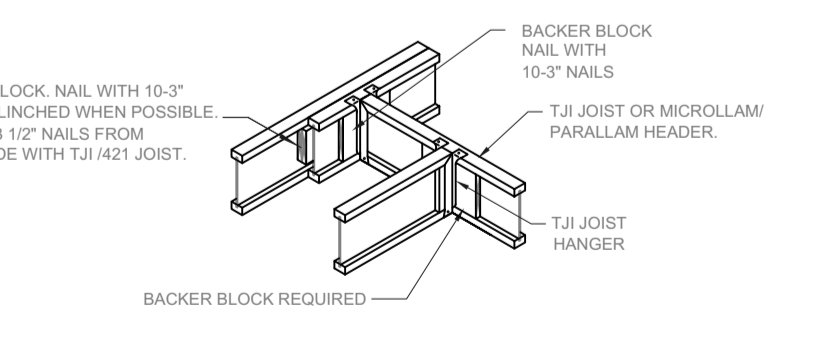
T&J JOIST OVER PARALLEL END WALL



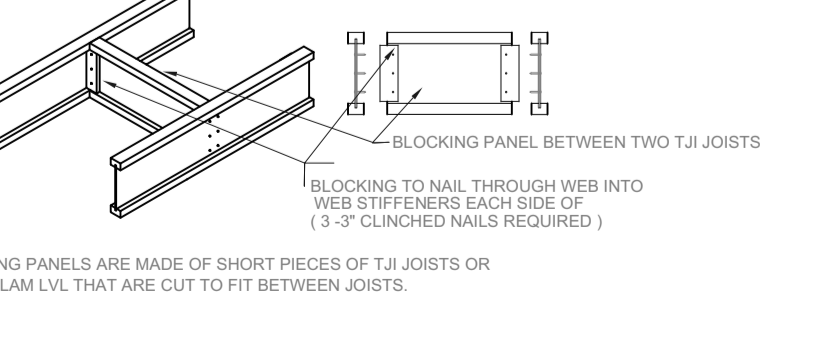
BLOCKING FOR POST LOADS FROM ABOVE TO BEARING



TYPICAL HEADER CONNECTION TO DOUBLE JOIST



BLOCKING BETWEEN JOISTS



SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN OF SURVEY OF
 PART OF LOT 3,
 NORTH OF ELGIN STREET
 REGISTERED PLAN 8

IN THE
CITY OF MARKHAM
 (REGIONAL MUNICIPALITY OF YORK)

SCALE & NOTES
 Scale 1:100

ALTIMAP LAND SURVEYORS INC.
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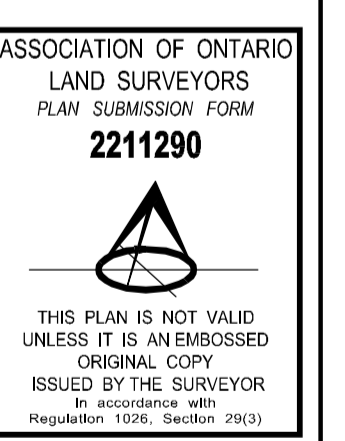
METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
 CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM CITY OF MARKHAM
 BENCHMARK No. M-01-005, HAVING A PUBLISHED ELEVATION OF 174.950
 METERS.

BEARING NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF ALCAINE
 COURT AS SHOWN ON REGISTERED PLAN M-1247 HAVING A BEARING OF N73°59'30"E.

LEGEND

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
IB	DENOTES	IRON BAR
SIB	DENOTES	STANDARD IRON BAR
CU	DENOTES	ORIGIN UNKNOWN
NI	DENOTES	NOT IDENTIFIABLE
MH	DENOTES	MANHOLE
OH	DENOTES	OVERHEAD UTILITY CABLES
DT	DENOTES	DECIDUOUS TREE
CT	DENOTES	CONIFEROUS TREE
LS	DENOTES	LIGHT STANDARD
INV	DENOTES	INVERT ELEVATION
HYD	DENOTES	FIRE HYDRANT
CRW	DENOTES	CONCRETE RETAINING WALL
SRW	DENOTES	STONE RETAINING WALL
TOW	DENOTES	TOP OF WALL ELEVATION
NTS	DENOTES	NOT TO SCALE
MS	DENOTES	MEASURED
FN	DENOTES	FOUNDATION
BR	DENOTES	BRICK
ST	DENOTES	STUCCO
SL	DENOTES	SIDING
STY	DENOTES	STOREY
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
D.S.	DENOTES	DOOR SILL ELEVATION
MF	DENOTES	METAL FENCE
FFE	DENOTES	FINISHED FLOOR ELEVATION
GFE	DENOTES	GARAGE FLOOR ELEVATION
RP	DENOTES	REGISTERED PLAN M-1247
P1	DENOTES	PLAN BY J. McSKIMMING O.L.S. DATED JUNE 17, 1969
P2	DENOTES	PLAN BY J. McSKIMMING O.L.S. DATED OCTOBER, 1968
D1	DENOTES	INSTRUMENT No. MA68773
D2	DENOTES	INSTRUMENT No. MA65002
1110	DENOTES	R. D. TOMLINSON O.L.S.
810	DENOTES	McSKIMMING AND PAUL SURVEYING LTD., O.L.S.



PART 2
 REGISTERED EASEMENTS/RIGHTS-OF-WAY - NONE FOUND ON TITLE.

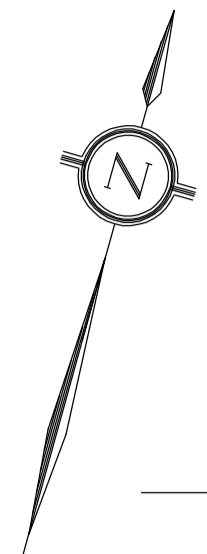
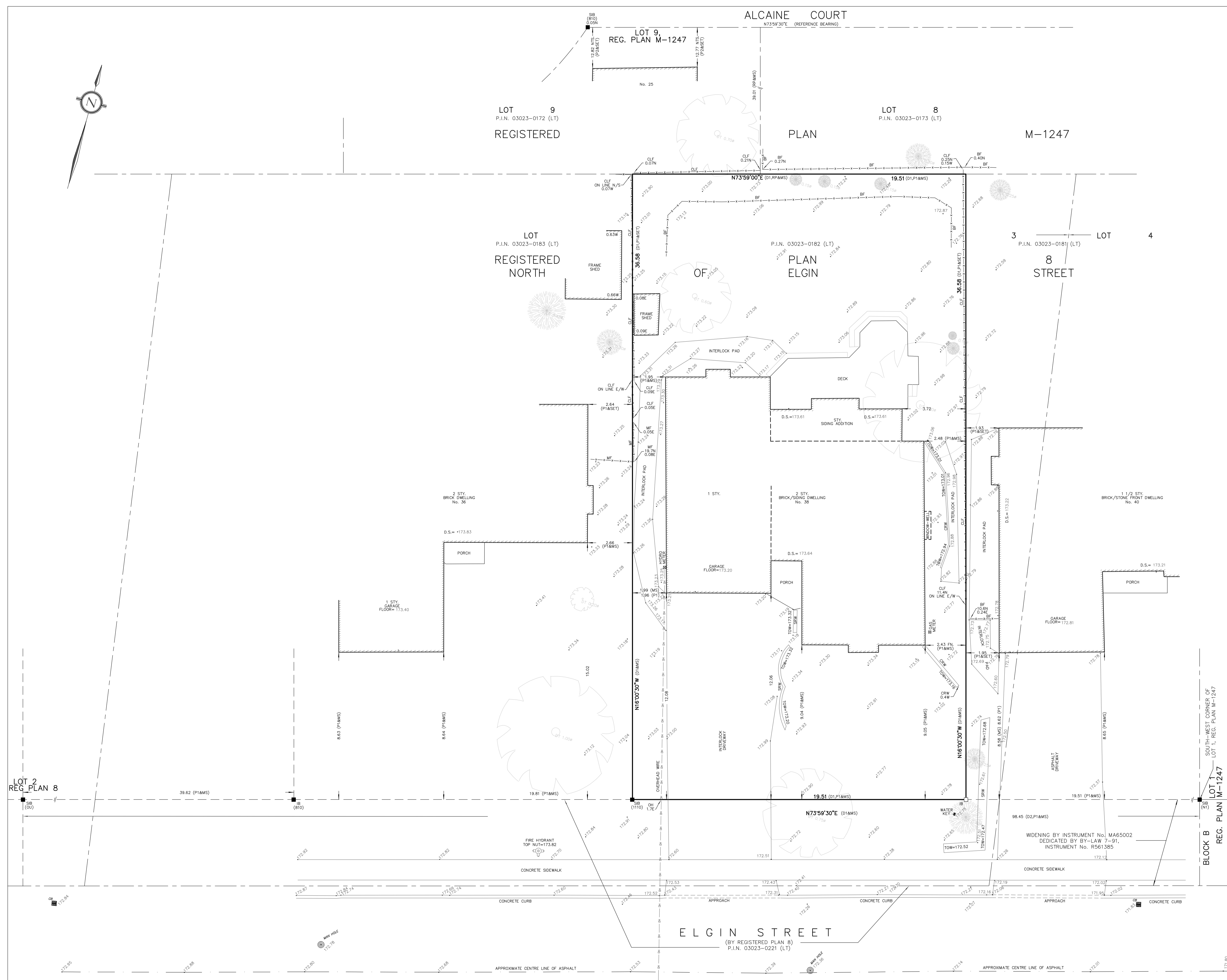
ADDITIONAL REMARKS - MAKE NOTE OF THE LOCATION OF FENCES AND PHYSICAL FEATURES AS DEPICTED ON THE FACE OF THIS PLAN. BUILDING TIES ARE TO BRICK/CONCRETE UNLESS OTHERWISE NOTED

THIS PLAN WAS PREPARED FOR PETER ANDREWS AND THE UNDERSIGNED ASSUMES NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON OCTOBER 18, 2023.

OCTOBER 19, 2023
 BRUNO IAVICOLI
 ONTARIO LAND SURVEYOR



APPENDIX “C” – A/178/23 Conditions of Approval

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/178/23

1. The variances apply only to the proposed development as long as it remains;
2. That the variance applies only to the subject development, in substantial conformity with the plan(s) attached as Appendix “B” to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City’s Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City’s Streetscape Manual, including street trees, in accordance with the City’s Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and,
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:



Hussnain Mohammad, Planner 1, Development Facilitation Office