

**Memorandum to the City of Markham Committee of Adjustment**  
May 30, 2022

**File:** A/014/22  
**Address:** 54 Wild Cherry Lane, Thornhill  
**Applicant:** Next Project (GABRIELA GRIGORIU)  
**Hearing Date:** Wednesday June 8, 2022

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of the Third Density Single Family Residential (R3A) zone under By-law 2150, as amended, to permit:

**a) By-law 2150, Section 6.1:**

a south side yard setback of 4.0 ft, 1 inch, whereas the By-law requires a minimum two storey side yard setback of 6.0 ft;

**b) By-law 2150, Section 4.4.1:**

an existing accessory building (Frame Shed) setback of 1.64 ft (0.5 m), whereas the By-law requires a minimum side yard setback of 2.0 ft (0.6 m);

as it relates to a second floor addition over the existing garage and a front porch.

**BACKGROUND**

**Property Description**

The 743.81 m<sup>2</sup> (8,006.32 ft<sup>2</sup>) subject property is located on the east side of Wild Cherry Lane, south of Royal Orchard Boulevard and west of Bay Thorn Drive. There is an existing two storey detached dwelling on the property, which was constructed in 1966. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings.

**Proposal**

The applicant is proposing to construct a 61.17 m<sup>2</sup> (658.49 ft<sup>2</sup>) second storey addition at the front and side of the existing single-detached dwelling. The proposal also includes a covered patio.

**Official Plan and Zoning**

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low Rise' area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and, the overall orientation and sizing of new lots within a residential neighbourhood.

### Zoning By-Law 2150

The subject property is zoned Third Density Single Family Residential (R3A) under By-law 2150, as amended, which permits single-detached dwellings.

### **Zoning Preliminary Review (ZPR) Undertaken**

The owner has completed a Zoning Preliminary Review (ZPR) on January 12, 2022 to confirm the variances required for the proposed development.

### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### **Reduced Side Yard Setback**

The applicant is requesting a minimum south side yard setback of 4.0 ft, 1 inch (1.24 m) for the two-storey portion of the dwelling, whereas a minimum side yard setback of 6.0 ft (1.83 m) is required for the two-storey portion of the dwelling.

The requested variance only applies to the two-storey portion of the building. The main floor complies with the minimum side yard setback requirement. Engineering staff have reviewed the application and have no concern with the variance respecting drainage. Given this, Staff are of the opinion the proposed side yard setback variance is minor in nature and have no concerns.

### **Accessory Building (Shed) – Reduced Side Yard Setback**

The applicant is requesting a minimum side yard setback of 1.64 ft (0.50 m) for the accessory shed in the rear yard, whereas, the By-law requires a minimum side yard setback of 2 ft (0.61 m). Staff are of the opinion the proposed side yard setback variance is minor in nature and have no concerns.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of May 30, 2022. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

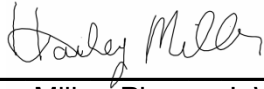
### **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variances requested meet the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



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Hailey Miller, Planner I, West District

REVIEWED BY:



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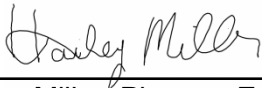
Rick Cefaratti, MCIP, RPP, Senior Planner, West District

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/014/22**

1. That the variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



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Hailey Miller, Planner, Zoning and Special Projects

SURVEYOR'S REAL PROPERTY  
PART 1  
PLAN OF

LOT 142  
REGISTERED PLAN 7686  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK

SCALE 1:150



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**METRIC** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BEARINGS** BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF WILD CHERRY LANE AS SHOWN ON REGISTERED PLAN 7686, HAVING A BEARING OF N 17° 05' 50" W.

**ELEVATION NOTE** ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY OF MARKHAM BENCH MARK NO. 092063044 HAVING A PUBLISHED ELEVATION OF 174.453 METRES.

**LEGEND**

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
CC	DENOTES	CUT CROSS
WIT	DENOTES	WITNESS
PROD'N	DENOTES	PRODUCTION
RP	DENOTES	REGISTERED PLAN 7686
P1	DENOTES	PLAN BY JOHN McSKIMMING, O.L.S., DATED 11 JULY 1966
D1	DENOTES	INSTRUMENT NO. MA57567
JDB	DENOTES	J. D. BARNES, O.L.S.
OW	DENOTES	ORIEL WINDOW
MF	DENOTES	METAL FENCE
CLF	DENOTES	CHAIN LINK FENCE
BF	DENOTES	BOARD FENCE
MH	DENOTES	MANHOLE
GM	DENOTES	GAS METER
0.20#D	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
0.20#C	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

**SURVEYOR'S CERTIFICATE**

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
  2. THE SURVEY WAS COMPLETED ON 22 JULY 2021.
  3. THE SURVEY WAS UPDATED ON 15 SEPTEMBER 2021 TO ILLUSTRATE TOPOGRAPHICAL INFORMATION.

27 JULY 2021

DORIN POPA  
ONTARIO LAND SURVEYOR

THIS REPORT WAS PREPARED FOR: JOVAN NIKOLIC

**PART 2**

THIS REPORT MUST BE READ IN CONJUNCTION WITH SURVEY REPORT DATED 27 JULY 2021.

**D. POPA SURVEYING INC.**

ONTARIO LAND SURVEYOR  
20 GAMBLE AVE, SUITE 306, TORONTO, ONTARIO, M4K 2G9  
Tel/Fax 416-429-4165

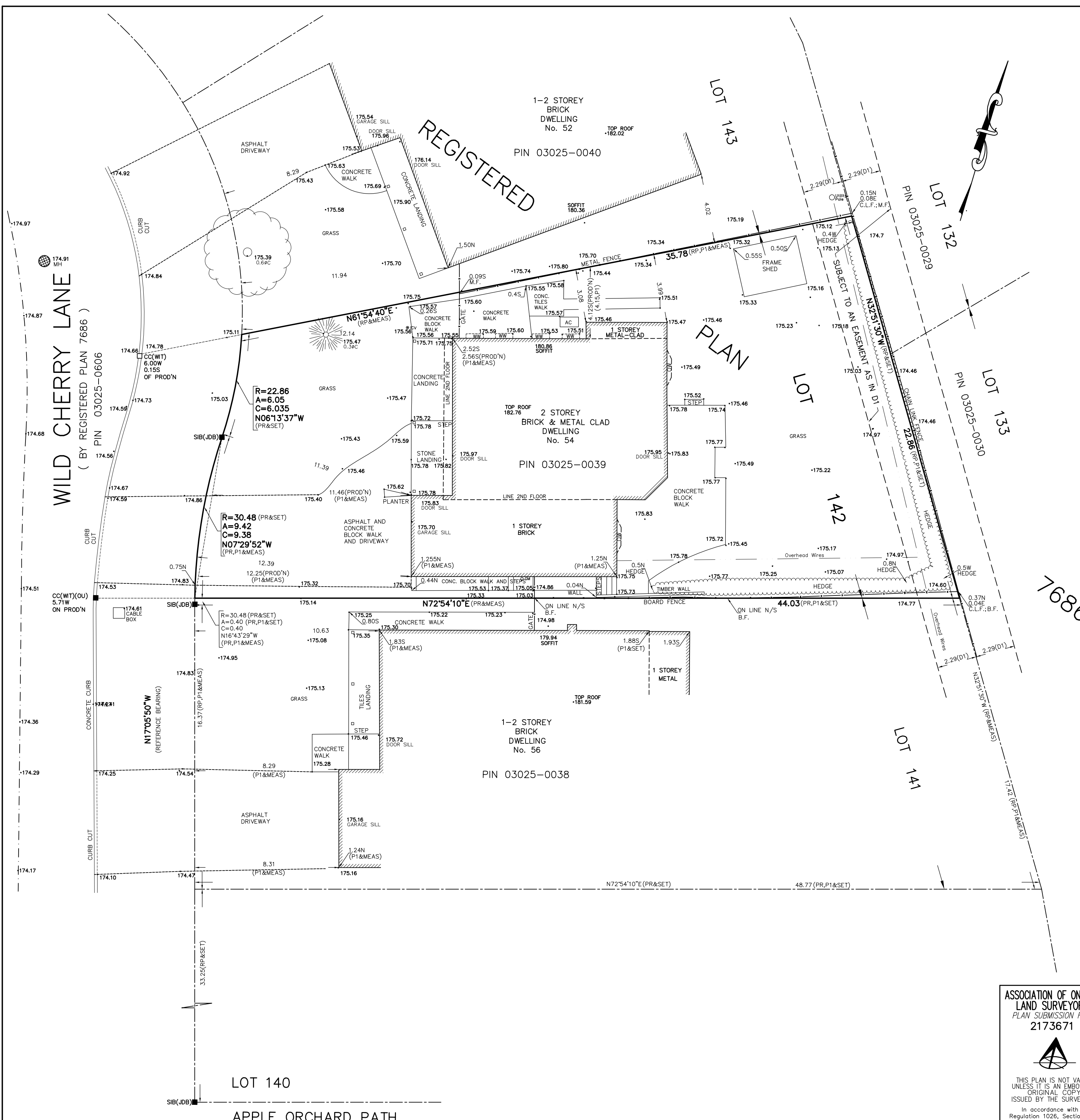
popasurveying@rogers.com <http://sites.google.com/site/popasurveying>

CALC: D.P. FIELD: D.P. JOB: 21-1216 DWG: 21-1216.dwg

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2173671



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR  
In accordance with Regulation 1026, Section 29(3)

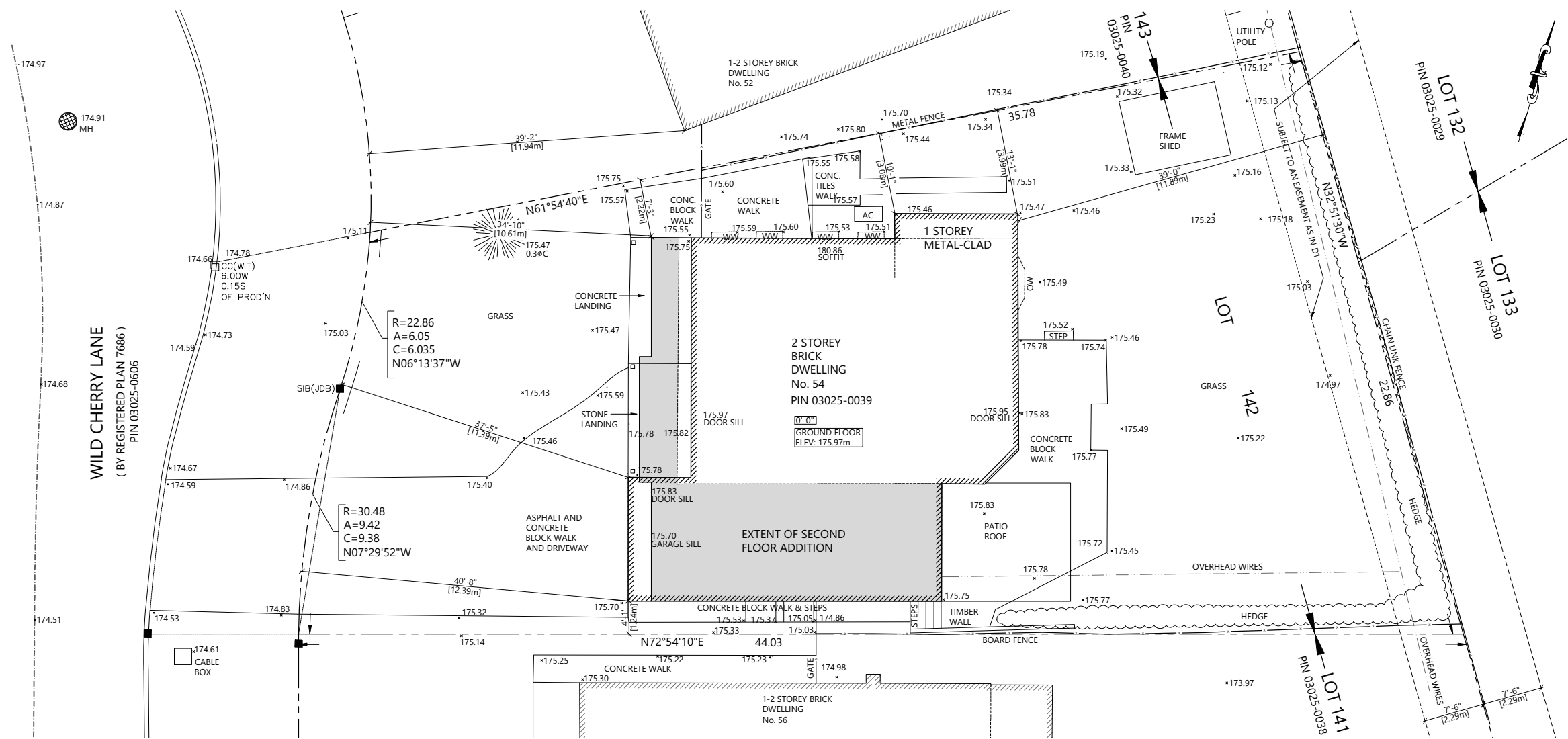


**Appendix B**

File: 22.110195.000.00.MNV

Date: 06/03/22

MM/DD/YY



1 PROPOSED SITE PLAN  
A.O.1 SCALE: 3/16" = 1'-0"

ZONING INFORMATION R3A		sq.ft	SETBACKS	MIN. (ft)	PROPOSED (m)	PROPOSED (ft)
1	PROPERTY AREA	8,006.32	FRONT SETBACK	27	11.39	37.37
2	EXISTING BASEMENT AREA	1,062.84	REAR SETBACK	25	11.89	39
3	EXISTING GROUND FLOOR AREA	1,845.58	NORTH SIDE SETBACK	6	2.52	8.26
4	EXISTING SECOND FLOOR AREA	1,276.08	SOUTH SIDE SETBACK	6	1.25	4.10
5	PROPOSED ADDITION ON THE SECOND FLOOR	658.49	175.70 - ESTABLISHED GRADE, MEASURED AROUND THE HOUSE AND AVERAGED			
6	TOTAL PROPOSED SECOND FLOOR AREA	1,934.57				
7	TOTAL PROPOSED LIVING AREA (3+6)	3,780.15				
8	EXISTING COVERED PORCH	232.39				
9	PROPOSED COVERED PATIO	233.31		MAX. (ft)	EXISTING	PROPOSED
10	EXISTING SHED	112.26	BUILDING HEIGHT	25	23.13	23.88
11	PROPOSED AREA FOR COVERAGE CALC. (3+10)	1,957.84	COVERAGE	33.33%	24.45%	24.45%

ISSUED/ REVISIONS	DATE
1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
2-ISSUED FOR MINOR VARIANCE	JANUARY 17, 2022
3-	
4-	
5-	

SEAL:

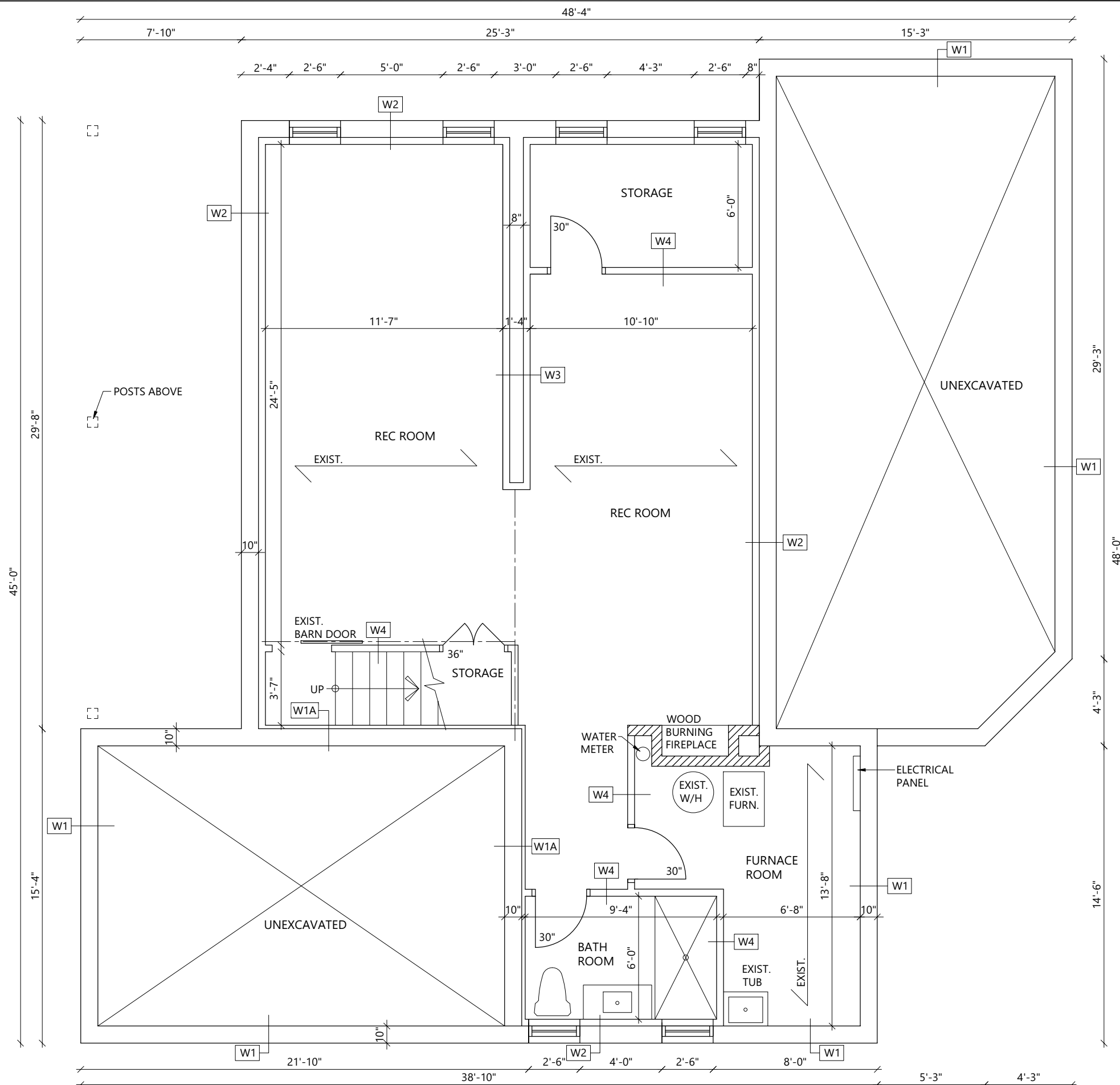
House design by **NEXT PROJECT**  
416-512-2552, next.project.ca@gmail.com

PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED SITE PLAN

DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.O.1



**WALL TYPES**

**EXISTING WALLS**

- W1 - FOUNDATION WALL  
- 10" POURED CONCRETE
- W1A - FOUNDATION WALL  
- 10" POURED CONCRETE  
- 2X2 WOOD FURRING  
- 1/2" DRYWALL, PAINTED
- W2 - FOUNDATION WALL  
- 10" POURED CONCRETE  
- 4X4 WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL, PAINTED
- W3 - INTERIOR BASEMENT WALL  
- 8" CONCRETE BLOCK  
- 2X2" WOOD FURRING ON EACH SIDE  
- 1/2" DRYWALL, PAINTED, ON EACH SIDE
- W4 - INTERIOR WALLS (NON-BEARING)  
- 2X4 WOOD FRAMING  
- 1/2" DRYWALL, PAINTED, ON EACH SIDE
- W5 - EXTERIOR WALL ABOVE GRADE  
- 4" STONE / BRICK  
- 1" AIR SPACE  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME @16" O.C.  
- VAPOUR BARRIER  
- BATT INSULATION (R VALUE UNKNOWN)  
- 1/2" DRYWALL, PAINTED
- W6 - EXTERIOR WALL ABOVE GRADE  
- ALUMINUM SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL, PAINTED
- W7 - GARAGE INTERIOR WALL (BEARING)  
- 2X6 WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL PAINTED

## Appendix B


File: 22.110195.000.00.MNV

Date: 06/03/22

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SEAL:



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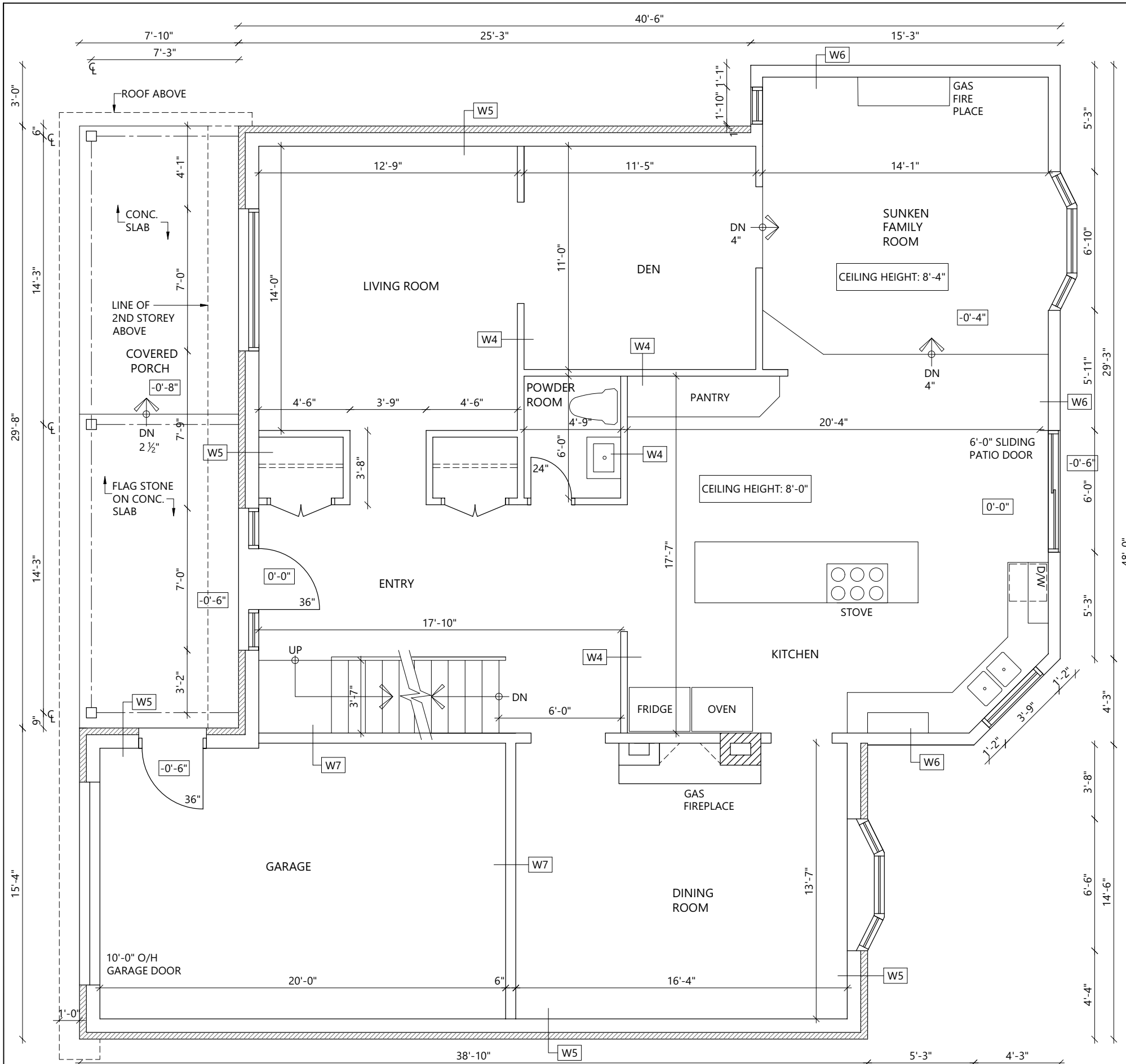
PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: EXISTING: BASEMENT  
FLOOR PLAN

DRAWN BY: IM	DATE: OCTOBER, 2021
REVIEWED BY: GG	SCALE: 3/16" = 1'-0"

**1** EXISTING BASEMENT FLOOR PLAN  
A.O.2 SCALE: 3/16" = 1'-0"

A.O.2



**WALL TYPES**

**EXISTING WALLS**

- W1 - FOUNDATION WALL  
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- 10" POURED CONCRETE  
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- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL, PAINTED
- W3 - INTERIOR BASEMENT WALL  
- 8" CONCRETE BLOCK  
- 2X2" WOOD FURRING ON EACH SIDE  
- 1/2" DRYWALL, PAINTED, ON EACH SIDE
- W4 - INTERIOR WALLS (NON-BEARING)  
- 2X4 WOOD FRAMING  
- 1/2" DRYWALL, PAINTED, ON EACH SIDE
- W5 - EXTERIOR WALL ABOVE GRADE  
- 4" STONE / BRICK  
- 1" AIR SPACE  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME @16" O.C.  
- VAPOUR BARRIER  
- BATT INSULATION (R VALUE UNKNOWN)  
- 1/2" DRYWALL, PAINTED
- W6 - EXTERIOR WALL ABOVE GRADE  
- ALUMINUM SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL, PAINTED
- W7 - GARAGE INTERIOR WALL (BEARING)  
- 2X6 WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL PAINTED

## Appendix B


File: 22.110195.000.00.MNV

Date: 06/03/22

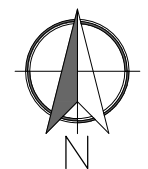
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3-	
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SEAL:



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416-512-2552, next.project.ca@gmail.com



PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

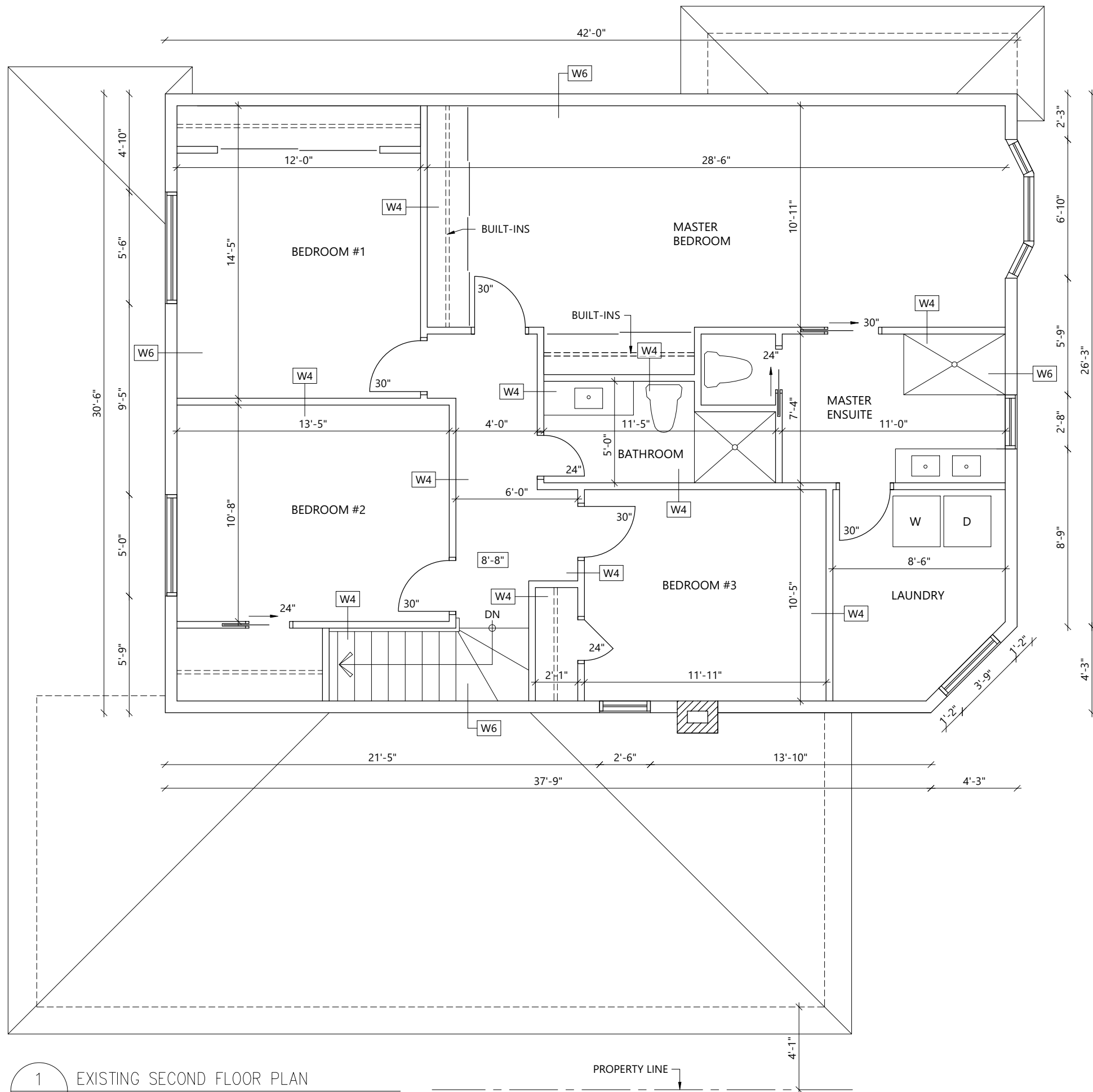
DRAWING: EXISTING: GROUND FLOOR PLAN

DRAWN BY: IM      DATE: OCTOBER, 2021  
REVIEWED BY: GG      SCALE: 3/16" = 1'-0"

1 EXISTING GROUND FLOOR PLAN  
A.O.3 SCALE: 3/16" = 1'-0"

A.O.3





**WALL TYPES**

**EXISTING WALLS**

- W1 - FOUNDATION WALL  
- 10" POURED CONCRETE
- W1A - FOUNDATION WALL  
- 10" POURED CONCRETE  
- 2X2 WOOD FURRING  
- 1/2" DRYWALL, PAINTED
- W2 - FOUNDATION WALL  
- 10" POURED CONCRETE  
- 4X4 WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL, PAINTED
- W3 - INTERIOR BASEMENT WALL  
- 8" CONCRETE BLOCK  
- 2X2" WOOD FURRING ON EACH SIDE  
- 1/2" DRYWALL, PAINTED, ON EACH SIDE
- W4 - INTERIOR WALLS (NON-BEARING)  
- 2X4 WOOD FRAMING  
- 1/2" DRYWALL, PAINTED, ON EACH SIDE
- W5 - EXTERIOR WALL ABOVE GRADE  
- 4" STONE / BRICK  
- 1" AIR SPACE  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME @16" O.C.  
- VAPOUR BARRIER  
- BATT INSULATION (R VALUE UNKNOWN)  
- 1/2" DRYWALL, PAINTED
- W6 - EXTERIOR WALL ABOVE GRADE  
- ALUMINUM SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL, PAINTED
- W7 - GARAGE INTERIOR WALL (BEARING)  
- 2X6 WOOD FRAME  
- BATT INSULATION (R VALUE UNKNOWN)  
- VAPOR BARRIER  
- 1/2" DRYWALL PAINTED

## Appendix B

File: 22.110195.000.00.MNV

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1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
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3-	
4-	
5-	

SEAL:



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PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: EXISTING: SECOND  
FLOOR PLAN

DRAWN BY: IM	DATE: OCTOBER, 2021
REVIEWED BY: GG	SCALE: 3/16" = 1'-0"

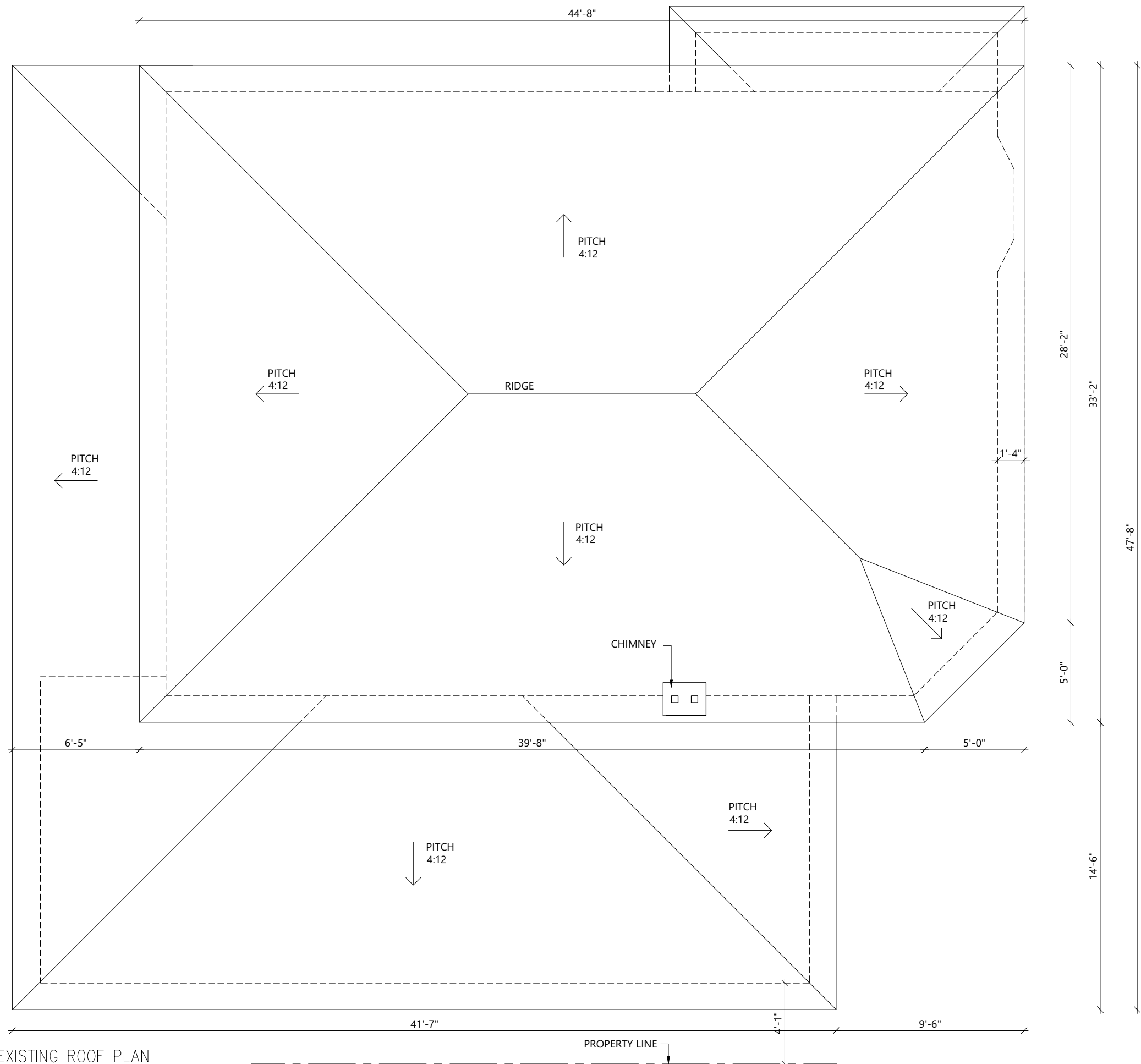
1 EXISTING SECOND FLOOR PLAN  
A.O.4 SCALE: 3/16" = 1'-0"

A.O.4

**Appendix B**

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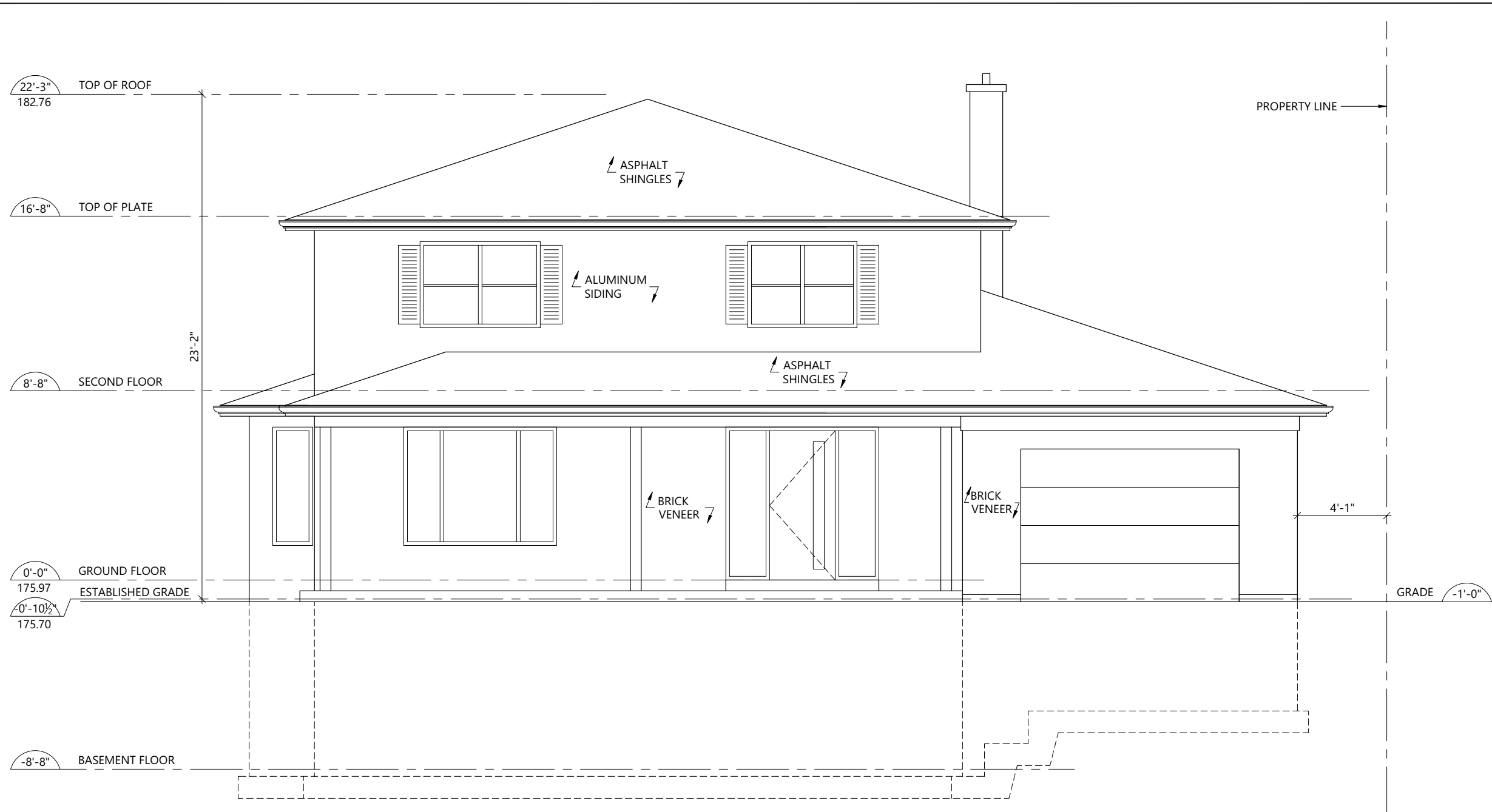
PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: EXISTING: ROOF PLAN

DRAWN BY: IM	DATE: OCTOBER, 2021
REVIEWED BY: GG	SCALE: 3/16" = 1'-0"

1 EXISTING ROOF PLAN  
A.O.5 SCALE: 3/16" = 1'-0"

A.O.5



1 EXISTING FRONT ELEVATION  
 A.O.6 SCALE: 3/16" = 1'-0"

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SEAL:



PROJECT: ADDITION OVER GARAGE  
 ADDRESS: 54 WILD CHERRY LANE  
 MARKHAM, ON.

DRAWING: EXISTING: FRONT  
 ELEVATION

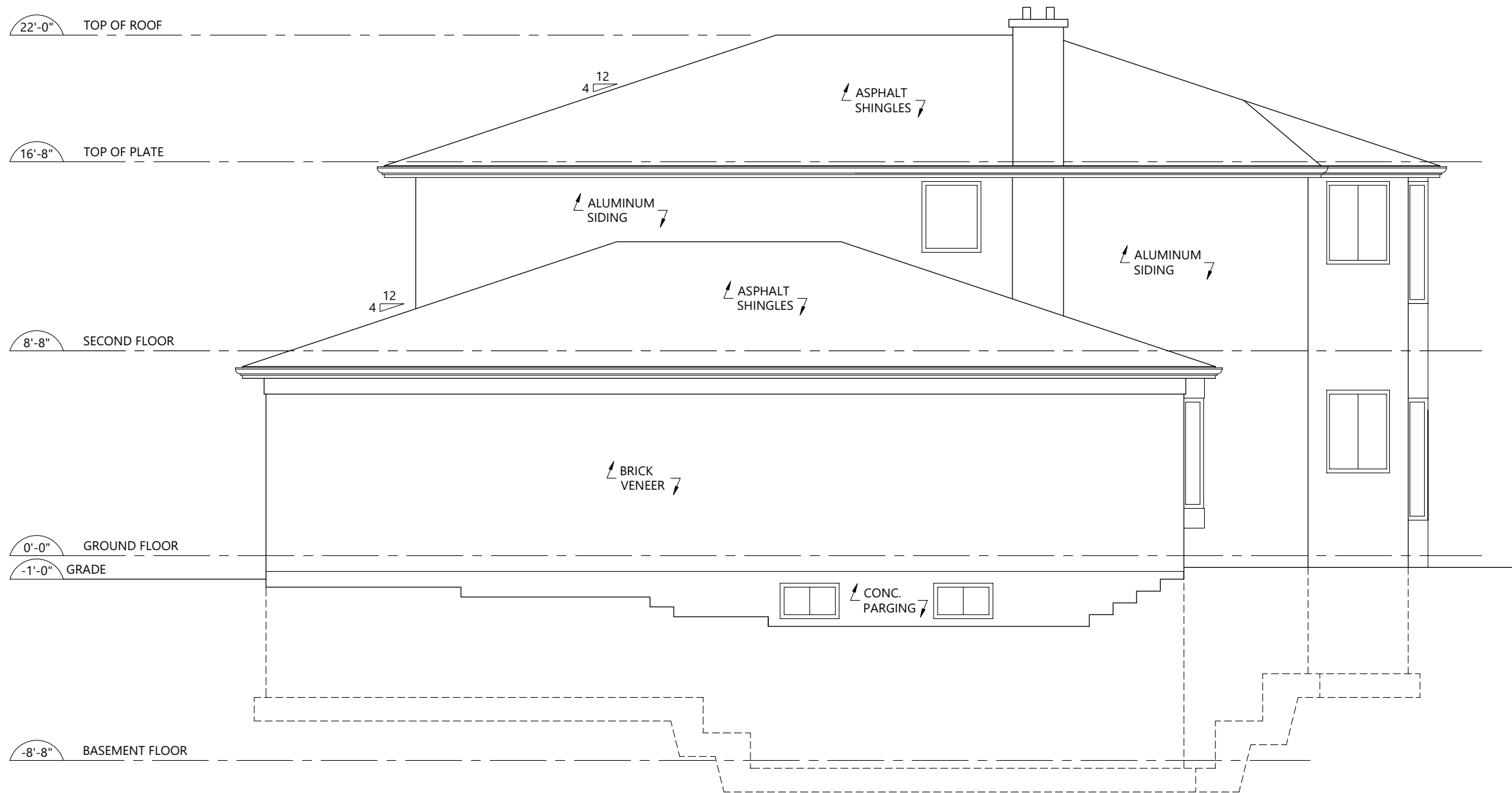
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REVIEWED BY: GG	SCALE: 3/16" = 1'-0"

A.O.6

**Appendix B**

File: 22.110195.000.00.MNV

Date: 06/03/22  
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1 EXISTING SOUTH SIDE ELEVATION  
A.O.7 SCALE: 3/16" = 1'-0"

ISSUED/ REVISIONS	DATE
1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
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3-	
4-	
5-	

SEAL:

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416-512-2552, next.project.ca@gmail.com

PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: EXISTING: SOUTH SIDE  
ELEVATION

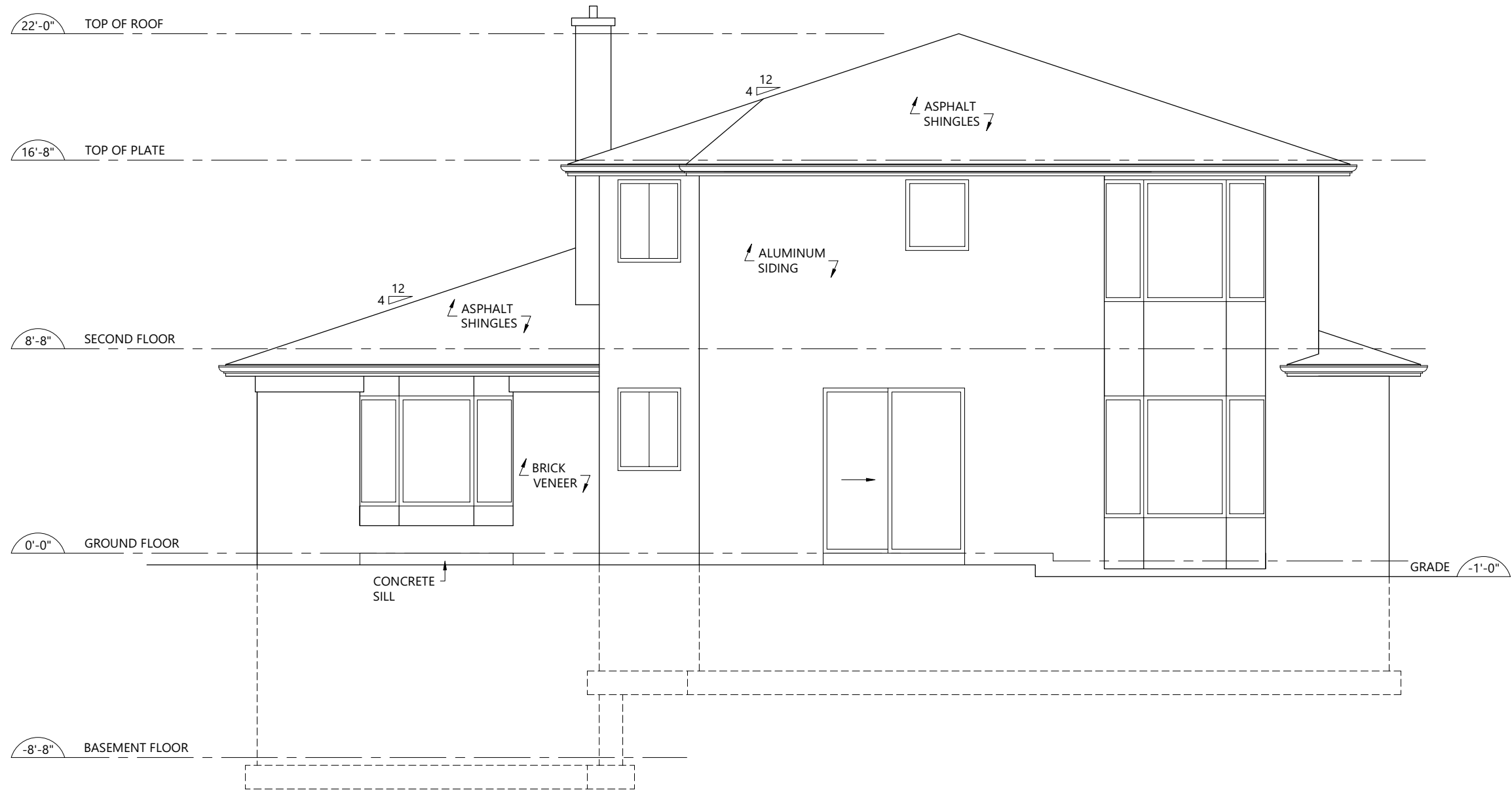
DRAWN BY: IM	DATE: OCTOBER, 2021
REVIEWED BY: GG	SCALE: 3/16" = 1'-0"

A.O.7

**Appendix B**

File: 22.110195.000.00.MNV

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1 EXISTING REAR ELEVATION  
A.O.8 SCALE: 3/16" = 1'-0"

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SEAL:



PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: EXISTING: REAR  
ELEVATION

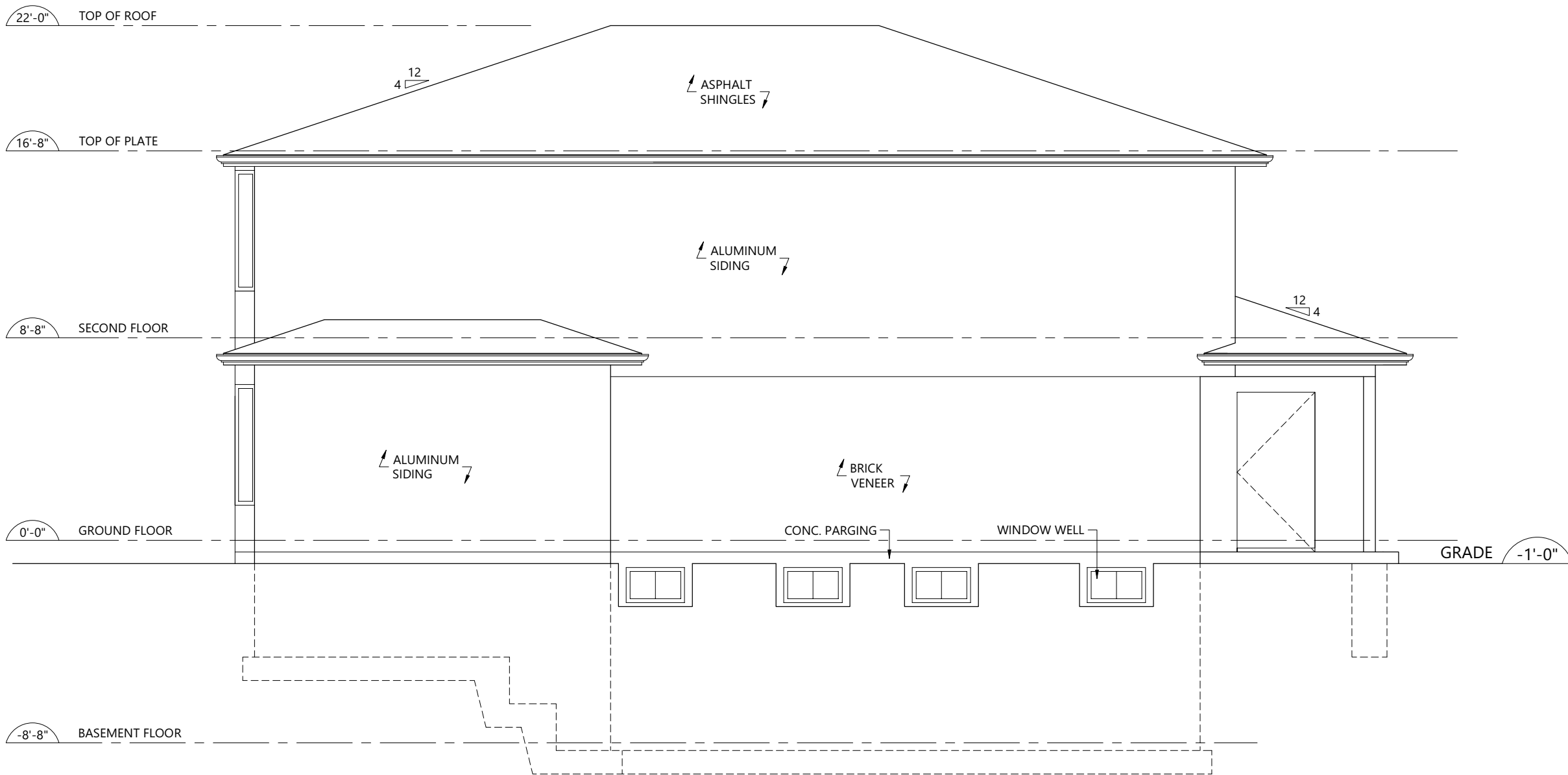
DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.O.8

# Appendix B

File: 22.110195.000.00.MNV


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1 EXISTING NORTH SIDE ELEVATION  
A.O.9 SCALE: 3/16" = 1'-0"

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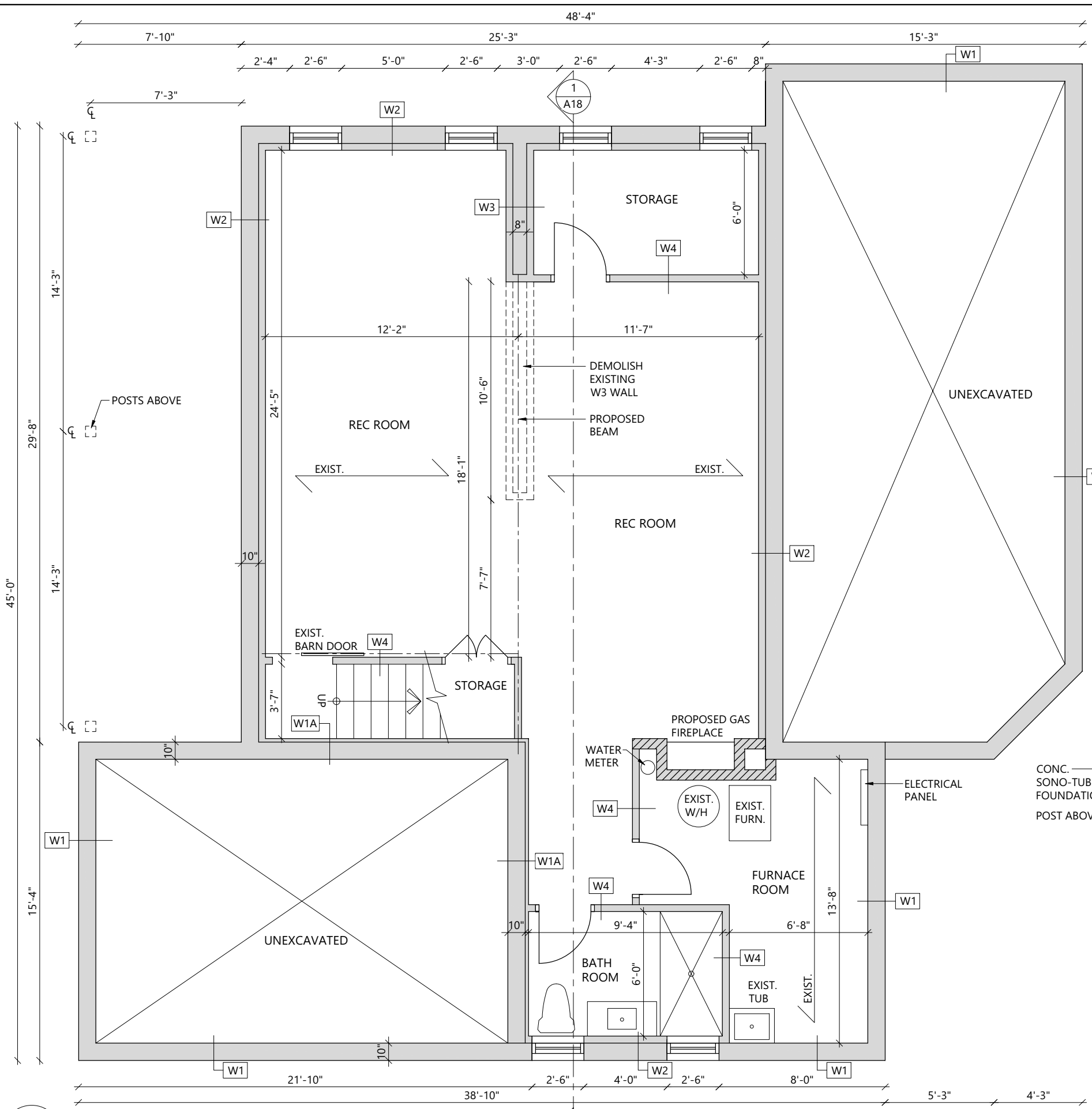


PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: EXISTING: NORTH SIDE  
ELEVATION

DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.O.9



- WALL TYPES**
- PROPOSED NEW OR REVISED WALLS**
- W6 A - EXTERIOR WALL - SECOND FLOOR - TO BE REVISED
  - REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.
    - INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME
    - INSTALL NEW PLYWOOD
    - INSTALL NEW HOUSEWRAP
    - INSTALL CEMENT COMPOSITE SIDING
  - W6 B - EXTERIOR WALL - GROUND FLOOR - TO BE REVISED
  - REMOVE EXISTING ALUMINUM SIDING
    - MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.
    - INSTALL CEMENT COMPOSITE SIDING
  - W8 - NEW EXTERIOR WALL - SECOND FLOOR
    - CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING
    - HOUSEWRAP
    - 1/2" PLYWOOD
    - 2X6" WOOD FRAME
    - R25 - SPRAYED CLOSED CELL FOAM INSULATION
    - 1/2" DRYWALL, PAINTED
  - W9 - INTERIOR PARTITION WALL
    - 2X4 WOOD FRAMING, C/W SOUND INSULATION AT BEDROOMS
    - 1/2" DRYWALL, PAINTED, EACH SIDE

- DRAWING LEGEND**
- EXISTING WALL TO REMAIN
  - EXISTING WALL TO DEMOLISH
  - NEW WALL

Appendix B


File: 22.110195.000.00.MNV

Date: 06/03/22

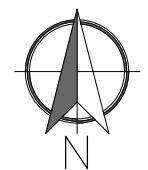
MM/DD/YY

ISSUED/ REVISIONS	DATE
1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
2-ISSUED FOR MINOR VARIANCE	JANUARY 17, 2022
3-	
4-	
5-	

SEAL:



House design by **NEXT PROJECT**  
416-512-2552, next.project.ca@gmail.com



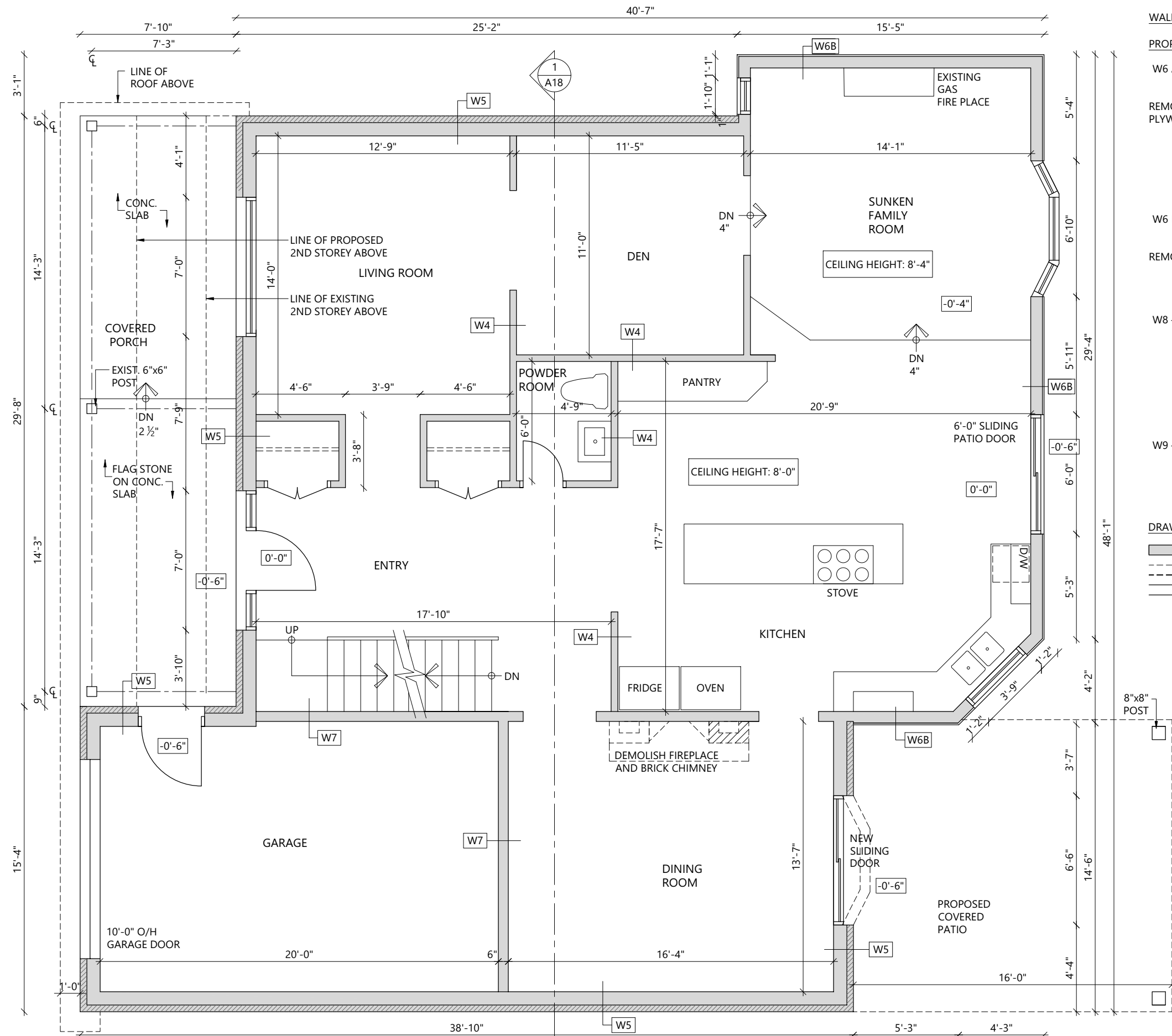
PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: BASEMENT  
FLOOR PLAN

DRAWN BY: IM      DATE: OCTOBER, 2021  
REVIEWED BY: GG      SCALE: 3/16" = 1'-0"

1 PROPOSED BASEMENT FLOOR PLAN  
A.1.0 SCALE: 3/16" = 1'-0"

A.1.0



**WALL TYPES**

**PROPOSED NEW OR REVISED WALLS**

- W6 A - EXTERIOR WALL  
- SECOND FLOOR - TO BE REVISED
- REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.  
- INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME  
- INSTALL NEW PLYWOOD  
- INSTALL NEW HOUSEWRAP  
- INSTALL CEMENT COMPOSITE SIDING
- W6 B - EXTERIOR WALL  
- GROUND FLOOR - TO BE REVISED
- REMOVE EXISTING ALUMINUM SIDING  
- MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.  
- INSTALL CEMENT COMPOSITE SIDING
- W8 - NEW EXTERIOR WALL - SECOND FLOOR  
- CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- R25 - SPRAYED CLOSED CELL FOAM INSULATION  
- 1/2" DRYWALL, PAINTED
- W9 - INTERIOR PARTITION WALL  
- 2X4 WOOD FRAMING, C/W SOUND INSULATION AT BEDROOMS  
- 1/2" DRYWALL, PAINTED, EACH SIDE

**DRAWING LEGEND**

- EXISTING WALL TO REMAIN
- EXISTING WALL TO DEMOLISH
- NEW WALL

## Appendix B


File: 22.110195.000.00.MNV

Date: 06/03/22

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1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
2-ISSUED FOR MINOR VARIANCE	JANUARY 17, 2022
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PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: GROUND FLOOR PLAN

DRAWN BY: IM      DATE: OCTOBER, 2021  
REVIEWED BY: GG      SCALE: 3/16" = 1'-0"

**1** PROPOSED GROUND FLOOR PLAN  
A.1.1 SCALE: 3/16" = 1'-0"

A.1.1






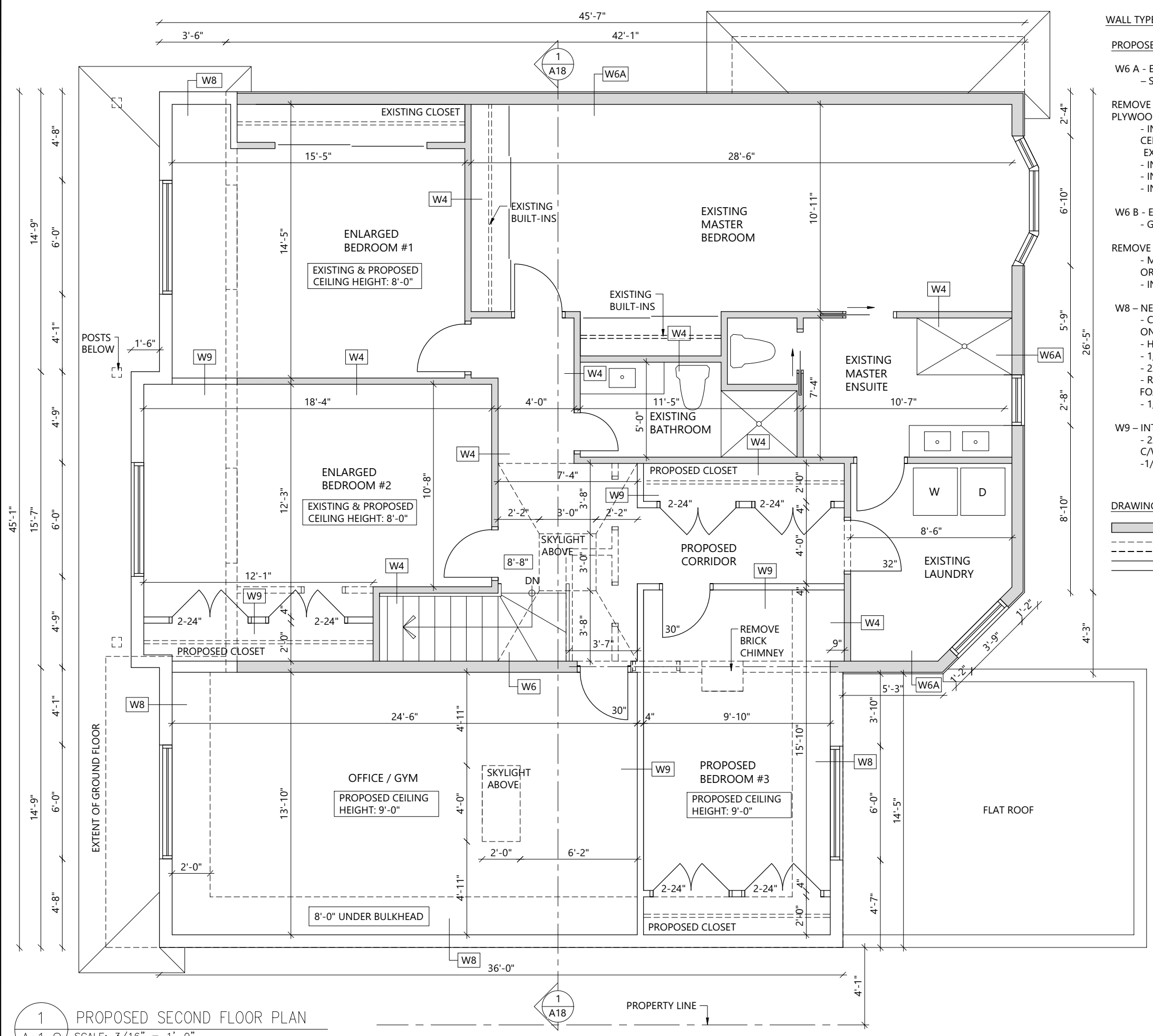
**Appendix B**

File: 22.110195.000.00.MNV

Date: 06/03/22  
MM/DD/YY

- WALL TYPES**
- PROPOSED NEW OR REVISED WALLS**
- W6 A - EXTERIOR WALL  
- SECOND FLOOR - TO BE REVISED
  - REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.  
- INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME  
- INSTALL NEW PLYWOOD  
- INSTALL NEW HOUSEWRAP  
- INSTALL CEMENT COMPOSITE SIDING
  - W6 B - EXTERIOR WALL  
- GROUND FLOOR - TO BE REVISED
  - REMOVE EXISTING ALUMINUM SIDING  
- MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.  
- INSTALL CEMENT COMPOSITE SIDING
  - W8 - NEW EXTERIOR WALL - SECOND FLOOR  
- CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- R25 - SPRAYED CLOSED CELL FOAM INSULATION  
- 1/2" DRYWALL, PAINTED
  - W9 - INTERIOR PARTITION WALL  
- 2X4 WOOD FRAMING, C/W SOUND INSULATION AT BEDROOMS  
- 1/2" DRYWALL, PAINTED, EACH SIDE



- DRAWING LEGEND**
-  EXISTING WALL TO REMAIN
  -  EXISTING WALL TO DEMOLISH
  -  NEW WALL



**1** PROPOSED SECOND FLOOR PLAN  
A.1.2 SCALE: 3/16" = 1'-0"

ISSUED/ REVISIONS	DATE
1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
2-ISSUED FOR MINOR VARIANCE	JANUARY 17, 2022
3-	
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SEAL:

PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: SECOND FLOOR PLAN

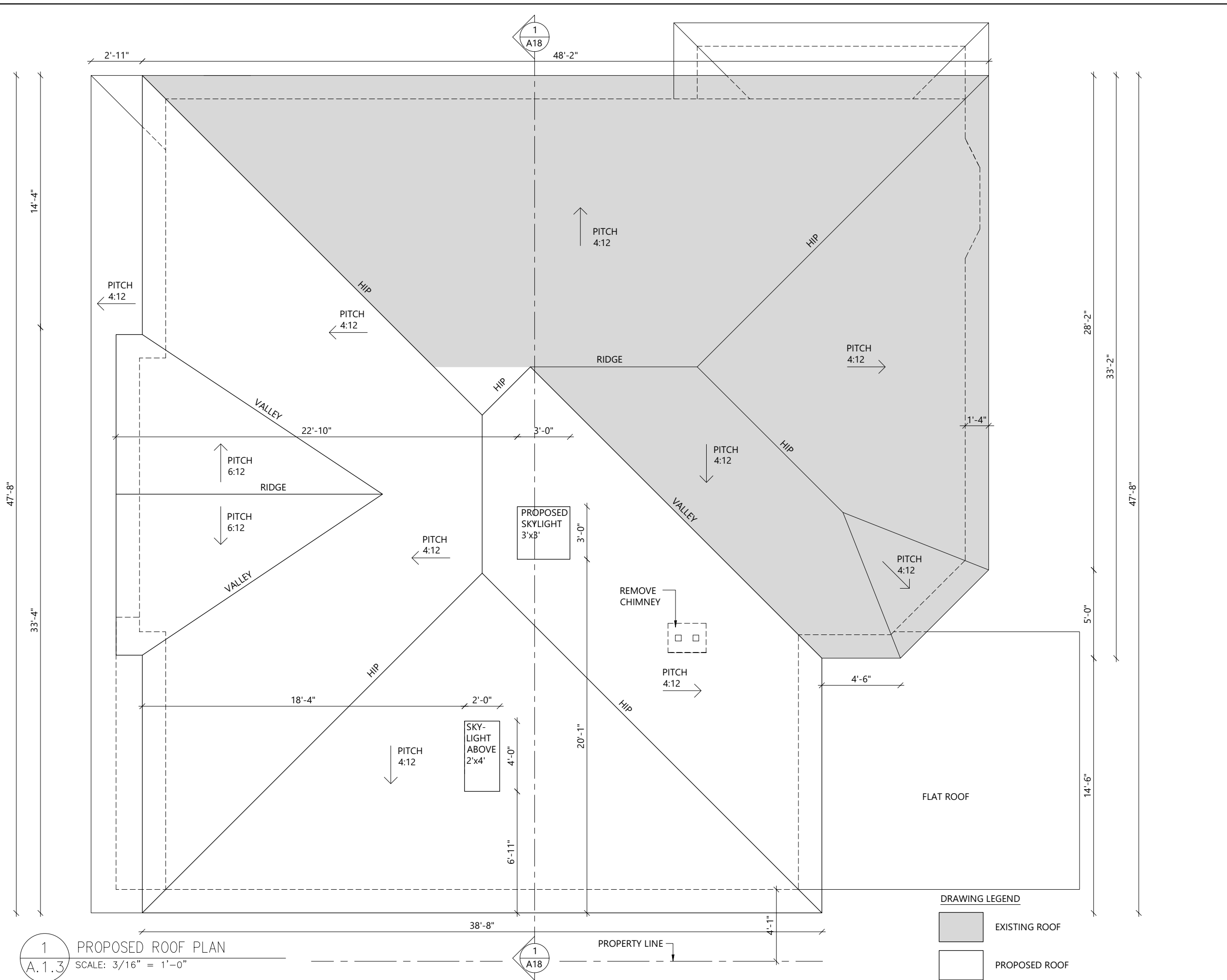
DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.1.2

**Appendix B**

File: 22.110195.000.00.MNV

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1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
2-ISSUED FOR MINOR VARIANCE	JANUARY 17, 2022
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**PROJECT:** ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

**DRAWING:** PROPOSED: ROOF PLAN

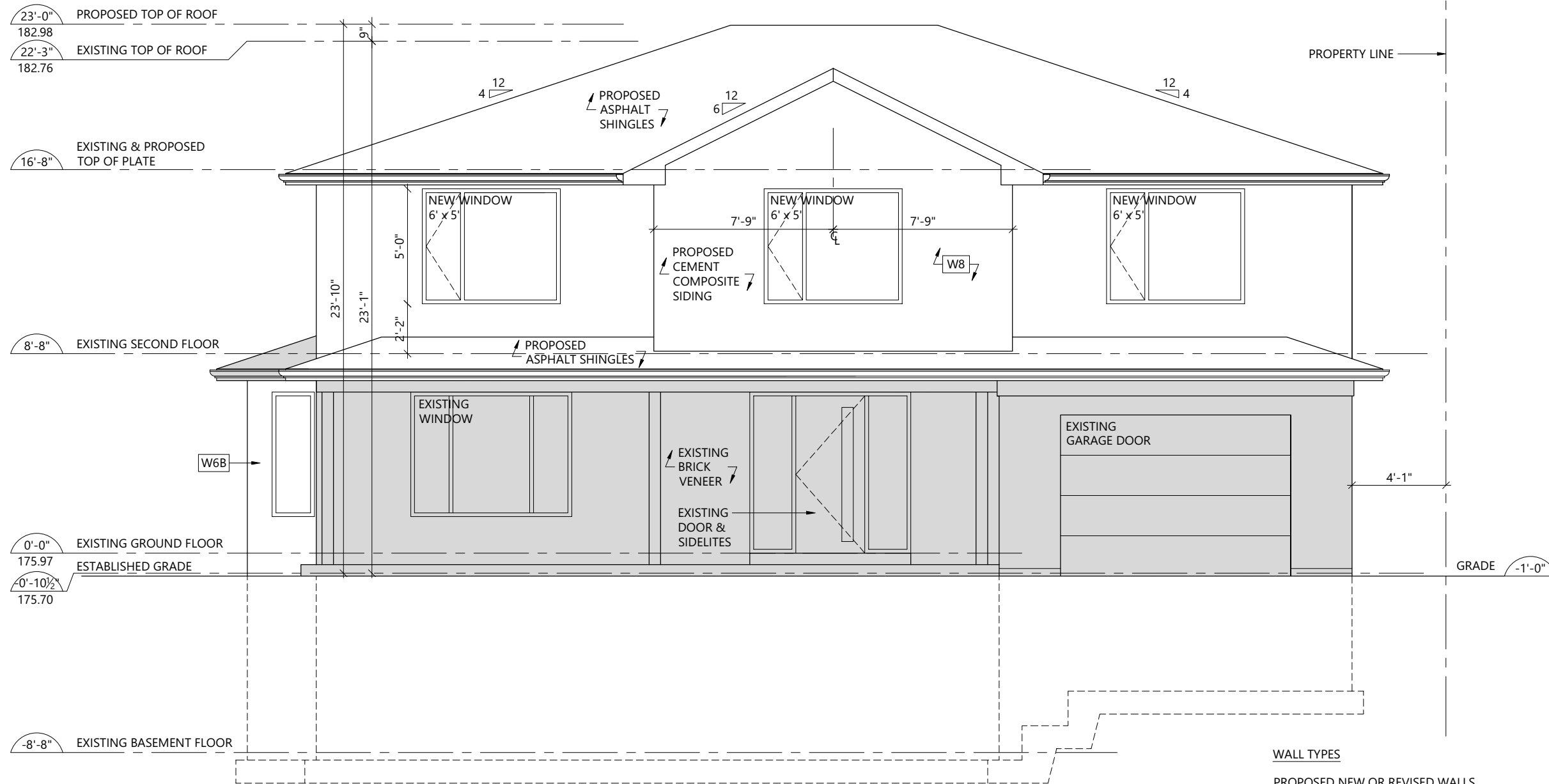
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REVIEWED BY: GG	SCALE: 3/16" = 1'-0"

A.1.3

# Appendix B

File: 22.110195.000.00.MNV

Date: 06/03/22  
MM/DD/YY



1 PROPOSED FRONT ELEVATION  
A.1.4 SCALE: 3/16" = 1'-0"

EXISTING TO REMAIN

### WALL TYPES

#### PROPOSED NEW OR REVISED WALLS

W6 A - EXTERIOR WALL  
- SECOND FLOOR - TO BE REVISED

REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.  
- INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME  
- INSTALL NEW PLYWOOD  
- INSTALL NEW HOUSEWRAP  
- INSTALL CEMENT COMPOSITE SIDING

W6 B - EXTERIOR WALL  
- GROUND FLOOR - TO BE REVISED

REMOVE EXISTING ALUMINUM SIDING  
- MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.  
- INSTALL CEMENT COMPOSITE SIDING

W8 - NEW EXTERIOR WALL - SECOND FLOOR  
- CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- R25 - SPRAYED CLOSED CELL FOAM INSULATION  
- 1/2" DRYWALL, PAINTED

ISSUED/ REVISIONS	DATE
1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
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PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: FRONT ELEVATION

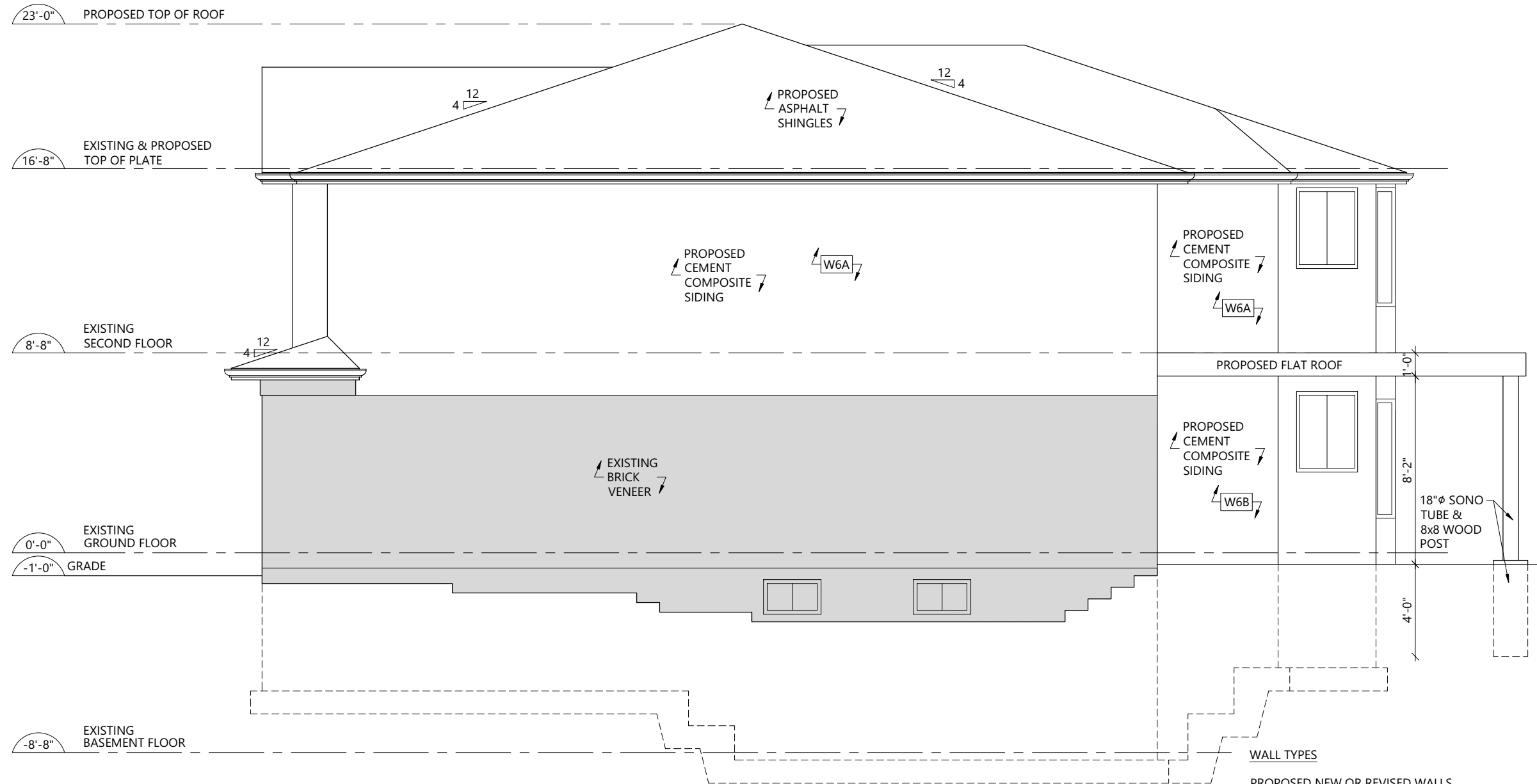
DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.1.4

# Appendix B

File: 22.110195.000.00.MNV

Date: 06/03/22  
MM/DD/YY




1 PROPOSED SOUTH SIDE ELEVATION  
A.1.5 SCALE: 3/16" = 1'-0"

EXISTING TO REMAIN

- WALL TYPES**
- PROPOSED NEW OR REVISED WALLS**
- W6 A - EXTERIOR WALL
    - SECOND FLOOR - TO BE REVISED
  - REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.
    - INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME
    - INSTALL NEW PLYWOOD
    - INSTALL NEW HOUSEWRAP
    - INSTALL CEMENT COMPOSITE SIDING
  - W6 B - EXTERIOR WALL
    - GROUND FLOOR - TO BE REVISED
  - REMOVE EXISTING ALUMINUM SIDING
    - MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.
    - INSTALL CEMENT COMPOSITE SIDING
  - W8 - NEW EXTERIOR WALL - SECOND FLOOR
    - CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING
    - HOUSEWRAP
    - 1/2" PLYWOOD
    - 2X6" WOOD FRAME
    - R25 - SPRAYED CLOSED CELL FOAM INSULATION
    - 1/2" DRYWALL, PAINTED

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1-ISSUED FOR ZONING REVIEW	DECEMBER 01, 2021
2-ISSUED FOR MINOR VARIANCE	JANUARY 17, 2022
3-	
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SEAL:



PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: SOUTH SIDE ELEVATION

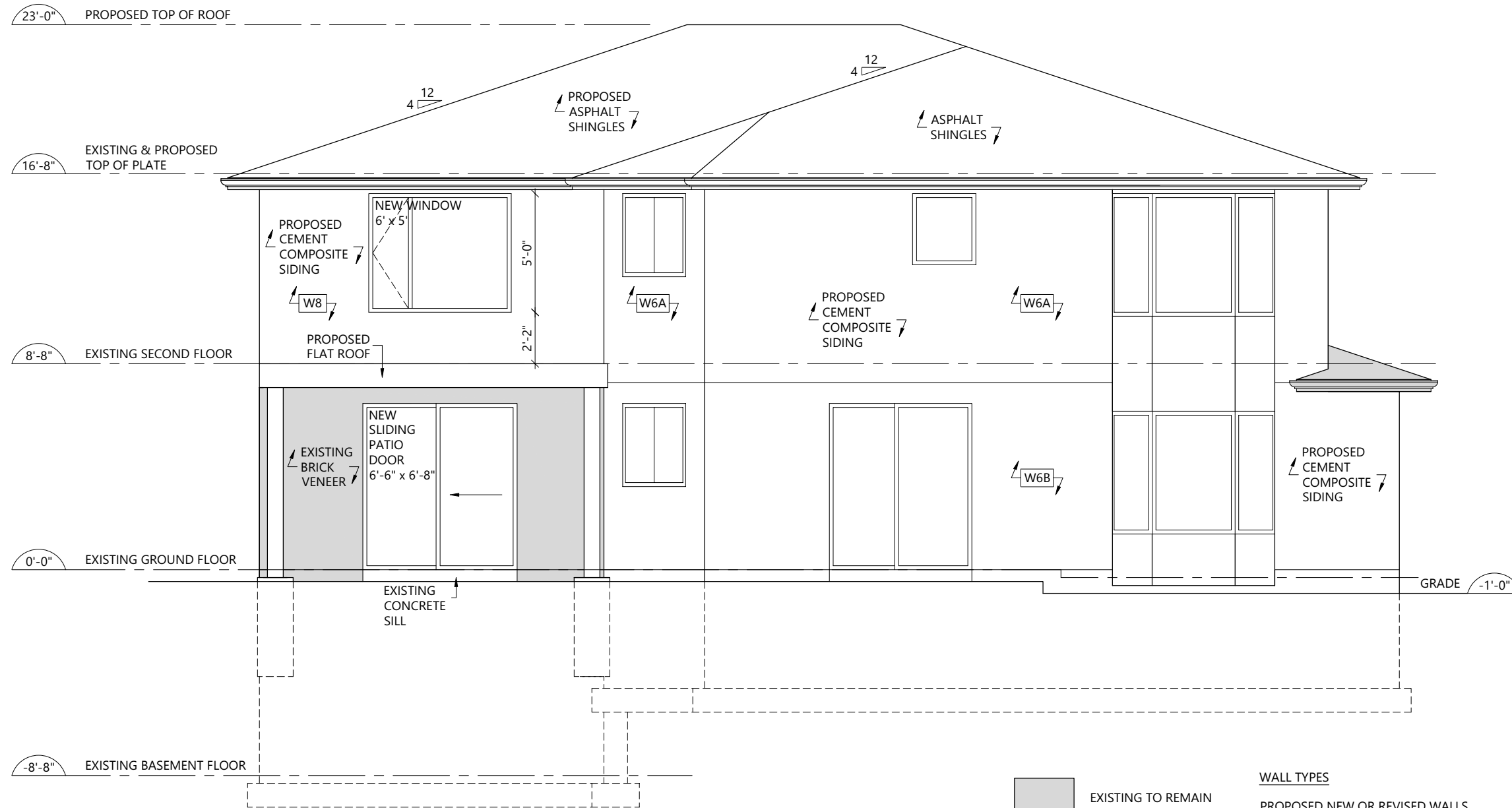
DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.1.5

# Appendix B

File: 22.110195.000.00.MNV

Date: 06/03/22  
MM/DD/YY



1 PROPOSED REAR ELEVATION  
A.1.6 SCALE: 3/16" = 1'-0"

**WALL TYPES**

**PROPOSED NEW OR REVISED WALLS**

W6 A - EXTERIOR WALL  
- SECOND FLOOR - TO BE REVISED

REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.  
- INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME  
- INSTALL NEW PLYWOOD  
- INSTALL NEW HOUSEWRAP  
- INSTALL CEMENT COMPOSITE SIDING

W6 B - EXTERIOR WALL  
- GROUND FLOOR - TO BE REVISED

REMOVE EXISTING ALUMINUM SIDING  
- MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.  
- INSTALL CEMENT COMPOSITE SIDING

W8 - NEW EXTERIOR WALL - SECOND FLOOR  
- CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- R25 - SPRAYED CLOSED CELL FOAM INSULATION  
- 1/2" DRYWALL, PAINTED

ISSUED/ REVISIONS	DATE
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PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: REAR ELEVATION

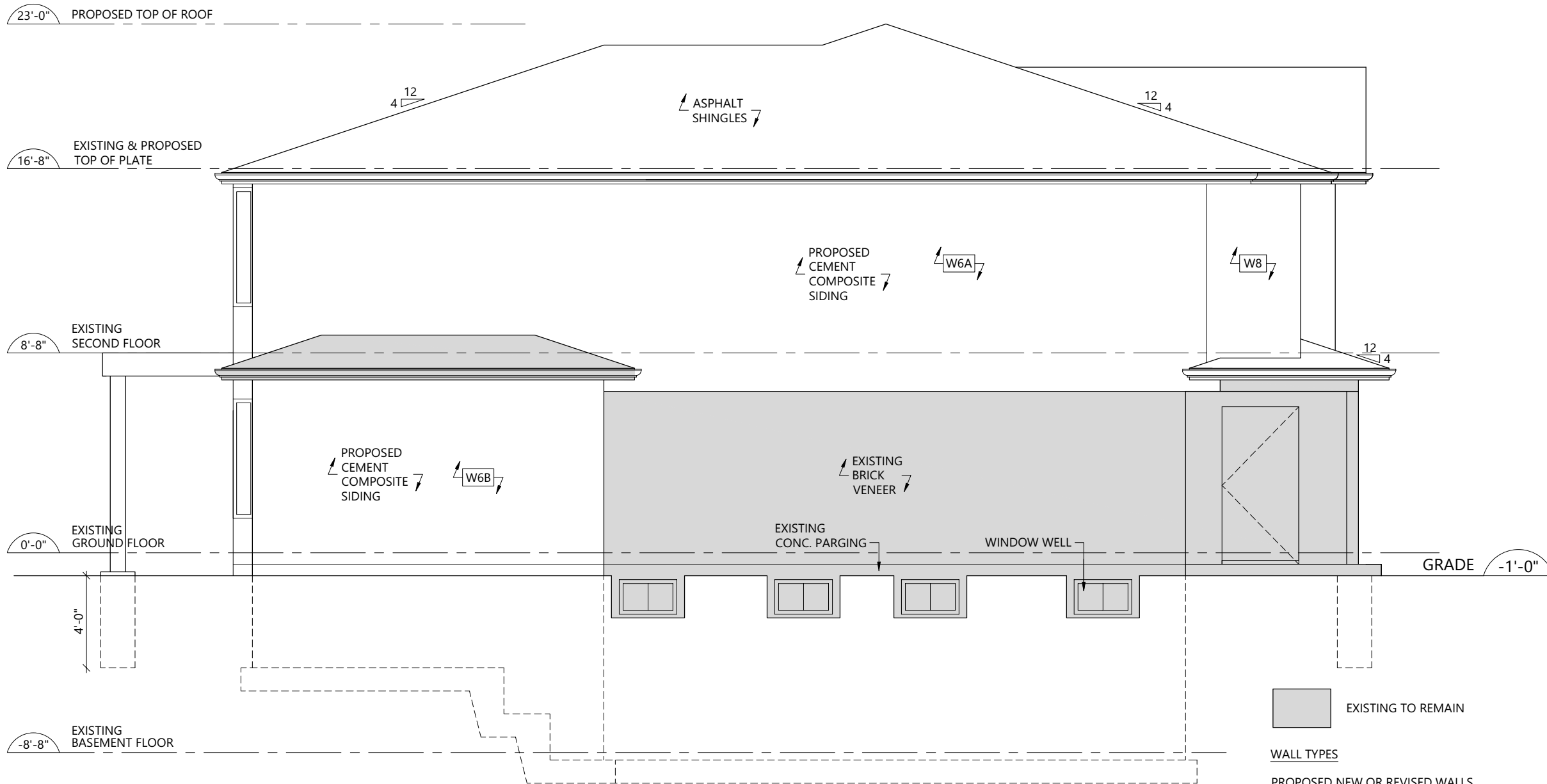
DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.1.6

# Appendix B

File: 22.110195.000.00.MNV

Date: 06/03/22  
MM/DD/YY



1 PROPOSED NORTH SIDE ELEVATION  
A.1.7 SCALE: 3/16" = 1'-0"

EXISTING TO REMAIN

**WALL TYPES**

**PROPOSED NEW OR REVISED WALLS**

W6 A - EXTERIOR WALL  
- SECOND FLOOR - TO BE REVISED

REMOVE EXISTING ALUMINUM SIDING, PLYWOOD AND INSULATION.  
- INSTALL R25 - SPRAYED CLOSED CELL FOAM INSULATION IN THE EXISTING 2X6 WOOD FRAME  
- INSTALL NEW PLYWOOD  
- INSTALL NEW HOUSEWRAP  
- INSTALL CEMENT COMPOSITE SIDING


W6 B - EXTERIOR WALL  
- GROUND FLOOR - TO BE REVISED

REMOVE EXISTING ALUMINUM SIDING  
- MAKE GOOD THE HOUSEWRAP, OR REPLACE IT.  
- INSTALL CEMENT COMPOSITE SIDING

W8 - NEW EXTERIOR WALL - SECOND FLOOR  
- CEMENT COMPOSITE SIDING ON 1X1 WOOD FURRING  
- HOUSEWRAP  
- 1/2" PLYWOOD  
- 2X6" WOOD FRAME  
- R25 - SPRAYED CLOSED CELL FOAM INSULATION  
- 1/2" DRYWALL, PAINTED

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SEAL:



PROJECT: ADDITION OVER GARAGE  
ADDRESS: 54 WILD CHERRY LANE  
MARKHAM, ON.

DRAWING: PROPOSED: NORTH SIDE ELEVATION

DRAWN BY: IM DATE: OCTOBER, 2021  
REVIEWED BY: GG SCALE: 3/16" = 1'-0"

A.1.7