

Memorandum to the City of Markham Committee of Adjustment

March 30, 2021

File: A/017/21
Address: 635 Hood Road – Markham, ON
Applicant: Elite Bindery and Mail Solutions Ltd.
Agent: N/A
Hearing Date: April 7, 2021

The following comments are provided on behalf of the Central Team. The applicant is requesting relief from the following “Select Industrial (M)” zone requirements under By-law 108-81, as amended, as it relates to two existing baler machines (accessory industrial equipment). The variances requested are to permit:

a) By-law 108-81, Section 4.6.1(a):

a structure to be constructed within 34.90 m (114.50 ft) of the centre line of Warden Avenue, whereas the By-law requires that no part of any building or structure shall be constructed within 40.0 m (131.23 ft) from the centre line of Warden Avenue; and

b) By-law 108-81, Section 4.8.2(d):

accessory industrial equipment to be located in a yard adjacent to a street, whereas the By-law permits accessory industrial equipment to be located in a yard not adjacent to a street.

BACKGROUND

Property Description

The 16,188.0 m² (174,246.18 ft²) subject property is a through lot with frontage on Hood Road. The property is located north of McPherson Street, south of 14th Avenue, and also abuts Warden Avenue to the east, which is a Regional arterial road. A single-storey industrial building currently occupies the subject property. The building has a gross floor area (GFA) of approximately 6,391.0 m² (68,792.15 ft²).

There are two existing baler machines located to the east of the building, in the rear yard of the subject property. The applicant has confirmed that the baler machines were constructed in 2017. The northerly baler machine is surrounded by wooden fencing, while the southerly baler machine is not (see Appendix “B”). The subject property is located in an area that is comprised of a mix of employment uses, including industrial, office and service uses.

Proposal

The applicant is proposing to legalize the baler machines in their existing location. Consequently, the applicant is requesting the variances as noted above.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The 2014 Official Plan designates the subject property “Business Park Employment”, which provides for a range of employment uses, including, but not limited to manufacturing, processing, and warehouses with no accessory outdoor storage.

Lands designed “Business Park Employment” are intended to become high-profile employment areas, comprising offices and a range of prestige industrial buildings displaying high quality design.

The 2014 Official Plan identifies Warden Avenue as a Region of York Arterial Road, which has a planned right of way width of up to 45.0 m (147.64 ft), as identified in Map 12 of the Regional Municipality of York’s Official Plan 2019 Office Consolidation.

Zoning By-Law 108-81

The subject property is zoned “Select Industrial (M)” under By-law 108-81, as amended, which permits: warehousing of goods and materials; assembly of manufactured goods; the ability to manufacture goods within enclosed buildings; and, printing establishments, amongst other uses.

Zoning Preliminary Review (ZPR) Undertaken

The applicant completed a ZPR on December 17, 2020 to confirm the variances required.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment (“the Committee”):

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduced in Minimum Setback from Centre Line of Warden Avenue

The applicant requests that a structure be permitted within 34.90 m (114.50 ft) of the centre line of Warden Avenue, whereas the By-law requires that no part of any building or structure shall be constructed within 40.0 m (131.23 ft) from the centre line of Warden Avenue. The applicant is requesting a reduction of 5.10 m (114.50 ft) from the By-law requirement.

Warden Avenue is a Regional arterial road that is owned and operated by the Regional Municipality of York. As previously noted, Map 12 – Street Network of York Region’s Official Plan indicates a planned street width of up to 45.0 m (147.64 ft). The Regional Municipality of York provides no comments in relation to the proposed development (Appendix “C”). With consideration to the comments received, staff are satisfied that the approval of this variance would not adversely impact any future Warden Avenue right-of-way widenings, and do not object to the variance.

Location of Accessory Industrial Equipment

The applicant is requesting that accessory industrial equipment be located in a yard adjacent to a street, whereas the By-law requires accessory industrial equipment to be located in a yard not adjacent to a street. Staff note that the subject property is a through lot, which the By-law defines as being:

“a lot bounded on two opposite sides by streets, provided, however that if any lot qualifies as being both a Corner Lot and a Through Lot as

hereinbefore defined, such lot shall be deemed to be a Corner Lot for the purpose of this By-law.”

As previously noted, the applicant is proposing to legalize the location of the baler machines (accessory industrial equipment) situated in the rear yard. If the baler machines were to be located within an interior side yard, they would be visible from both Warden Avenue and Hood Road, as the property is a through lot.

However, staff note that the baler machines in their current location are only visible from Warden Avenue. Accordingly, staff recommend that the applicant provides louvered fencing at a height of at least 4.50 m (14.76 ft) to assist in softening the appearance of the structures from Warden Avenue, as a condition of approval (see Appendix “A”).

Urban Design staff also recommend the planting of additional trees, perpendicular to the baler machines, along the landscape strip that is parallel Warden Avenue, as detailed in the associated condition of approval. Provided that the applicant agrees to the conditions detailed in Appendix “A”, staff do not object to the requested variance.

PUBLIC INPUT SUMMARY

No written submissions were received as of March 30, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act, R.S.O. 1990, c. P.13, as amended*, and are of the opinion that the variance request meets the four tests of the *Planning Act*, and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendix “A” for conditions to be attached to any approval of this application.

APPENDICES

Appendix “A” – Conditions of Approval

Appendix “B” – Plans

Appendix “C” – Regional Municipality of York Comments

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



Sabrina Bordone, Senior Planner, Central District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/017/21

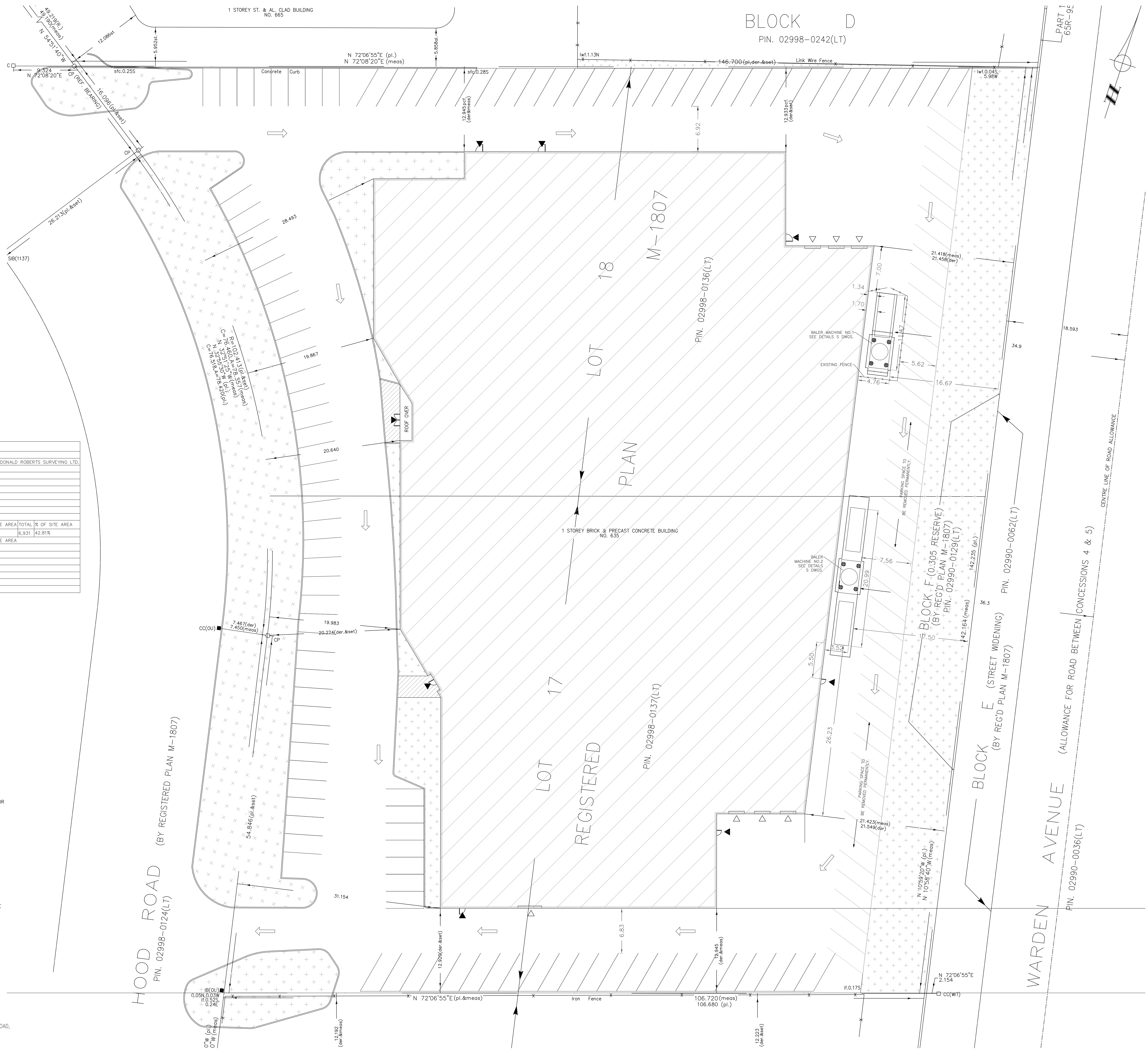
1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the batch stamped plans attached as Appendix "B" to this staff report, and that the Secretary-Treasurer receives written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the applicant installs louvered fencing at a minimum height of 4.50 m (14.76 ft) measured from the surface of the parking lot to the top of the louvered fencing, which would be required to individually surround both the northerly and southerly baler machines, and submit site photos to the Director of Planning and Urban Design or designate to show that louvered fencing has been installed, and that the Secretary-Treasurer receives written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
4. That the applicant submits revised Elevation Plans to the Director of Planning and Urban Design or designate to reflect the changes from condition #3, and that the Secretary-Treasurer receives written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
5. That a Landscape Plan be submitted by the applicant to ensure that trees/adequate vegetative buffering/screening are planted along the landscape strip, situated on private property, parallel to Warden Avenue, to the satisfaction of the Director of Planning and Urban Design or designate, and that the Secretary-Treasurer receives written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

APPENDIX "B"
PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/017/21



OBC MATRIX

PROPERTY: PLAN OF LOTS 17&18, REGISTERED PLAN M-1807
 SURVEY INFORMATION SHOWN ON THIS DRAWING IS TAKEN FROM SURVEY DRAWING PROVIDED BY DONALD ROBERTS SURVEYING LTD.
 THE SURVEY WAS COMPLETED ON 15TH, OCT, 2020

PROPERTY AREA	16,188
GROUND FLOOR AREA OF EXISTING BUILDING	6,931
BUILDING AREA OF EXISTING BUILDING	6,931
GROSS FLOOR AREA OF EXISTING BUILDING	6,931
BUILDING AREA OF NEW ADDITION	n/a
GROSS FLOOR AREA OF NEW ADDITION	n/a
TOTAL BUILDING AREA (EXISTING AND ADDITION)	6,931
LOT COVERAGE	EXISTING % OF SITE AREA 6,931 42.81%
	NEW ADDITION % OF SITE AREA n/a n/a
	TOTAL % OF SITE AREA 6,931 42.81%
REMAINDER OF THE SITE AREA	AREA 34,649 51.04%
NO. OF EXISTING PARKING SPACES	152
NO. OF EXISTING PARKING SPACES REMOVED	44
NO. OF EXISTING PARKING SPACES REMAINED	152-44=108
NO. OF PARKING SPACES TOTAL REQUIRED	(6930-515)/200=32
NO. OF PARKING SPACES NEW PROVIDED	0
NO. OF PARKING SPACES TOTAL PROVIDED	108

NOTE:
 ALL UNITS ARE IN M² UNLESS OTHERWISE NOTICED.

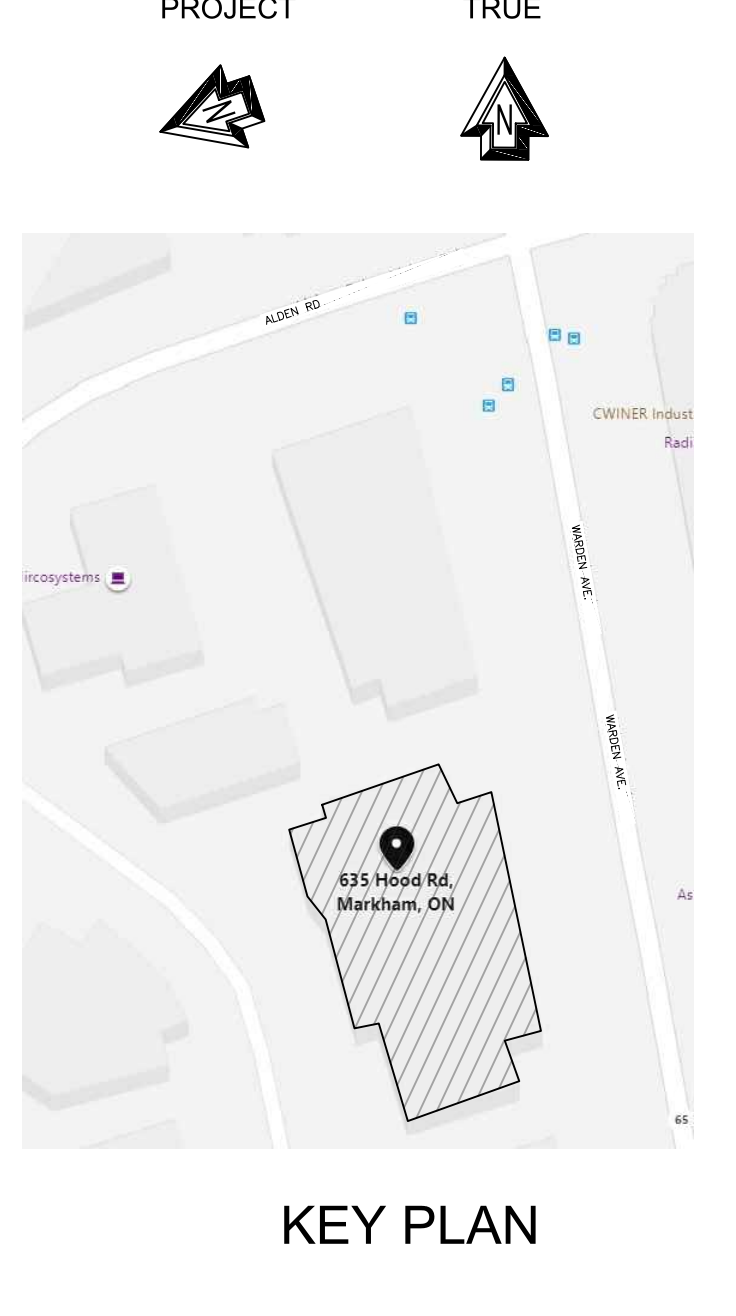
- GENERAL NOTES:**
1. THESE NOTES ARE A PART OF ALL DRAWINGS THAT REFER TO THEM. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS, NOTES OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY.
 2. ALL DIMENSIONS AND LEVELS ARE SHOWN IN MILLIMETER, UNLESS OTHERWISE NOTED.
 3. DO NOT SCALE THE DRAWINGS.
 4. ALL DRAWINGS SHALL BE IN CONJUNCTION WITH RELEVANT ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS.
 5. ANY DISCREPANCY NOTED SHALL BE BROUGHT TO THE NOTICE OF THE ENGINEER BEFORE COMMENCING ANY WORKS.
 6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS, AND ALL APPLICABLE CODES, ORDINANCES AND ACCEPTED INDUSTRY STANDARDS.
 7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS AND ESTABLISHING THE COMPATIBILITY OF ALL NEW WORK WITH THE EXISTING CONDITIONS.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CONTINUOUS MAINTENANCE OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM DAMAGE OR LOSS BY DUST, DIRT, WATER THEFT, FIRE OR ANY OTHER PHYSICAL DAMAGE IN CONNECTION WITH THE CONTRACT.
 9. ALL DRAWINGS ARE THE PROPERTY OF THE OWNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE ENGINEER.
 10. ANY FIELD MODIFICATIONS NOT IN ACCORDANCE WITH THE ORIGINAL SEALED DRAWINGS SHALL BE APPROVED BY THE ENGINEERING DEPARTMENT. A MODIFICATION WITHOUT ITS APPROVAL SHALL VOID THE ENGINEER'S RESPONSIBILITY.
 11. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL ELECTRICAL, PLUMBING, CABLE AND ALL OTHER SERVICES WITHIN THE WORK AREA. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FORTY-EIGHT (48) HOURS NOTICE TO THE OWNER'S REPRESENTATIVE IN ADVANCE OF ANY NECESSARY INTERRUPTION.
 12. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF FORTY-EIGHT (48) HOURS ADVANCE NOTICE TO THE ENGINEER FOR ANY SITE REVIEWS OR TESTING SERVICES.

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF HOOD ROAD, AS SHOWN ON REGISTERED PLAN M-1807, HAVING A BEARING OF N 54°51'40"W.

SURVEY LEGEND

□ DENOTES SURVEY MONUMENT SET	1f1f DENOTES LINK WIRE FENCE	▽ EX-FIRE ACCESS
■ SURVEY MONUMENT FOUND	1137 -- R.C. McKIBBON O.L.S.	□ EX-LOADING SPACE
▬ STANDARD IRON BAR	st -- STUCCO	□ FENCE TO REMAIN
▬ IRON BAR	al -- ALUMINUM	□ PROPERTY LINE
CC -- CUT CROSS	CP -- CONCRETE PIN	□ EX-LANDSCAPE AREA AND GRASS AREA
R -- PLAN 65R-8081	pcf -- FOUNDED CONCRETE FOUNDATION	□ EX-LANDSCAPE AREA AND GRASS AREA
pl -- REGISTERED PLAN M-1807	1292 -- BENNETT YOUNG LIMITED	
der -- SURVEY BY DONALD E. ROBERTS	sf -- SOUTH FACE OF CURB	
LTD. DATED NOV 18, 1980	if -- IRON FENCE	
R1 -- PLAN 65R-27228		

1 EX-SITE PLAN & BALER MACHINE LOCATION
 1:300



0	09 DEC 2020	ZONING REVIEW	CW
NO	DATE	ISSUED FOR	APPROVED BY

REVISIONS

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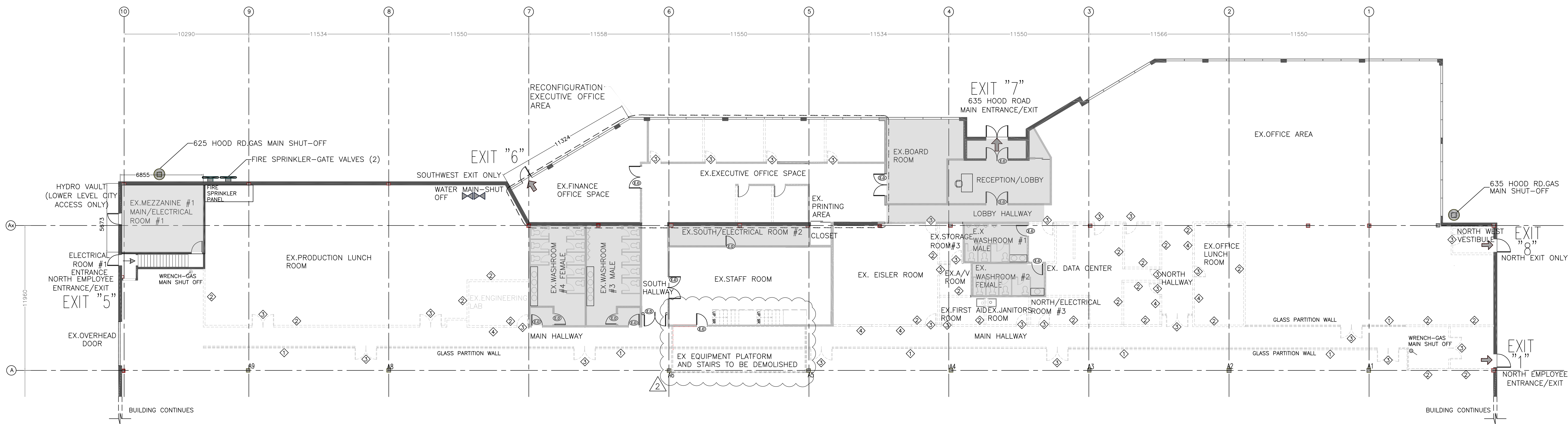
C.W. WALLACE
 PROFESSIONAL ENGINEER

PROFESSIONAL ENGINEER
 C.W. WALLACE
 90482290
 08/12/2022
 PROVINCE OF ONTARIO

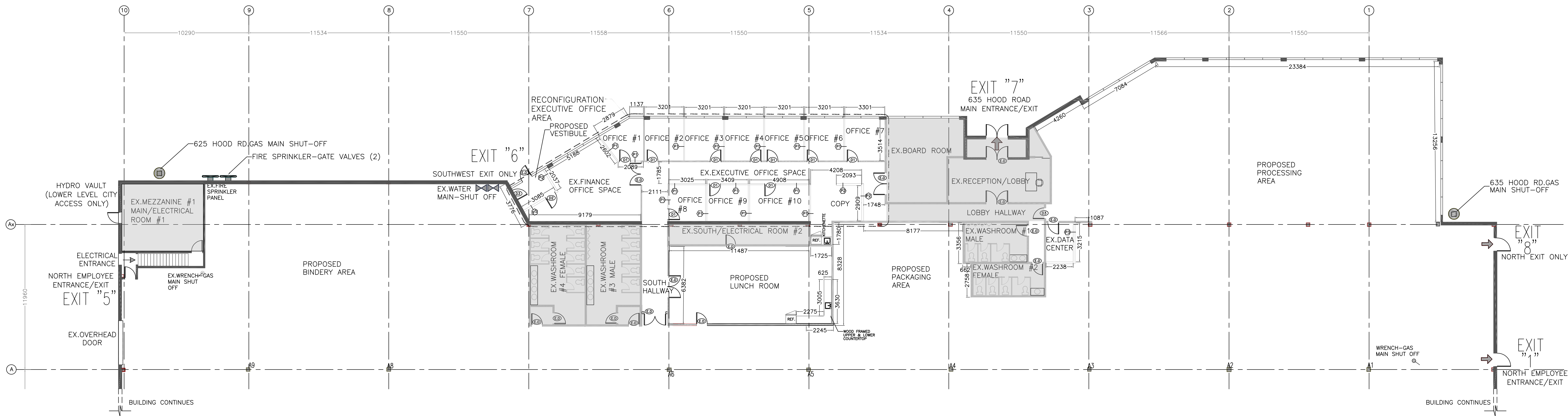
PROJECT:
 BALER SYSTEM APPLICATION
 635 HOOD RD. MARKHAM, ON

DRAWING:
 OBC MATRIX & SITE PLAN
 WITH BALER SYSTEMS

DATE: 10 MAR 2020 **PROJECT NO:** 80804
SCALE: AS SHOWN **DRAWING NO:**
DRAWN BY: ZW **CHECKED BY:** CW
SP0.1



1 DEMOLITION GROUND FLOOR PLAN
 1:150



2 PROPOSED GROUND FLOOR PLAN
 1:150

ROOM FINISH SCHEDULE					
NAME	FLOORING	BASE	CEILING FINISH	CEILING HEIGHT	WALL
PROPOSED VESTIBULE	CARPET	NO CHANGE	LAY-IN ACOUSTIC TILE	2591 mm	GYPSUM WALL BOARD
PROPOSED EXECUTIVE OFFICES	CARPET	NO CHANGE	LAY-IN ACOUSTIC TILE	2591 mm	GLAZING PARTITION WALL
PROPOSED PRODUCTION LUNCH ROOM	EX.EPOXY	NO CHANGE	UNFINISHED	NO CHANGE	GYPSUM WALL BOARD
PROPOSED KITCHENETTE	CARPET	NO CHANGE	LAY-IN ACOUSTIC TILE	2591 mm	GYPSUM WALL BOARD
PROPOSED PACKAGING AREA	EPOXY	NO CHANGE	UNFINISHED	NO CHANGE	NO CHANGE
PROPOSED PROCESS AREA	EPOXY	NO CHANGE	UNFINISHED	NO CHANGE	NO CHANGE

DOOR SCHEDULE								
LEVEL	DOOR TAG	QTY.	SIZE	THK.	MATERIAL & FRAME	COLOUR	ULC RATING	REMARKS
GROUND FLOOR	D1	10	2'-6"x7'-0"	1 1/2"	HM DOOR & FRAME	BLACK	--	LOCKSET, TEMPERED GLASS
GROUND FLOOR	D2	1	3'-0"x7'-0"	1 1/2"	HM DOOR & FRAME	BLACK	--	LOCKSET, SELF-CLOSING DEVICE
GROUND FLOOR	D3	1	3'-0"x7'-0"	1 1/2"	HM DOOR & FRAME	BLACK	--	LOCKSET, SELF-CLOSING DEVICE, TEMPERED GLASS

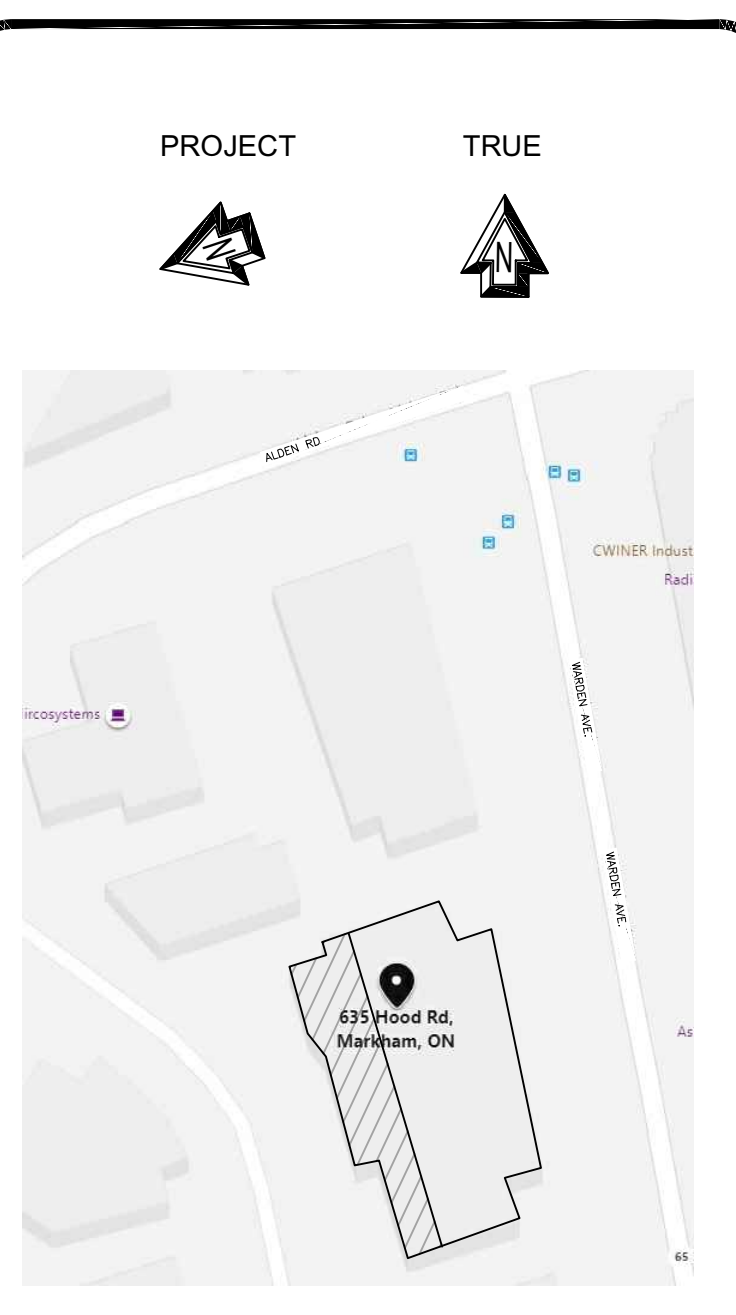
- DEMOLITION**
- 1 REMOVAL OF EXISTING GLASS PARTITION WALLS
 - 2 REMOVAL OF EXISTING INTERIOR PARTITION WALLS
 - 3 REMOVAL OF EXISTING DOORS
 - 4 REMOVAL OF EXISTING WINDOWS
 - 5 REMOVE EXISTING COUNTER, LAVATORY, AND PLUMBING FIXTURES.
 - 6 REMOVE EXISTING SHOWER AND PLUMBING FIXTURES

- FIXTURES**
- PRODUCTION LUNCH ROOM & KITCHENETTE
 - NEW LAVATORY TO BE INSTALLED AT LOCATION WASH BASIN TO BE INSTALLED AT THE LOCATION OF EXISTING SINK. NEW WASH BASIN SHALL BE AMERICAN STANDARD SURGON'S SCRUB SINK, FAUCET HOLES ON 8" CENTERS.
 - NEW FAUCET SHALL BE AMERICAN STANDARD MONTERREY 1.5GPM ROSE SPRAY, WITH 8" REACH.

- EXECUTIVE OFFICE SPACE ROOM FINISH**
- LAY-IN ACOUSTIC TILES SHALL BE ARMSTRONG CANYON TILES, 24"x48" OR EQUIVALENT TO MATCH EXISTING CEILING TILES.
 - CARPET TO MATCH EX. CARPET, COLOUR AND TEXTURE SHALL BE SELECTED BY THE OWNER.

LEGEND	
SYMBOL	DESCRIPTION
	EX.COMU WALL
	DEMOLISHED NON-LOAD BEARING PARTITION
	EX. INTERIOR PARTITION WALL
	DEMOLISHED GLASS PARTITION WALL
	EX.POST TO REMAIN
	EX.DOOR TO REMAIN
	EX.DOOR TO BE REMOVED
	AREA NOT IN SCOPE

- INTERIOR PARTITION WALL DESIGN**
- (P1) 4" (100 mm) GLAZING PARTITION
 - ONE LAYER OF 1/4" CLEAR TEMPERED GLASS
 - ALUMINUM FRAME TYP. BLACK
 - (P2) INTERIOR PARTITION WALL (METAL STUD)
 - FLOOR & CEILING TRACKS ATTACHED TO FLOOR AND CEILING ASSEMBLIES WITH FASTENERS @ 24" O.C.
 - 1/2" GYPSUM WALLBOARD
 - 25 GA 1 1/2" x 3 1/2" METAL STUD @ 16" O.C.
 - 1/2" GYPSUM WALLBOARD



KEY PLAN
 AREA IN SCOPE OF WORK

NO.	DATE	ISSUED FOR	APPROVED BY
3	SEPT 10 2020	REVISION	CW
2	JUNE 29 2020	REVIEW	CW
1	JUNE 25 2020	REVIEW	CW
0	JUNE 16 2020	REVIEW	CW

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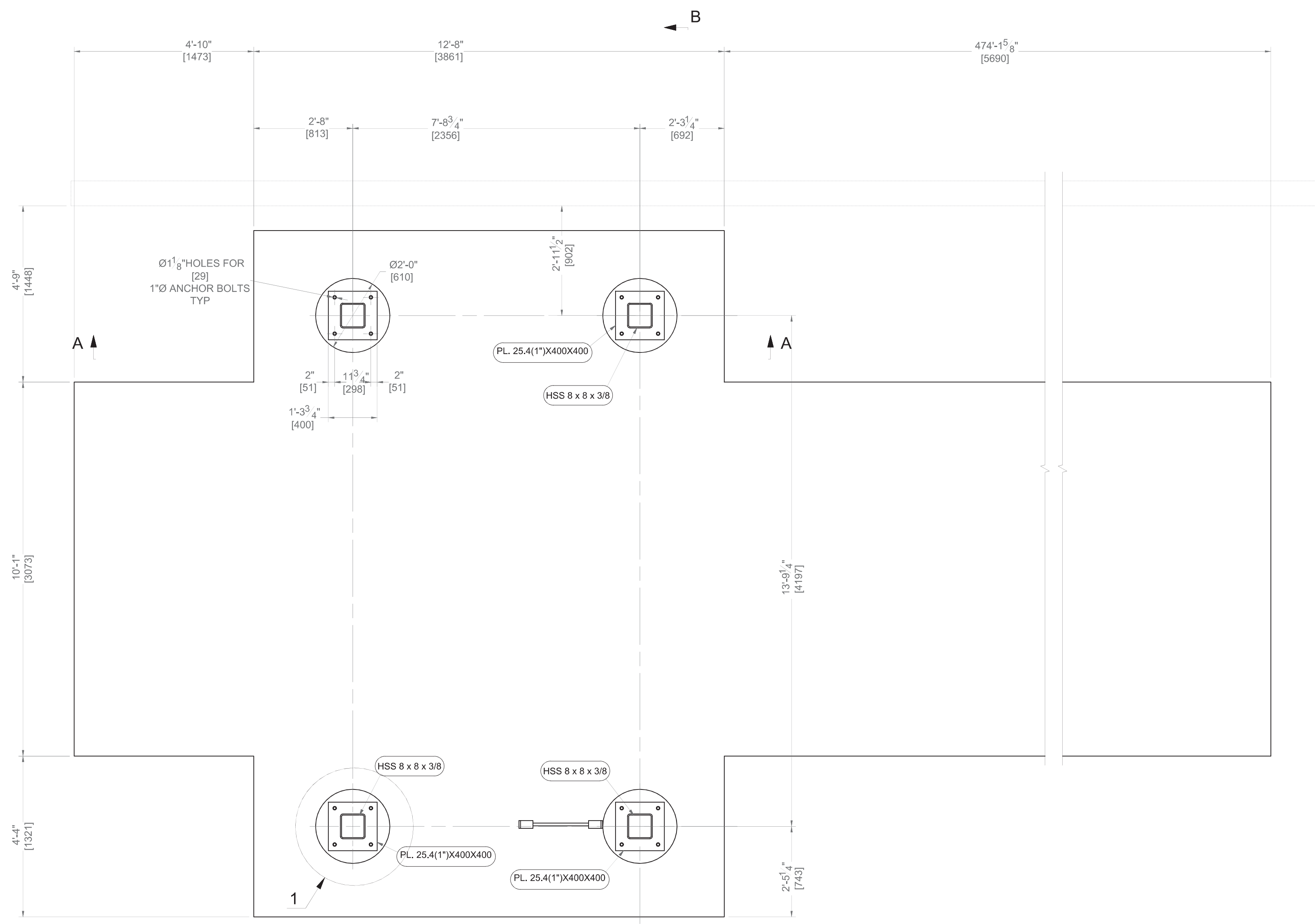
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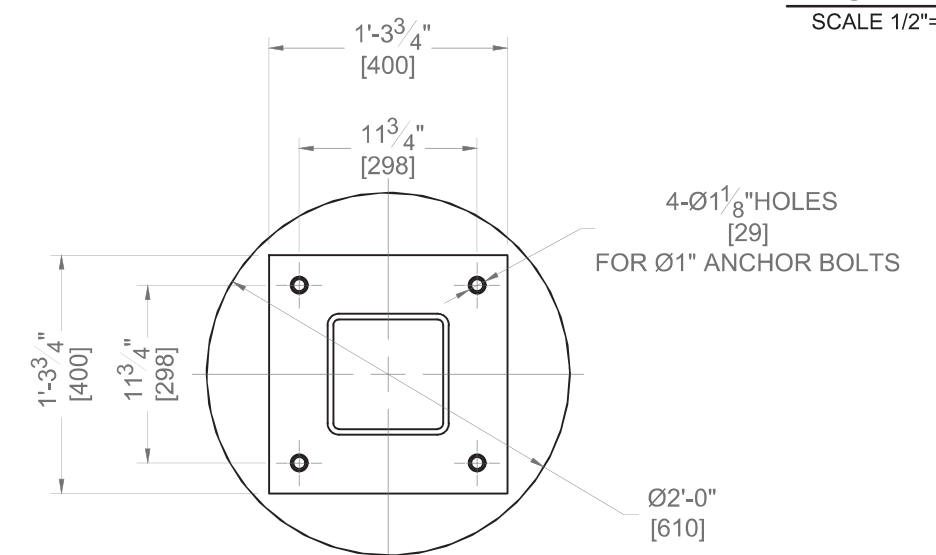
PROJECT:
**INTERIOR ALTERATION
 635 HOOD RD. MARKHAM, ON**

DRAWING:
**DEMOLITION GROUND FLOOR PLAN &
 PROPOSED GROUND FLOOR PLAN**

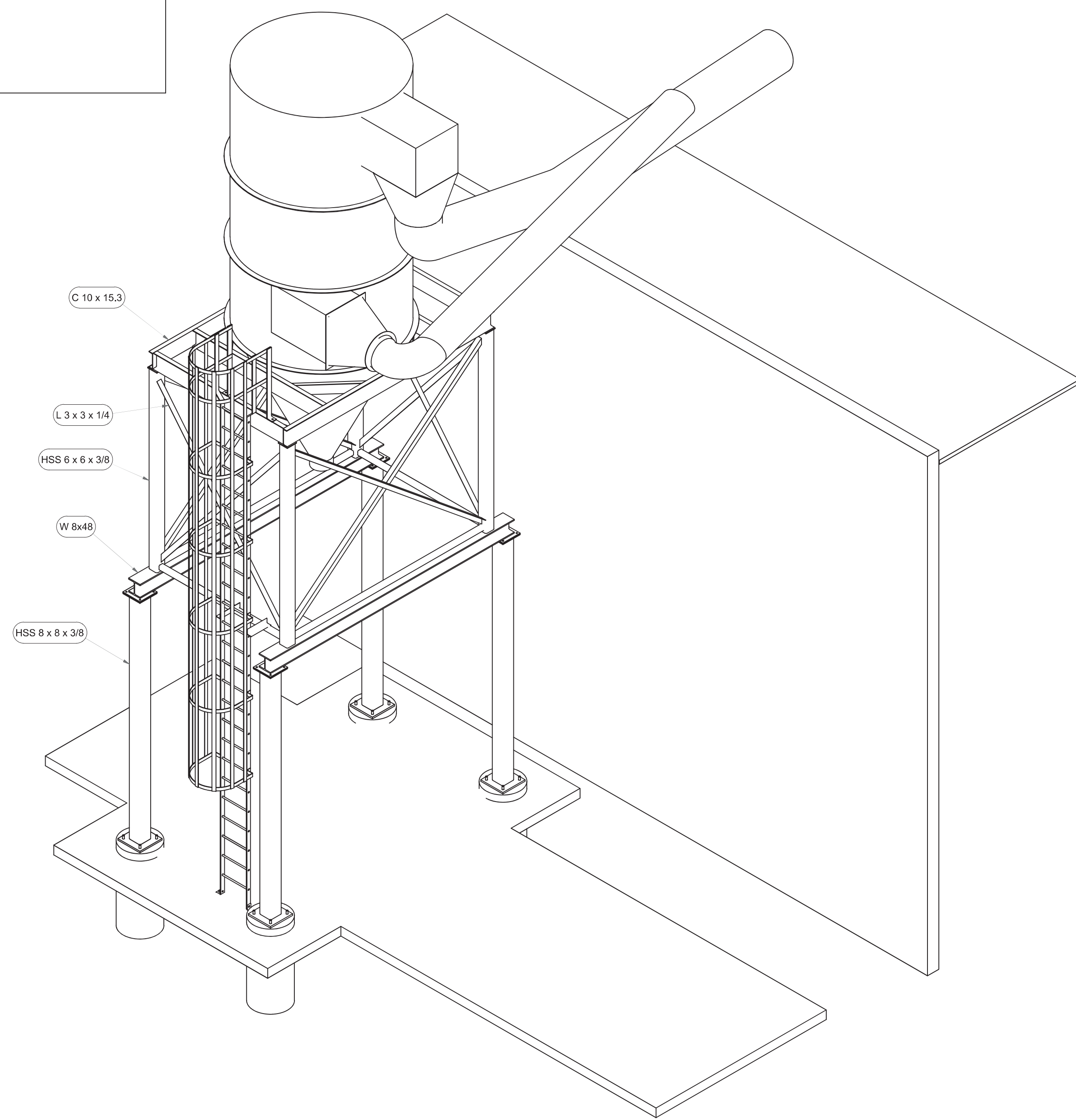
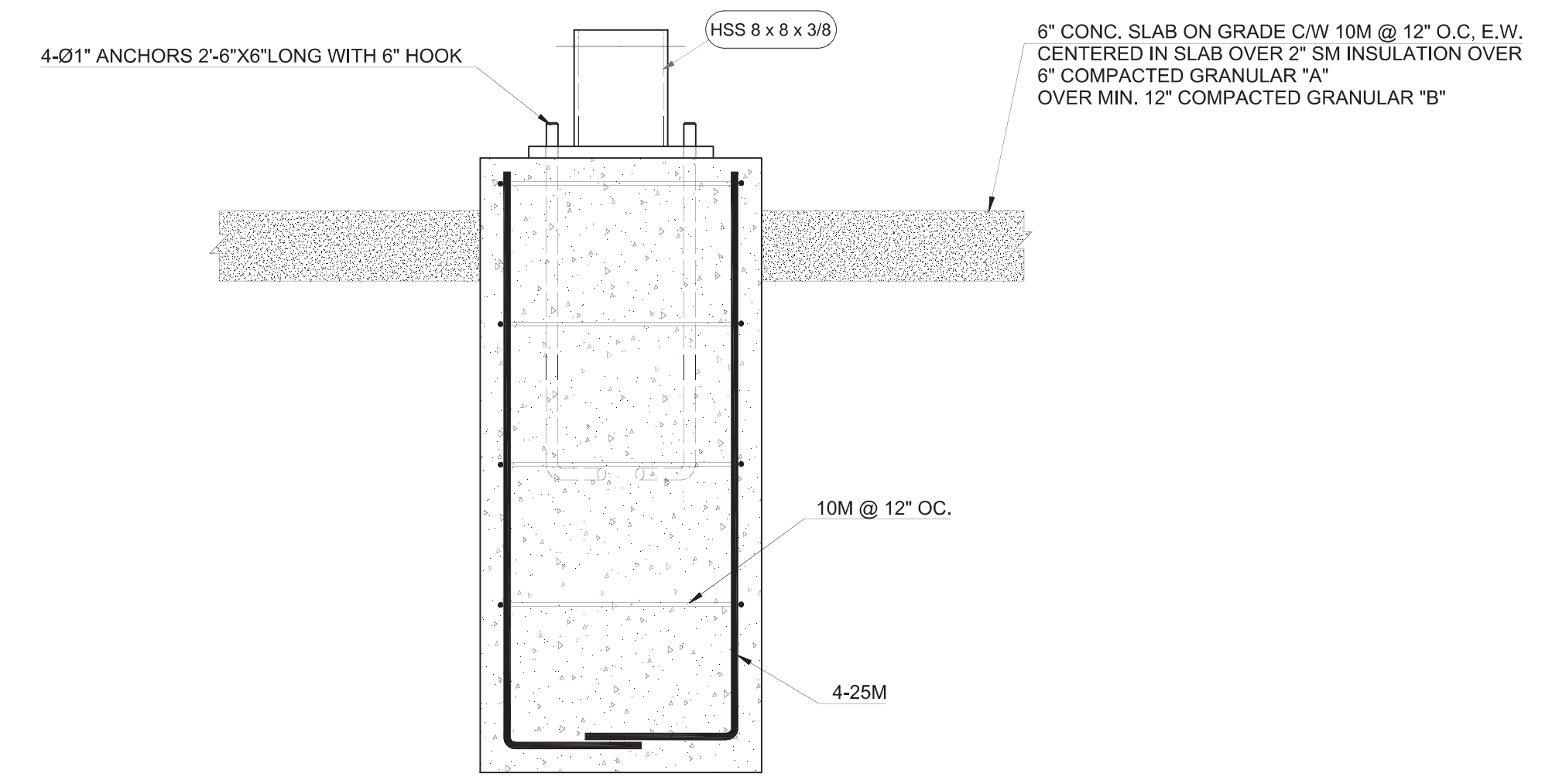
DATE: 18 JUN 2020 PROJECT NO: 80804
 SCALE: AS SHOWN DRAWING NO:
 DRAWN BY: ZW CHECKED BY: CW **A1.1**



BASE PLAN
 SCALE 1/2"=1'-0"



DETAIL 1(TYP.)
CONC. PIER
 SCALE 1"=1'-0"



NO.	DATE	ISSUED FOR	APPROVED BY
0	27/09/2019	REVIEW	

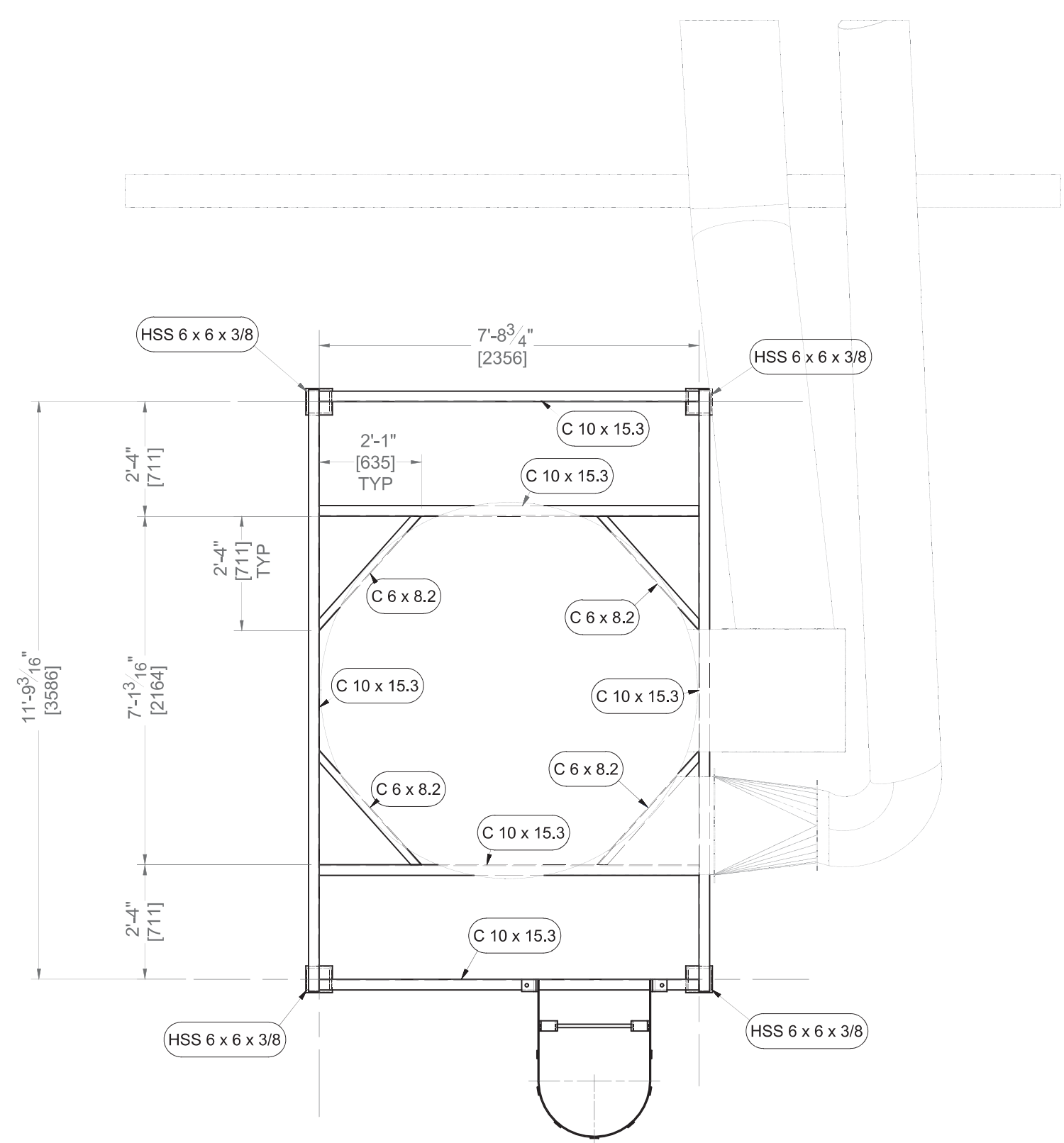
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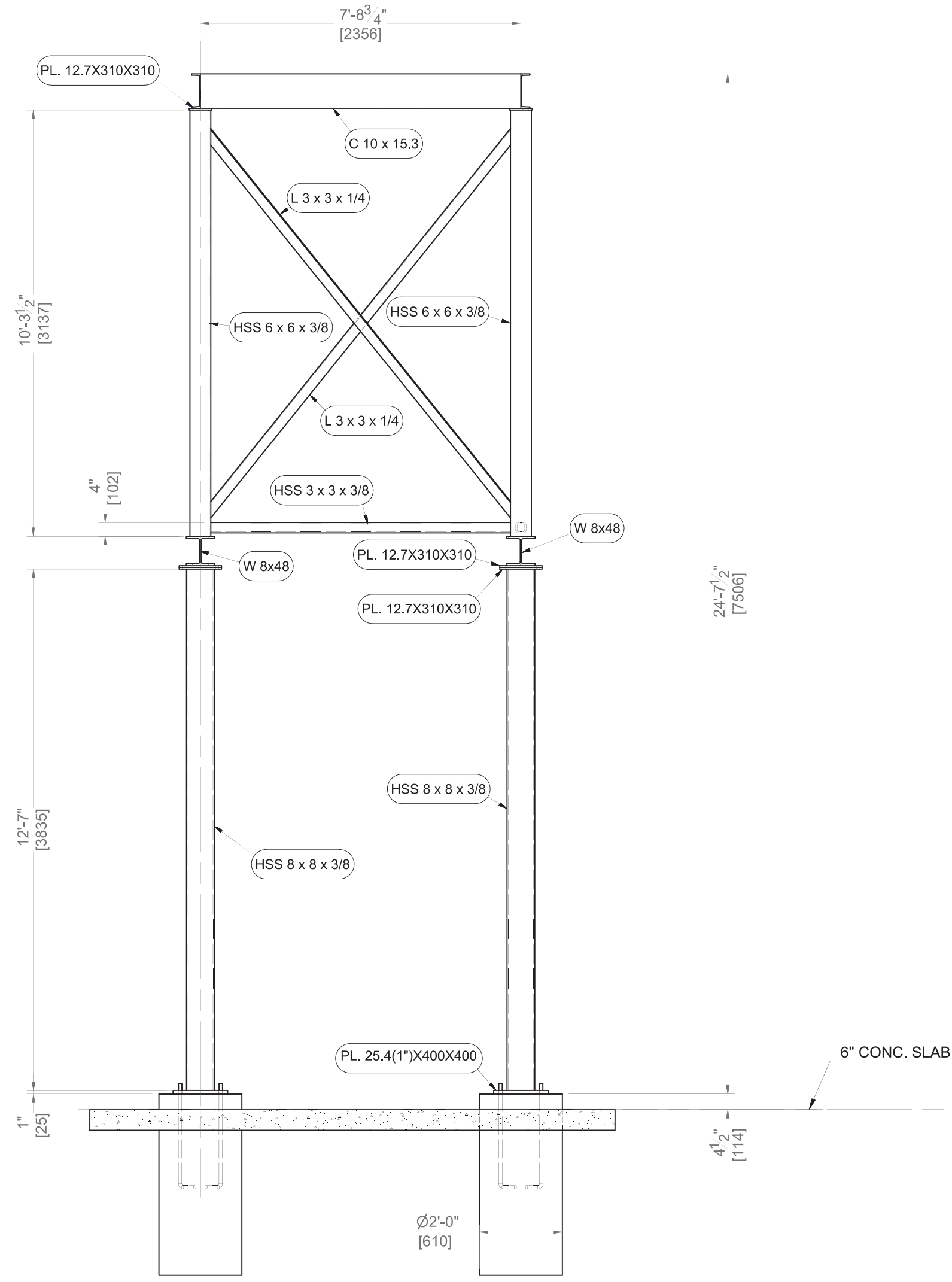
PROJECT: ELITE BINDERY
 635 HOOD ROAD

DRAWING: FRAME SUPPORT-1
 FOUNDATION PLAN

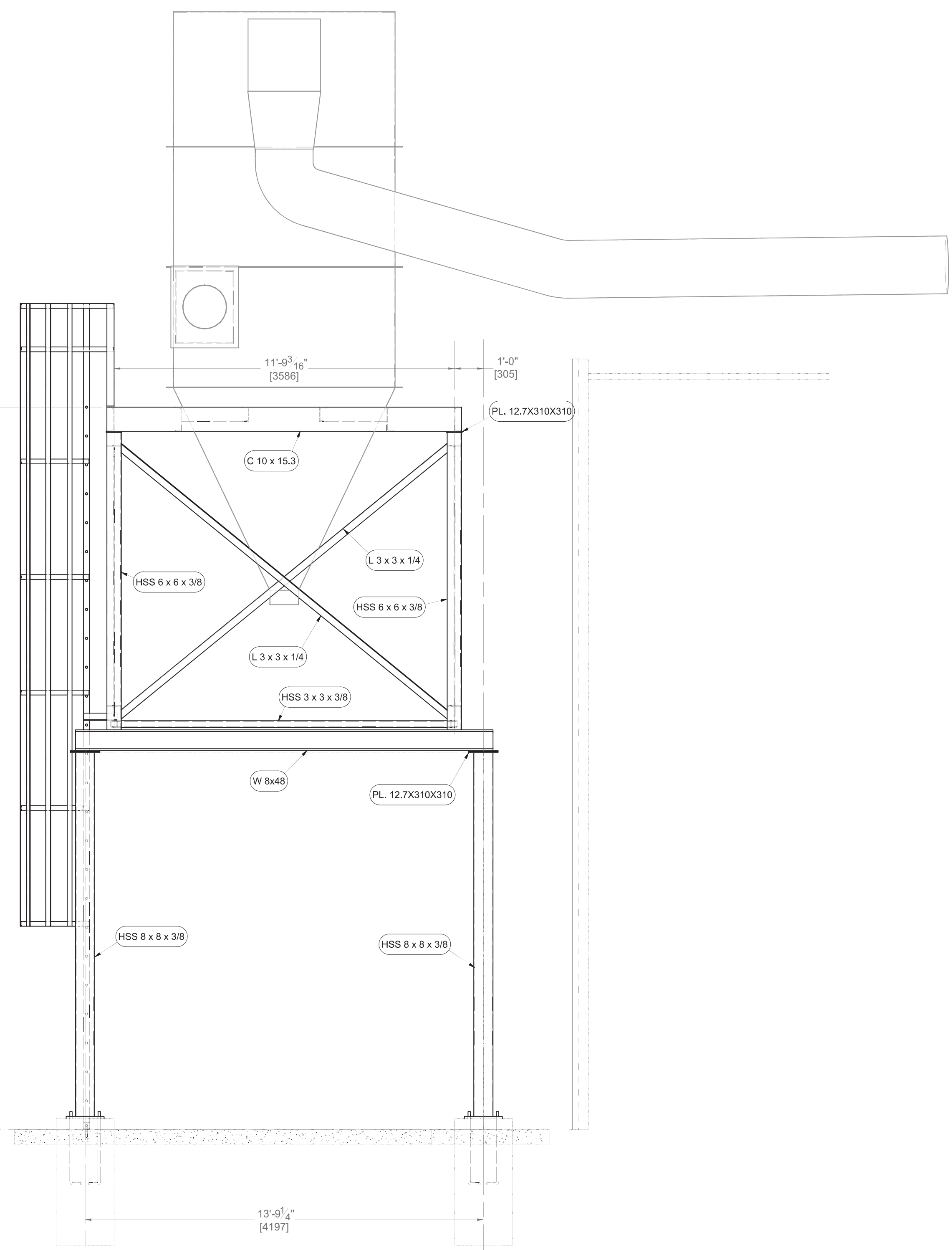
DATE: SEP.2019 **PROJECT NO:** 80803
SCALE: AS SHOWN **DRAWING NO:**
DRAWN BY: YG
CHECKED BY: HZ **S1.2**



TOP VIEW
SCALE 3/8"=1'-0"



SECTION A-A
SCALE 3/8"=1'-0"

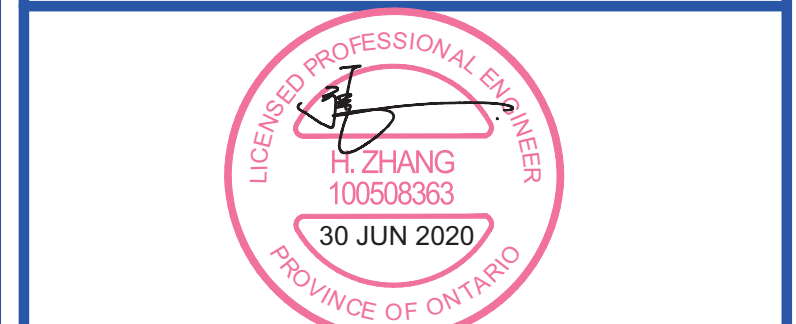


SECTION B-B
SCALE 3/8"=1'-0"

NO	DATE	ISSUED FOR	APPROVED BY
0	27/09/2019	REVIEW	

REVISIONS

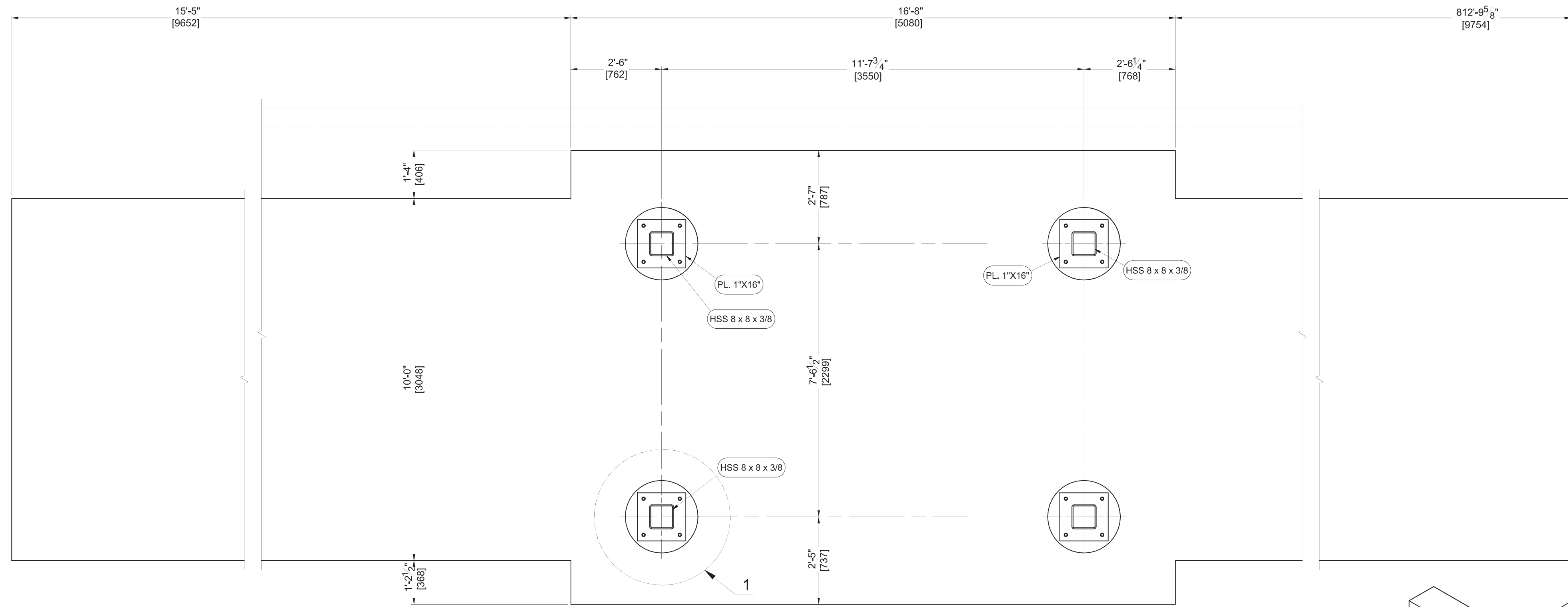
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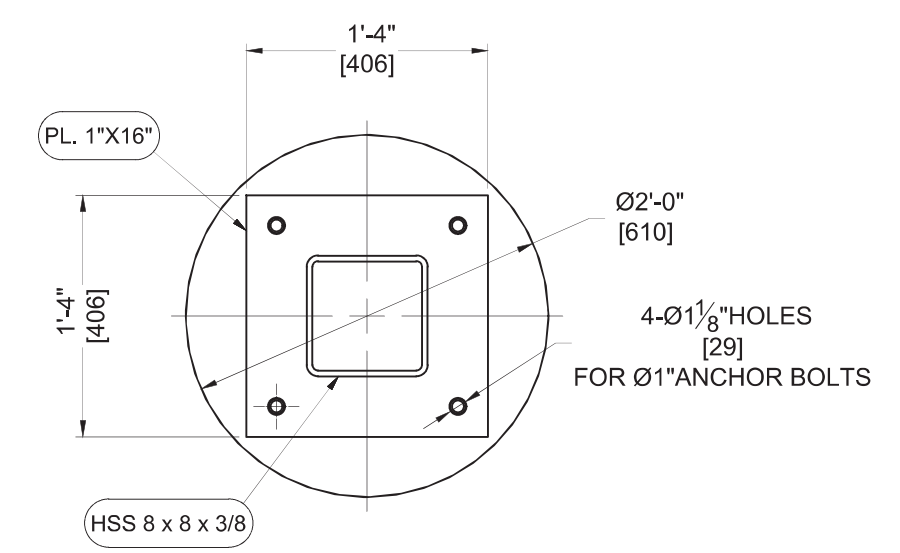
PROJECT: ELITE BINDERY
 635 HOOD ROAD

DRAWING: FRAME SUPPORT-1
 TOP VIEW AND SECTIONS

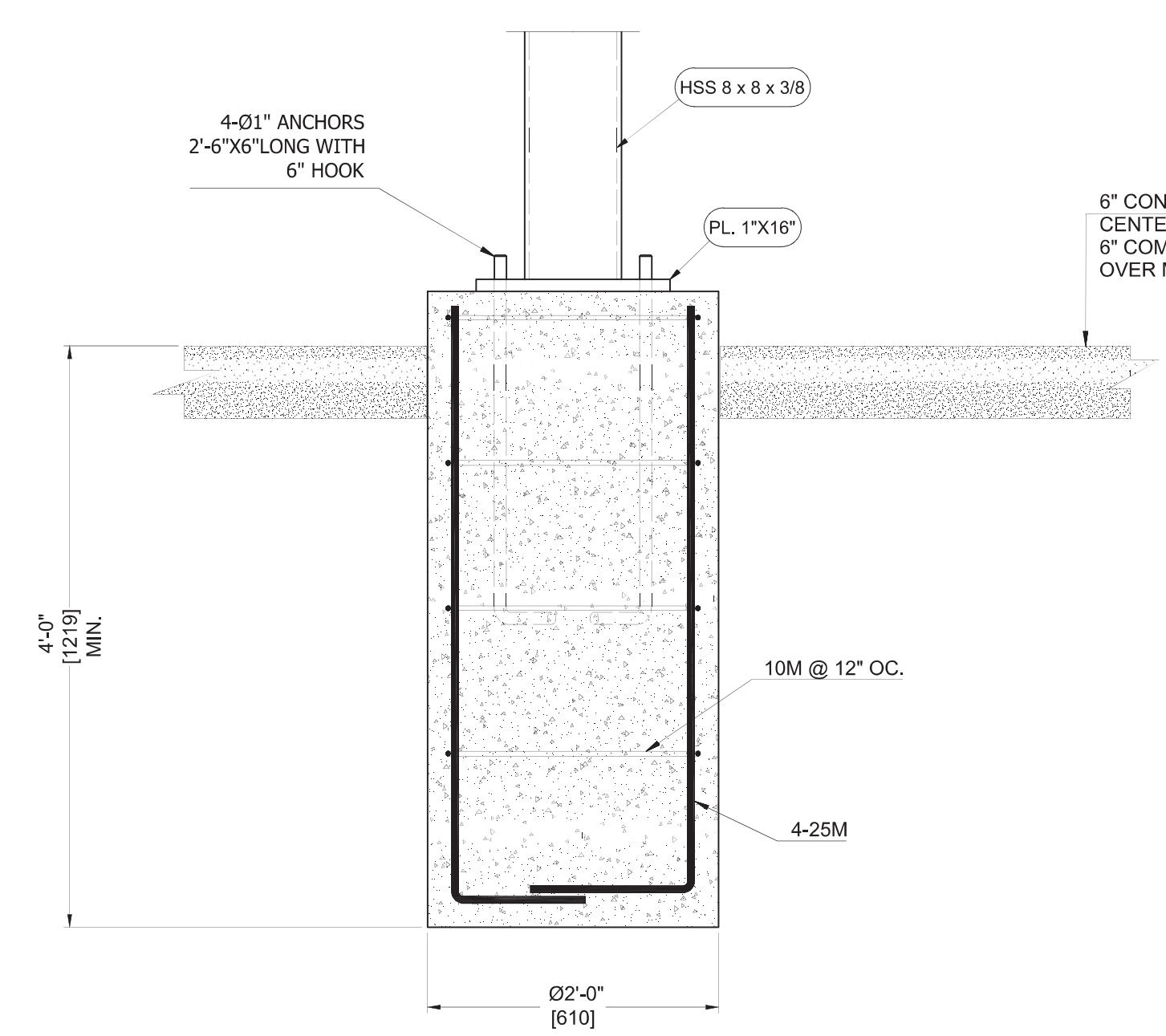
DATE: SEP.2019 **PROJECT NO.:** 80803
SCALE: AS SHOWN **DRAWING NO.:**
DRAWN BY: YG
CHECKED BY: HZ **S1.3**



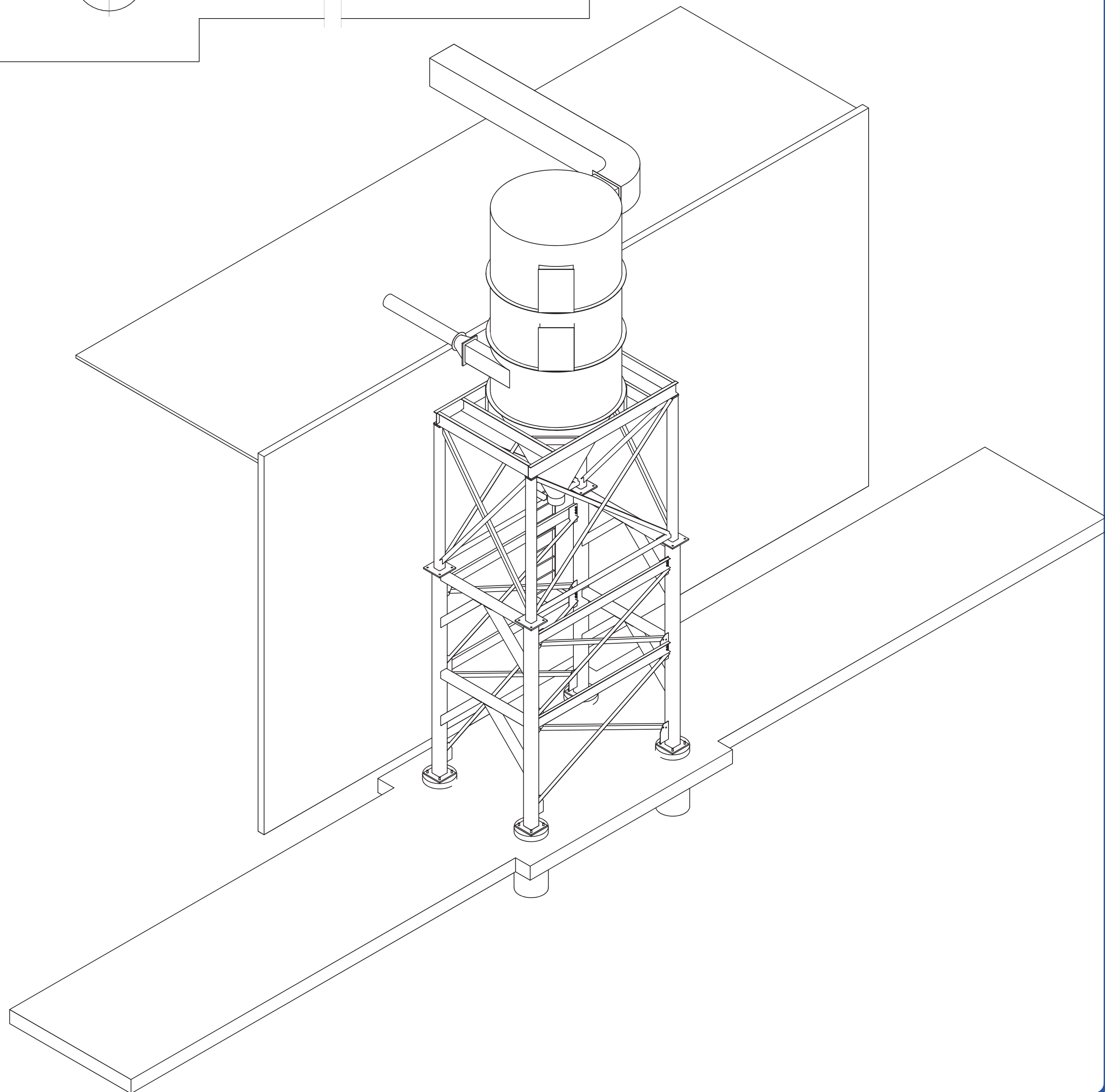
BASE PLAN
SECTION A-A
SCALE 1/2"=1'-0"



DETAIL 1(TYP.)
CONC. PIER
SCALE 1"=1'-0"



6" CONC. SLAB ON GRADE C/W 10M @ 12" O.C. E.W.
CENTERED IN SLAB OVER 2" SM INSULATION OVER
6" COMPACTED GRANULAR "A"
OVER MIN. 12" COMPACTED GRANULAR "B"

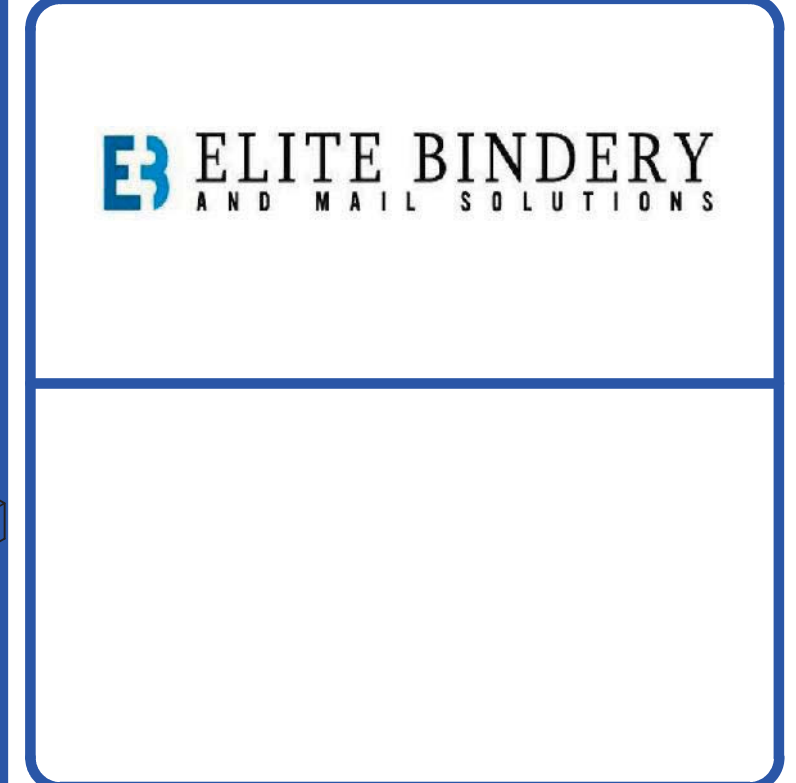


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0	27/09/2019	REVIEW	

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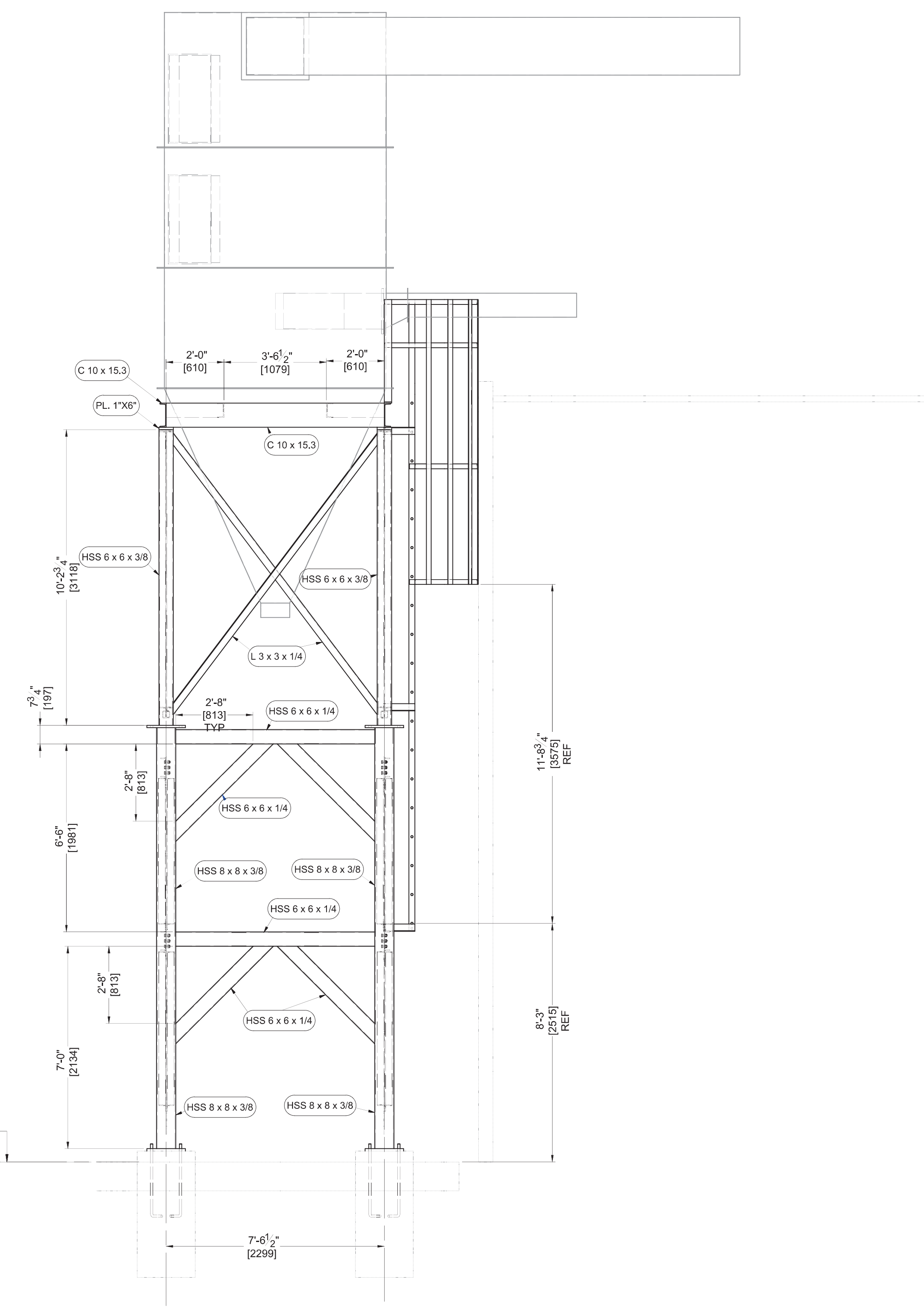
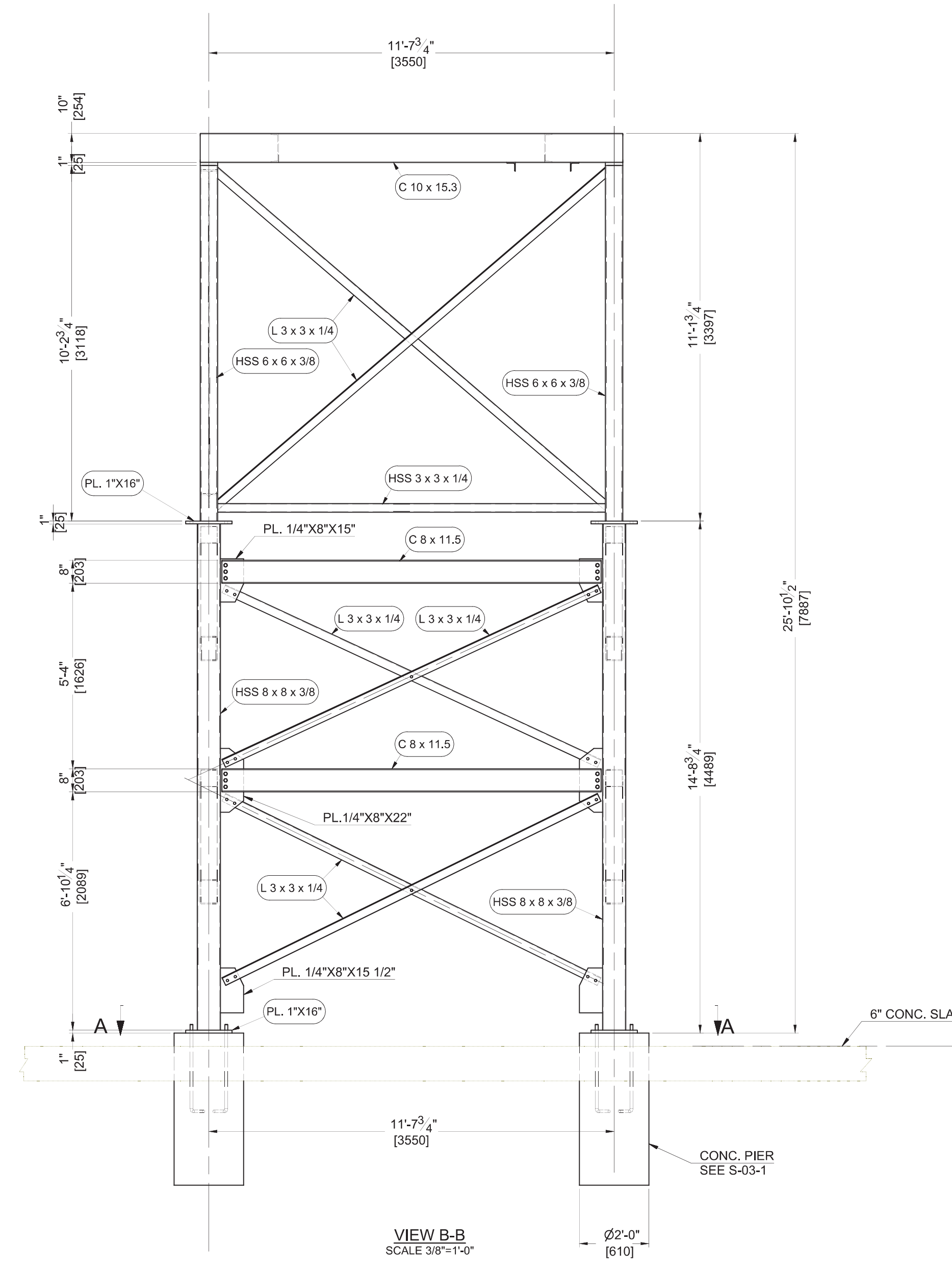
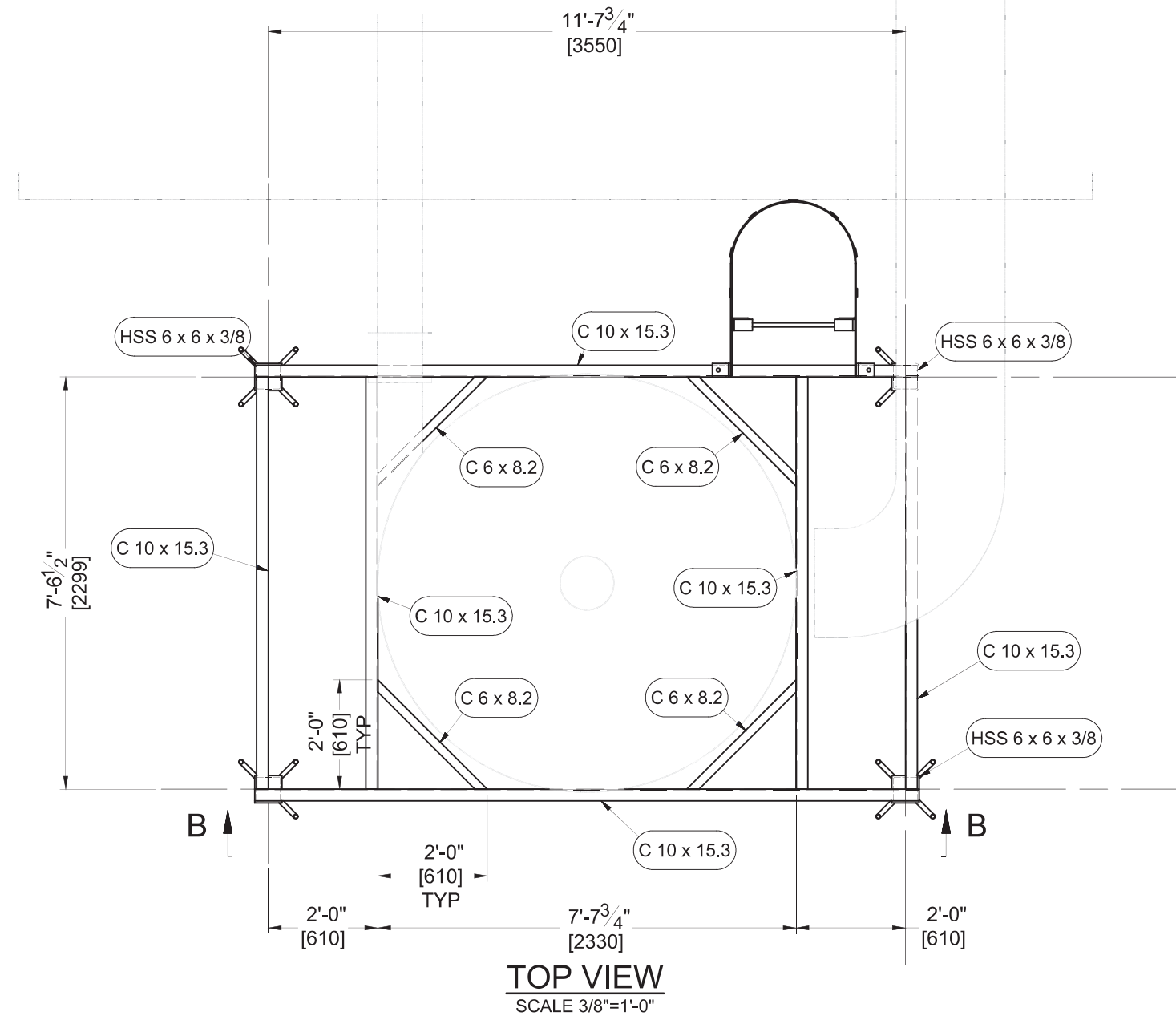
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 3760 14TH AVENUE, SUITE 302 TEL: (905) 707-0704
 MARKHAM, ONTARIO L3R 3T7 FAX: (905) 475-1605



PROJECT: ELITE BINDERY
 635 HOOD ROAD

DRAWING: FRAME SUPPORT-2
 BASE PLAN

DATE: SEP.2019	PROJECT NO: 80803
SCALE: AS SHOWN	DRAWING NO:
DRAWN BY: YG	S1.4
CHECKED BY: HZ	



NO.	DATE	ISSUED FOR	APPROVED BY
0	27/09/2019	REVIEW	

REVISIONS

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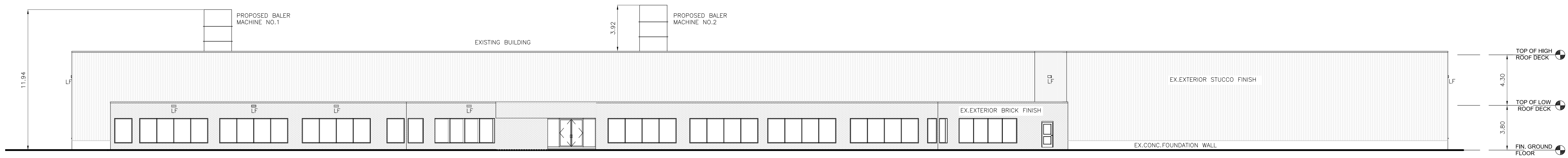
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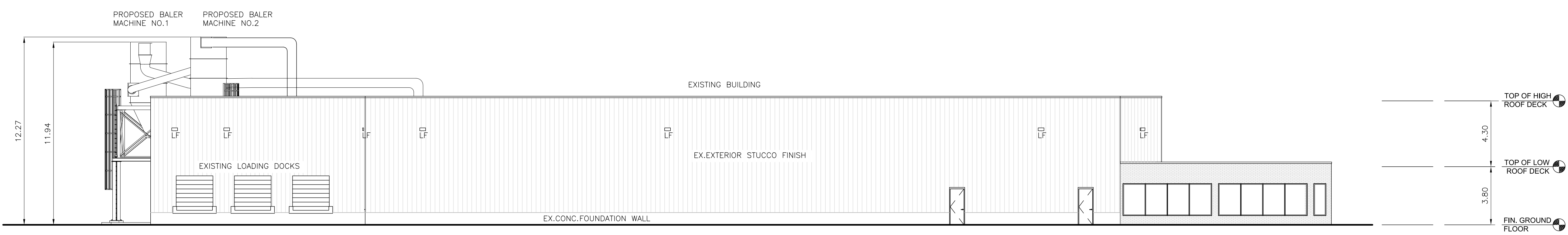
PROJECT: ELITE BINDERY
 635 HOOD ROAD

DRAWING: FRAME SUPPORT-2
 TOP VIEW AND ELEVATION

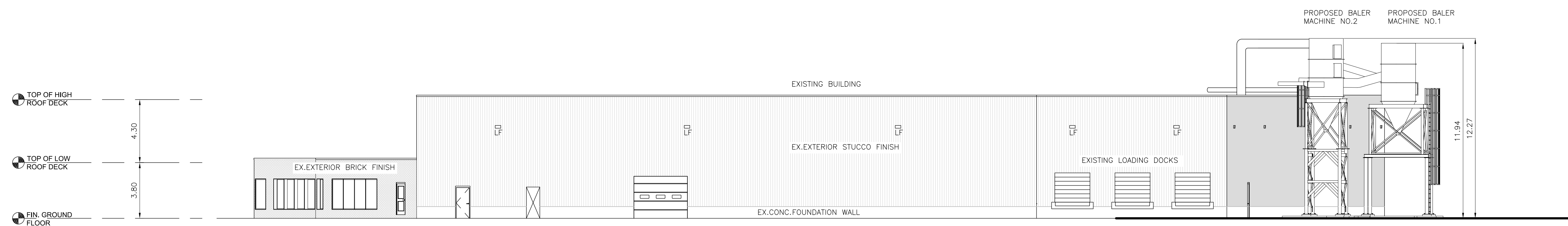
DATE: SEP.2019	PROJECT NO: 80803
SCALE: AS SHOWN	DRAWING NO:
DRAWN BY: YG	
CHECKED BY: HZ	S1.5



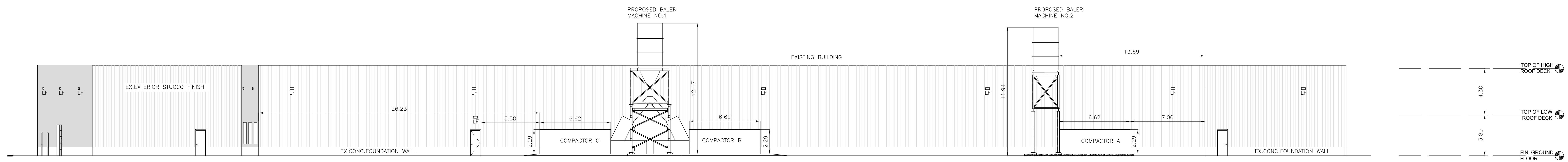
1 WEST ELEVATION
1:150



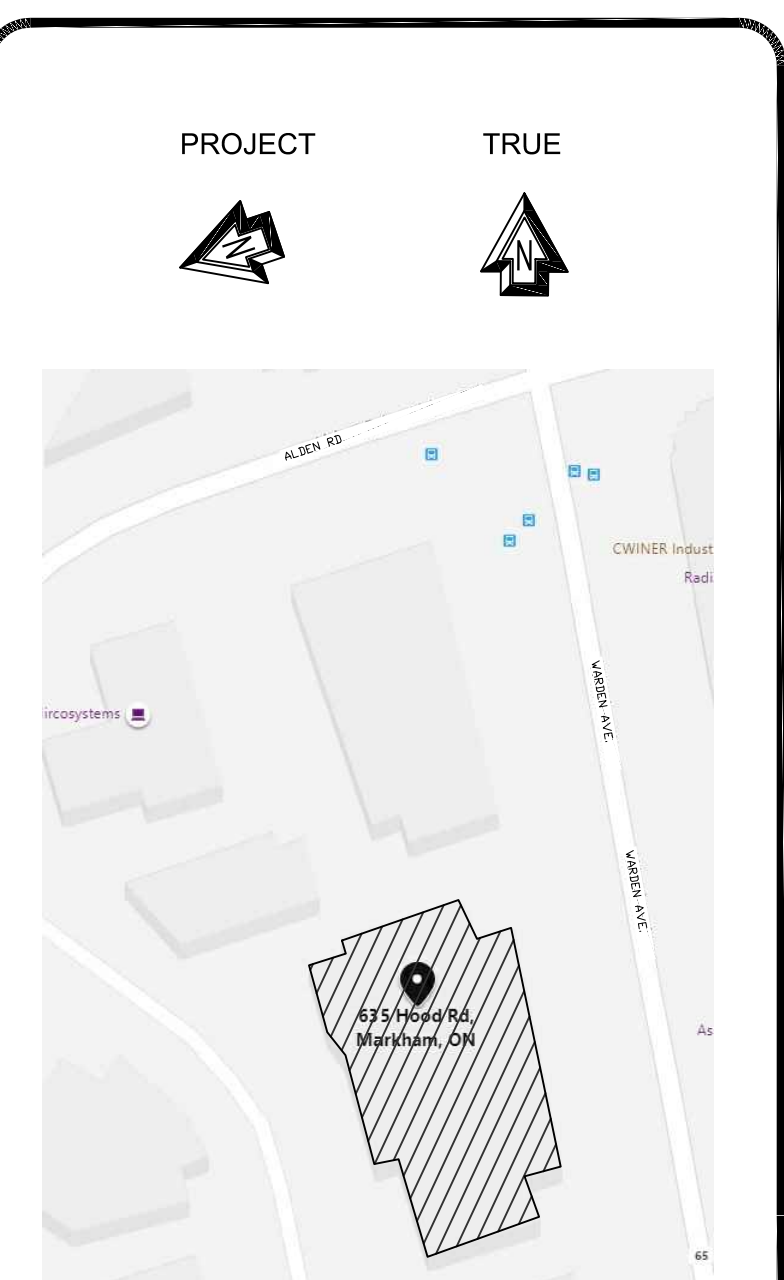
2 NORTH ELEVATION
1:150



3 SOUTH ELEVATION
1:150



4 EAST ELEVATION
1:150



KEY PLAN

NO	DATE	ISSUED FOR	APPROVED BY
1	13 JAN 2021	MINOR VARIANCE APPLICATION	CW
0	9 DEC 2020	ZONING REVIEW	CW

REVISIONS

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ELITE BINDERY
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C.W. WALLACE
90482290
12/09/2007
PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO

PROJECT:
BALER MACHINES
635 HOOD RD. MARKHAM, ON

DRAWING:
ELEVATIONS
PROPOSED BALER MACHINES

DATE: 09 DEC. 2020 PROJECT NO: **80804**
SCALE: AS SHOWN DRAWING NO:
DRAWN BY: ZW CHECKED BY: CW

A2.1

APPENDIX "C"
REGIONAL MUNICIPALITY OF YORK COMMENTS

Department Review Status Report

Project Name: 21.106155.000.00.MNV

Workflow Started: 02/09/2021 3:49 PM

Report Generated: 04/01/2021 03:03 PM

Cycle	Department	Reviewer	Reviewer Comments	Applicant Comments
1	_EXT_ York Region	York Region Reviewer	The Regional Municipality of York has completed its review of minor variance 21 106155 000 00 MNV and has no comment. [REDACTED]	