

Memorandum to the City of Markham Committee of Adjustment

March 29, 2021

File: A/018/21
Address: 41 Sir Bodwin Place – Markham, ON
Applicant: Kalman Szilagyi
Agent: N/A
Hearing Date: April 7, 2021

The following comments are provided on behalf of the East Team.

The applicant is requesting relief from the following “Residential One (R1)” zone requirements of By-law 1229, as amended, as they relate to a proposed rear addition and deck. The variances requested are to permit:

- a) **Infill By-law 99-90, Section 1.2 (vi):**
a maximum floor area ratio of 50.0%, whereas the By-law permits a maximum floor area ratio of 45.0%;
- b) **Infill By-law 99-90, Section 1.2 (iii):**
a maximum building depth of 17.44 m (57.22 ft), whereas the By-law permits a maximum building depth of 16.80 m (55.12 ft); and
- c) **Deck By-law 142-95, Section 2.2 (b)(i):**
a maximum deck projection of 5.18 m (16.99 ft) from the point on the dwelling closest to the rear lot line, whereas the By-law permits a maximum deck projection of 3.0 m (9.84 ft) from the point on the dwelling closest to the rear lot line.

BACKGROUND

Property Description

The 907.40 m² (9,767.17 ft²) subject property is located on the northwest side of Sir Bodwin Place, north of Parkway Avenue, east of Paramount Road, south of Ramona Boulevard, and west of Wooten Way North. There is an existing two-storey split level detached dwelling on the property with an attached garage. Vehicular access and parking is provided via a reverse slope driveway (i.e. a driveway that slopes downwards towards the garage).

The property is located within an established residential neighbourhood which contains a mix of one and two-storey detached dwellings. There are a few examples of infill redevelopment along the street, and the surrounding area is undergoing a transition with newer dwellings being developed as infill developments. Mature vegetation exists across the property, including one city tree located within the municipal boulevard which is currently protected by tree hoarding.

Proposal

The applicant is proposing to use the existing foundation and construct an addition to the rear of the house. The applicant is also proposing to remove the subfloor, framing, and roof structure of the existing dwelling, and to renovate the interior space. These changes would result in a developed two-storey split-level dwelling (including the basement) with a new gross floor area of 378.50 m² (4,072.0 ft²) as shown in the plans (Appendix “B”).

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines development criteria for the “Residential Low Rise” designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for the retention of existing trees and vegetation, and the width of proposed garages and driveways within a residential neighbourhood.

Zoning By-Law 1229

The subject property is zoned “Residential One (R1)” under By-law 1229, as amended, which permits one singled detached dwelling per lot.

Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of the Infill By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, floor area ratio, height, and number of storeys. The proposed development does not comply with the Infill By-law requirements with respect to maximum floor area ratio, and maximum building depth.

Deck By-law 142-95

The subject property is also subject to the Deck By-law 142-95. The proposed development does not comply with the Deck By-law with respect to the maximum deck projection from the point of the dwelling closest to the rear lot line.

Zoning Preliminary Review (ZPR) Undertaken

City records indicate that the applicant was issued an incomplete ZPR on January 28, 2021 which confirms some of the variances required for the proposed development. Prior to the scheduling of a Committee of Adjustment Hearing, the applicant revised their proposal to better align with the By-law requirements. The applicant submitted revised drawings for this variance application on March 22, 2021, and is requesting the variances noted at the beginning of this report. The applicant initially requested the following variances, to permit:

- a) A minimum rear yard setback of 2.34 m (7.68 ft) for a deck, whereas the By-law requires a minimum rear yard setback of 3.0 m (9.84 ft) for a deck in excess of 1.0 m (3.28 ft) in height;
- b) A maximum floor area ratio of 60.0%, whereas the By-law permits a maximum floor area ratio of 45.0%’
- c) a maximum building depth of 17.44 m (57.22 ft), whereas the By-law permits a maximum building depth of 16.80 m (55.12 ft); and
- d) a maximum deck projection of 5.18 m (16.99 ft) from the point on the dwelling closest to the rear lot line, whereas the By-law permits a maximum

deck projection of 3.0 m (9.84 ft) from the point on the dwelling closest to the rear lot line.

The applicant has not completed a new ZPR for the revised drawings. Consequently, it is the applicant's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment ("the Committee"):

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Floor Area Ratio

The applicant is requesting a maximum floor area ratio of 50.0%, whereas the By-law permits a maximum floor area ratio of 45.0%. The variance would permit the construction of a two-storey detached dwelling with a floor area of 380.14 m² (4,091.79 ft²), whereas the By-law permits a dwelling with a maximum floor area of 342.13 m² (3,682.66 ft²). This is an increase of 38.01 m² (409.13 ft²).

Staff consider the proposed development to be generally consistent in scale with the existing housing stock, and are of the opinion that the requested variance would not adversely impact neighbouring developments. Accordingly, staff have no objections.

Increase in Maximum Building Depth

The applicant is requesting a maximum building depth of 17.44 m (57.22 ft), whereas the By-law permits a maximum building depth of 16.80 m (55.12 ft). This is an increase of approximately 0.64 m (2.10 ft).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing through the point on the dwelling which is the nearest and the other through the point on the dwelling which is the farthest from the front lot line.

Given the configuration of the lot, building depth is measured on an angle through the proposed building which has a total length of 16.61 m (54.49 ft) as shown in the floor plans (Appendix "B"). Staff are of the opinion that the requested variance is minor in nature, and have no objections.

Increase in Maximum Deck Projection

The applicant is requesting a maximum deck projection of 5.18 m (16.99 ft) from the point on the dwelling closest to the rear lot line, whereas the By-law permits a maximum deck projection of 3.0 m (9.84 ft) from the point on the dwelling closest to the rear lot line for a

deck in excess of 1.0 m (3.28 ft) in height above the lowest ground surface at all points around the perimeter of the platform. This is an increase of 2.18 m (7.15 ft).

The proposed deck complies with the minimum rear and side yard setback requirements for decks. Staff also note the subject property is an irregular pie shaped lot (See Appendix "C"), which minimizes any potential overlook or privacy impact from the proposed deck projecting 2.18 m (7.15 ft) further from the dwelling than permitted by the by-law. Staff therefore consider the variance to be appropriate for the site and have no objections.

Tree Protection & Compensation

The applicant submitted an arborist report and tree preservation plan dated November 22, 2020 which confirms a total of nine trees that were assessed:

- six of which are located on the subject property;
- one of which is located on the neighbouring property at 39 Sir Bodwin Place;
- one of which is located along the mutual lot line between that of the subject property and 39 Sir Bodwin Place; and
- one of which is located on City property within the municipal boulevard.

The applicant is proposing to remove two trees as a result of the development. One of the trees is a Norway Maple located on the mutual lot line shared between the subject property and 39 Sir Bodwin Place, assessed in poor condition. The other is a Tamarack tree which is located in the rear yard of the subject property, assessed in good condition. The applicant is proposing to protect all other trees inventoried, including the city owned tree. All other trees located on neighbouring properties would not be impacted.

Staff recommend that the tree related conditions detailed in Appendix "A" are adopted by the Committee in the event of approval to ensure that the appropriate protection, and compensation is provided by the applicant.

PUBLIC INPUT SUMMARY

No written submissions were received as of March 29, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act, R.S.O. 1990, c. P.13, as amended*, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

APPENDICES

Appendix "A" – Conditions of Approval

Appendix "B" – Plans
Appendix "C" – Parcel Fabric: Abutting Properties

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:




Stephen Corr, Senior Planner, East District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/018/21

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the batch stamped plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
5. That tree replacements be provided and, or tree replacement fees be paid to the City, if required, in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

APPENDIX "B"
PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/018/21

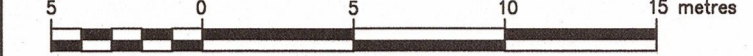
PLAN

PREPARED FOR
BUILDING PERMIT APPLICATION

File: 21-108634-000.00.MNV

Date: 04/01/21

SCALE 1 : 250



METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION : THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK.

NOTES:

1. THE POSITION OF ALL POLE LINES, CONDUITS, WATER MAINS, SEWERS AND OTHER UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THIS PLAN, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

2. ELEVATIONS SHOWN HEREON ARE RELATED TO CANADIAN GEODETIC DATUM AND ARE DERIVED FROM CITY OF MARKHAM BENCHMARK No. M-39-007, HAVING A PUBLISHED ELEVATION OF 193.905 METRES.

□ CB	DENOTES	CATCHBASIN
* GM	DENOTES	GAS METER
○ SAN MH	DENOTES	SANITARY MANHOLE
○ STM MH	DENOTES	STORM MANHOLE
• LS	DENOTES	LIGHT STANDARD
▣ CPED	DENOTES	CABLE TV PEDESTAL
• SV	DENOTES	SPRINKLER VALVE
• WV	DENOTES	WATER VALVE
PS	DENOTES	PAVING STONE
BOS	DENOTES	BOTTOM OF SLOPE
TOS	DENOTES	TOP OF SLOPE
—SAN—	DENOTES	SANITARY SEWER LINE
—STM—	DENOTES	STORM SEWER LINE
—W—	DENOTES	WATER LINE

NOTE 1:

EXISTING FOUNDATION TO BE RETAINED.
EXISTING SANITARY AND WATER SERVICE HOOK UPS ARE TO REMAIN

NOTE 2:

LOT AREA = 907.4 sq m
HOUSE AREA = 207.0 sq m
COVERAGE = 22.8%
T.F. TO U.S.F = 3.10m (122")
FOUNDATION HEIGHT = 2.90m (9'6")

THIS PLAN WAS PREPARED FOR M&K CONSTRUCTION AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

Revised: General Revisions - Mar 18, 2021
Redesign Addition - Nov 5, 2020
General Revisions - Nov 4, 2020
Redesign Of House - Oct 27, 2020
Redesign Of House - Mar 24, 2020

Kerry F. Hillis
KERRY F. HILLIS
ONTARIO LAND SURVEYOR

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Urban and Rural Planners
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WWW.BSRD.COM

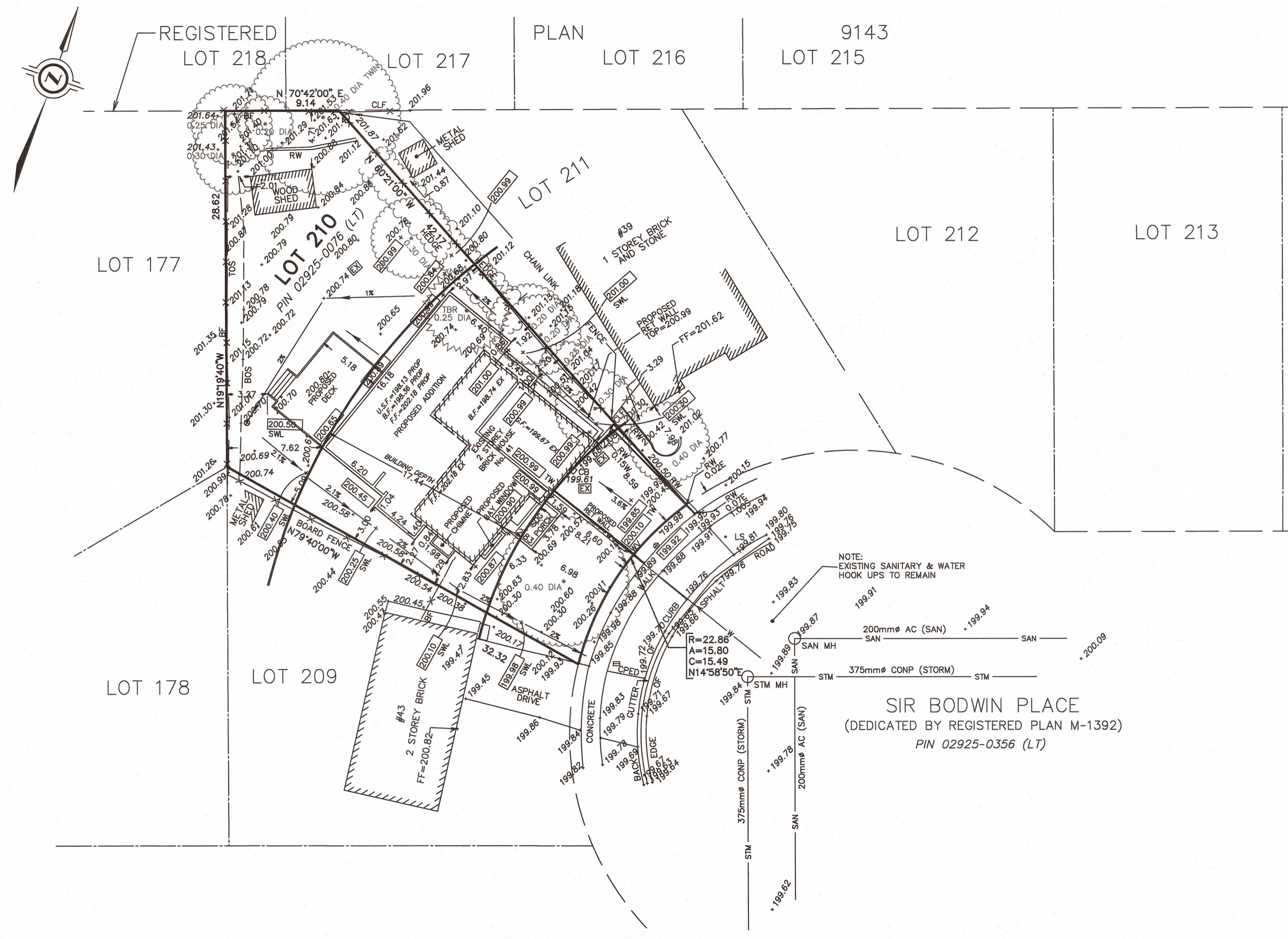
257 Woodlawn Road West, # 101
Guelph, Ontario N1H 8J1

FAX: (519) 822-1220
TEL: (519) 822-4031

MARCH 18, 2021

RPA

PROJECT 20-14-123-00



SIR BODWIN PLACE
(DEDICATED BY REGISTERED PLAN M-1392)
PIN 02925-0356 (LT)

NOTE:
EXISTING SANITARY & WATER
HOOK UPS TO REMAIN

SB-12 ENERGY EFFICIENCY DESIGN MATRIX

COMPLIANCE METHOD

PACKAGE A1

SPACE HEATING FUEL

GAS OIL
 ELECTRIC PROPANE
 EARTH SOLID FUEL

Table 3.1.1.2.A (S)
ZONE 1 - Compliance Packages for Space Heating Equipment with AFUE ≥ 92%
Forming Part of Sentence 3.1.1.2.(1)

Component	Thermal Values ⁽¹⁾	Compliance Package					
		A 1	A 2	A 3	A 4	A 5	A 6
Ceiling with Attic Space	Min. Nominal RSI ⁽²⁾	10.50	10.58	8.90	10.56	8.90	10.56
	Max. U ⁽³⁾	0.096	0.096	0.115	0.096	0.115	0.096
	Min. Effective RSI ⁽²⁾	10.43	10.43	8.67	10.43	8.67	10.43
Ceiling Without Attic Space	Min. Nominal RSI ⁽²⁾	5.46	5.46	5.46	5.46	5.46	5.46
	Max. U ⁽³⁾	0.205	0.205	0.205	0.205	0.205	0.205
	Min. Effective RSI ⁽²⁾	4.87	4.87	4.87	4.87	4.87	4.87
Exposed Floor	Min. Nominal RSI ⁽²⁾	5.46	5.46	6.16	5.46	6.16	5.46
	Max. U ⁽³⁾	0.190	0.190	0.177	0.190	0.177	0.190
	Min. Effective RSI ⁽²⁾	5.25	5.25	5.64	5.25	5.64	5.25
Walls Above Grade	Min. Nominal RSI ⁽²⁾	3.87	3.34 + 0.88 ci	2.46 + 1.32 ci	3.87 + 0.88 ci	3.34 + 0.88 ci	3.87 + 0.88 ci
	Max. U ⁽³⁾	0.333	0.280	0.395	0.280	0.395	0.280
	Min. Effective RSI ⁽²⁾	3.00	3.50	3.28	3.77	3.50	3.77
Basement Walls ⁽⁴⁾	Min. Nominal RSI ⁽²⁾	3.52 ci	2.11 + 1.76 ci	3.52 ci	3.52 ci	2.11 + 0.88 ci	3.52 ci
	Max. U ⁽³⁾	0.269	0.272	0.269	0.269	0.365	0.269
	Min. Effective RSI ⁽²⁾	3.72	3.67	3.72	3.72	2.81	3.72
Below Grade Slab Entire Surface > 600 mm Below Grade	Min. Nominal RSI ⁽²⁾	-	-	-	-	-	-
	Max. U ⁽³⁾	-	-	-	-	-	-
	Min. Effective RSI ⁽²⁾	-	-	-	-	-	-
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal RSI ⁽²⁾	1.76	1.76	1.76	1.76	1.76	1.76
	Max. U ⁽³⁾	0.510	0.510	0.510	0.510	0.510	0.510
	Min. Effective RSI ⁽²⁾	1.96	1.96	1.96	1.96	1.96	1.96
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal RSI ⁽²⁾	1.76	1.76	1.76	1.76	1.76	1.76
	Max. U ⁽³⁾	1.6	1.6	1.4	1.6	1.6	1.6
	Energy Rating	25	25	29	25	25	25
Space Heating Equipment	Min. AFUE	90%	90%	94%	90%	94%	92%
	Min. SRE	75%	75%	81%	75%	70%	69%
	Min. EF	0.8	0.7	0.67	0.67	0.8	0.8
Column 1	2	3	4	5	6	7	8

SITE STATISTICS

Zoning:	EXISTING		PROPOSED	
	METRIC	IMPERIAL	METRIC	IMPERIAL
1.0 LOT AREA (Table Land Area)	908	9769	908	9769
Net Lot Area=6600 +1/2 diff =761m / 8185 sf	760.7	8185	760.7	8185
2.0 LOT FRONTAGE	15.8	51.8	15.8	51.8
3.0 GROSS FLR. AREAS				
Sub Grade Garage (in GFA)	37.1	399	44.0	473
Existing Basement (in GFA)	80.9	870	84.3	907
New Cellar (Not in GFA)	0	0	121.9	1312
First Floor (in GFA)	124.7	1342	250.2	2692
GFA	242.7	2611	378.4	4072
	31.9%		50%	
4.0 SETBACKS				
Front (East)	8.21	26.9	8.21	26.9
Side (North)	2.08	6.8	1.92	6.3
Rear (West)	16.34	53.60	7.62	25.0
Side (South)	2.83	9.28	2.27	7.5
5.0 BUILDING HEIGHT				
Crown of Road - Top of Roof	UNKNOWN		8.30	27.23
6.0 LOT COVERAGE	124.7	1342	250.2	2692
	16.4%		32.9%	

Firm Name: CIRCA SEVEN DESIGN
Firm BCIN: 43074
Qualification: House

28 Yorkleigh Circle,
Stouffville, Ontario, L4A 0Z5

Name of Project: PROPOSED DETACHED DWELLING
Location: LOT 210, PLAN M-1392 PIN. 029265-0356 (LT)

Phone : 905 640-1279 Cell : 416 525-2277
Email : circaseven@rogers.com

Item	Ontario's 2006 Building Code Data Matrix Part 3 or 9		OBC Reference								
	References are to Division B unless noted [A] for Division A or [C] for Division C										
1	Project Description:	<input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4	<input type="checkbox"/> Part 3 1.1.2. [A]	<input checked="" type="checkbox"/> Part 9 1.1.2. [A] & 9.10.1.3						
2	Major Occupancy(s)	GROUP C - SINGLE FAMILY DWELLING		3.1.2.1.(1)	9.10.2						
3	Building Area (m ²)	Existing 124.7 m ² New 125.6 m ² Total 250.3 m ²		1.4.1.2. [A]	1.4.1.2. [A]						
4	Gross Area	Existing 243 m ² New 136 m ² Total 379 m ²		1.4.1.2. [A]	1.4.1.2. [A]						
5	Number of Storeys	Above grade 1 Below grade 1		1.4.1.2. [A] & 3.2.1.1	1.4.1.2[A] & 9.10.4						
6	Number of Streets/Fire Fighter Access	ONE		3.2.2.10. & 3.2.5.	9.10.20.						
7	Building Classification	C		3.2.2.20.-83	9.10.2.						
8	Sprinkler System Proposed	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input checked="" type="checkbox"/> not required	334.5	3.2.2.20.-83 3.2.1.5. 3.2.2.17. INDEX	9.10.8.2. INDEX						
9	Standpipe required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.9.	N/A						
10	Fire Alarm required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.4.	9.10.18.						
11	Water Service/Supply is Adequate	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.5.7.	N/A						
12	High Building	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.2.6.	N/A						
13	Construction Restrictions	<input checked="" type="checkbox"/> Combustible permitted <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Both		3.2.2.20.-83	9.10.6.						
	Actual Construction	<input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Both									
14	Mezzanine(s) Area m ²	N/A		3.2.1.1.(3)(8)	9.10.4.1.						
15	Occupant load based on	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building		3.1.17.	9.9.1.3.						
	Basement:	Occupancy C Load 0 persons									
	1 st Floor	Occupancy C Load 8 persons									
	2 nd Floor	Occupancy Load persons									
	(Additional floor areas continued below)										
16	Barrier-free Design	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain) SINGLE FAMILY DWELLING		3.8.	9.5.2.						
17	Hazardous Substances	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2. & 3.3.1.19	9.10.1.3(4)						
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies	Listed Design No. or Description (SG-2)	3.2.2.20.-83 & 3.2.1.4.	9.10.8. 9.10.9.						
		Floors 0 Hours									
		Roof 0 Hours									
		FRR of Supporting Members	Listed Design No. Or Description (SG-2)								
		Floors 0 Hour									
		Roof 0 Hour									
		Mezzanine 0 Hour									
19	Spatial Separation - Construction of Exterior Walls			3.2.3.	9.10.14.						
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb Const	Comb. Constr. Nonc. Cladding	Non -comb. Constr.
	South (side)	73.3	2.27	4.9	11.0	6.13	0	-	YES	YES	-
	West (rear)	N/A	7.62	N/A	100	N/A	0	-	YES	YES	-
	North (side)	73.1	1.92	4.8	9.5	5.02	0	-	YES	YES	-
	East (front)	N/A	8.21	N/A	100	N/A	0	-	YES	YES	-

NO.	DATE	REVISION / ISSUE

LEGEND

SB SOLID BEARING PL POINT LOAD

WOOD LINTEL SCHEDULE

L1 2-38x84 SPR #2 (2"x8") L4 3-38x184 SPR #2 (2"x8")
 L2 2-38x235 SPR #2 (2"x10") L5 3-38x235 SPR #2 (2"x10")
 L3 2-38x286 SPR #2 (2"x12") L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE

L7 3 1/2" x 3 1/2" x 1/4" L11 5" x 3 1/2" x 3/8"
 L8 4" x 3 1/2" x 1/4" L12 6" x 3 1/2" x 5/16"
 L9 5" x 3 1/2" x 1/4" L13 6" x 3 1/2" x 3/8"
 L10 5" x 3 1/2" x 5/16" L14 7" x 4" x 3/8"

DOOR SCHEDULE

- (A) 3' - 0" WIDE x 6' - 8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
- (B) 2' - 10" WIDE x 6' - 8" HIGH x 1 3/4"
- (C) 2' - 8" WIDE x 6' - 8" HIGH x 1 3/4"
- (D) 2' - 6" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
- (E) 2' - 4" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
- (F) 2' - 0" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE

DOOR HEIGHTS DETERMINED BY BUILDER

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT PRIVATE RESIDENCE
41 SIR BODWIN PLACE
MARKHAM, ONTARIO

DRAWING TITLE

PROJECT INFORMATION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE

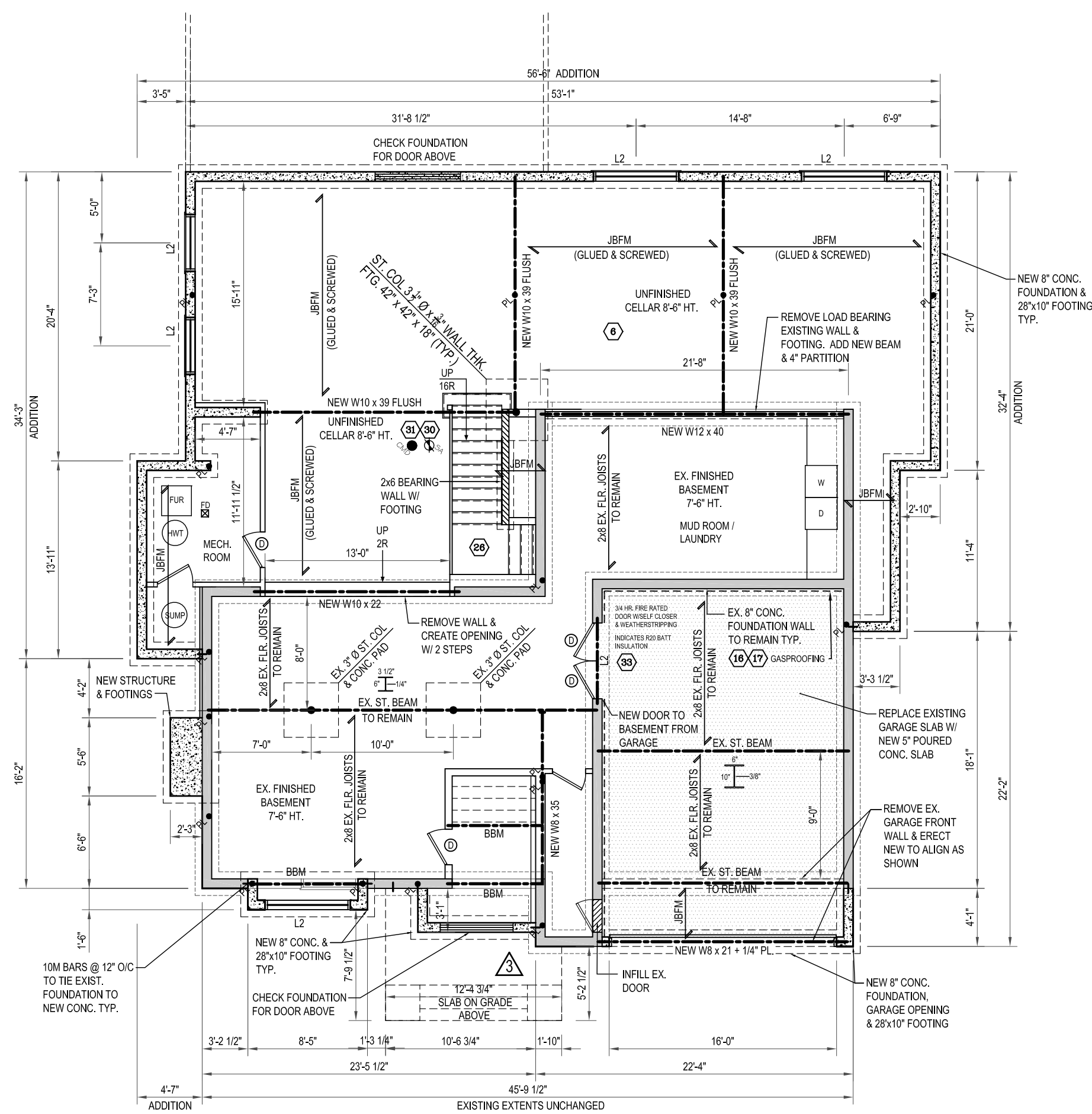
A2

Appendix A

File: 21.106634.000.00.MNV

Date: 04/01/21
MM/DD/YY

FOR CITY USE



ALL LVL's TO BE 2.0E

ALL FRAMING & TRUSSES TO BE COORDINATED PER FRAMING PLANS TYP.

CONTRACTOR TO SPRAY FOAM ALL PERIMETER BEAM POCKETS & PLATES

ADD 'L4' LINTEL WHERE THERE IS MASONRY VENEER OVER WINDOWS

PLACE FLOOR JOISTS AT 12" o/c UNDER ALL TILED AREAS TYPICAL.

FINAL DIMENSIONS & DATUMS OF EXISTING STRUCTURE TO BE CONFIRMED AFTER DEMO & PRIOR TO FABRICATING TRUSSES / TJ

NO.	DATE	REVISION / ISSUE
3	20/12/16	ISSUED FOR PERMIT

- LEGEND**
- SOLID BEARING POINT LOAD
- WOOD LINTEL SCHEDULE**
- | | |
|-----------------------------|-----------------------------|
| L1 2-38x84 SPR #2 (2"x8") | L4 3-38x184 SPR #2 (2"x8") |
| L2 2-38x235 SPR #2 (2"x10") | L5 3-38x235 SPR #2 (2"x10") |
| L3 2-38x286 SPR #2 (2"x12") | L6 3-38x286 SPR #2 (2"x12") |
- STEEL LINTEL SCHEDULE**
- | | |
|---------------------------|-------------------------|
| L7 3 1/2" x 3 1/2" x 1/4" | L11 5" x 3 1/2" x 3/8" |
| L8 4" x 3 1/2" x 1/4" | L12 6" x 3 1/2" x 5/16" |
| L9 5" x 3 1/2" x 1/4" | L13 6" x 3 1/2" x 3/8" |
| L10 5" x 3 1/2" x 5/16" | L14 7" x 4" x 3/8" |
- DOOR SCHEDULE**
- | | |
|---|------------------------------------|
| (A) 3' - 0" WIDE x 6' - 8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS | DOOR HEIGHTS DETERMINED BY BUILDER |
| (B) 2' - 10" WIDE x 6' - 8" HIGH x 1 3/4" | |
| (C) 2' - 8" WIDE x 6' - 8" HIGH x 1 3/4" | |
| (D) 2' - 6" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE | |
| (E) 2' - 4" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE | |
| (F) 2' - 0" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE | |
- EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT **PRIVATE RESIDENCE
41 SIR BODWIN PLACE
MARKHAM, ONTARIO**

DRAWING TITLE
**PROPOSED
BASEMENT PLAN**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCGN

REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE 1/8"=1'-0"

A5

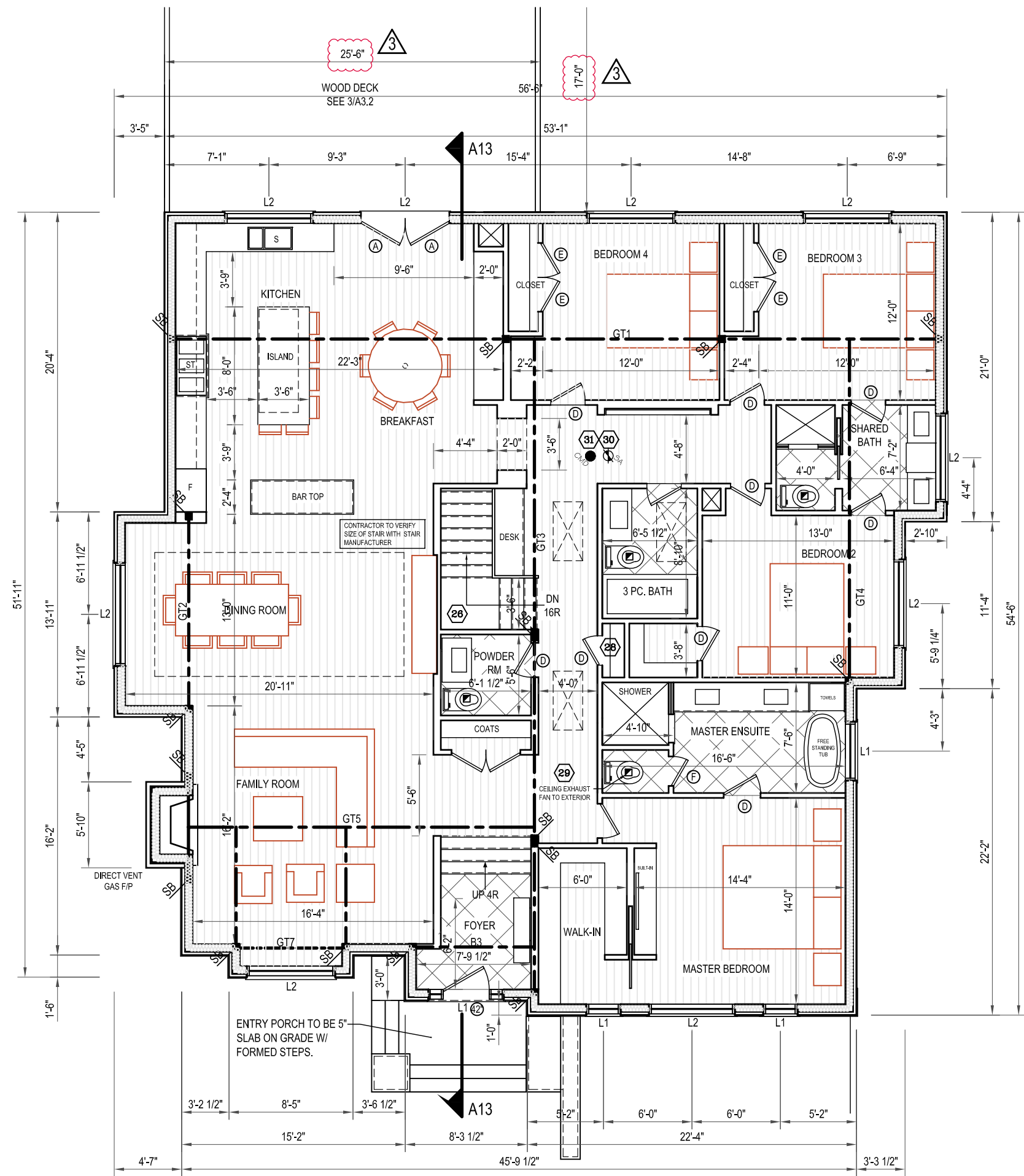
Appendix A

File: 21.106634.000.00.MNV

Date: 04/01/21

MM/DDYY

FOR CITY USE



ALL LVL's TO BE 2.0E

ALL FRAMING & TRUSSES TO BE COORDINATED PER FRAMING PLANS TYP.

CONTRACTOR TO SPRAY FOAM ALL PERIMETER BEAM POCKETS & PLATES

ADD 'L4' LINTEL WHERE THERE IS MASONRY VENEER OVER WINDOWS

PLACE FLOOR JOISTS AT 12" o/c UNDER ALL TILED AREAS TYPICAL.

FINAL DIMENSIONS & DATUMS OF EXISTING STRUCTURE TO BE CONFIRMED AFTER DEMO & PRIOR TO FABRICATING TRUSSES / TJ

NO.	DATE	REVISION / ISSUE

LEGEND
 SB SOLID BEARING PL POINT LOAD

WOOD LINTEL SCHEDULE
 L1 2-38x84 SPR #2 (2"x8") L4 3-38x184 SPR #2 (2"x8")
 L2 2-38x235 SPR #2 (2"x10") L5 3-38x235 SPR #2 (2"x10")
 L3 2-38x286 SPR #2 (2"x12") L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE
 L7 3 1/2" x 3 1/2" x 1/4" L11 5" x 3 1/2" x 3/8"
 L8 4" x 3 1/2" x 1/4" L12 6" x 3 1/2" x 5/16"
 L9 5" x 3 1/2" x 1/4" L13 6" x 3 1/2" x 3/8"
 L10 5" x 3 1/2" x 5/16" L14 7" x 4" x 3/8"

DOOR SCHEDULE
 (A) 3' - 0" WIDE x 6' - 8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
 (B) 2' - 10" WIDE x 6' - 8" HIGH x 1 3/4"
 (C) 2' - 8" WIDE x 6' - 8" HIGH x 1 3/4"
 (D) 2' - 6" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
 (E) 2' - 4" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
 (F) 2' - 0" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE

DOOR HEIGHTS DETERMINED BY BUILDER

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT PRIVATE RESIDENCE
 41 SIR BODWIN PLACE
 MARKHAM, ONTARIO

DRAWING TITLE
PROPOSED FIRST FLOOR PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

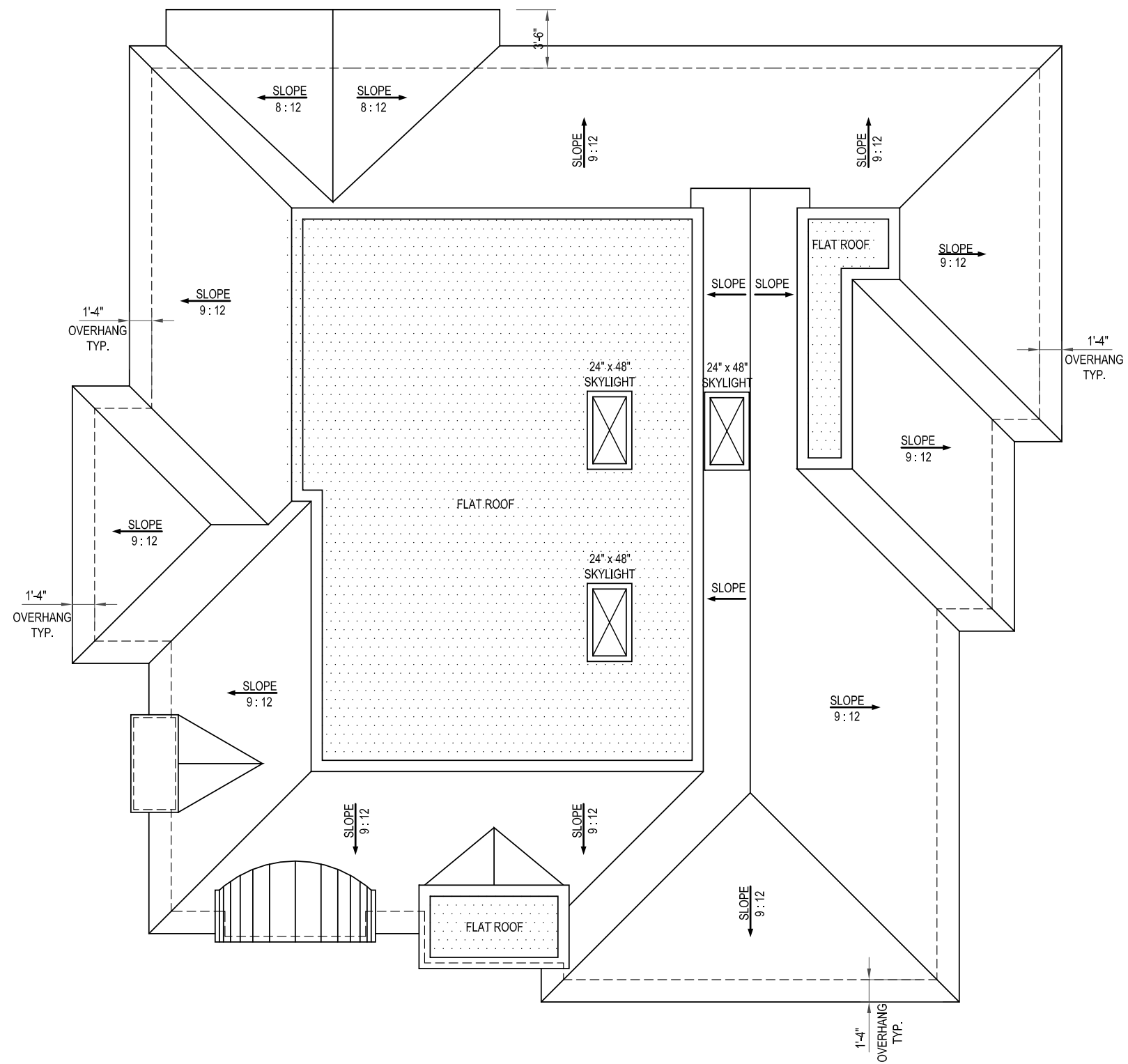
QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE 1/8"=1'-0"

A6

Appendix A
 File: 21.106634.000.00.MNV
 Date: 04/01/21
 MM/DD/YY

FOR CITY USE



FINAL DIMENSIONS & DATUMS OF EXISTING STRUCTURE TO BE CONFIRMED AFTER DEMO & PRIOR TO FABRICATING TRUSSES / TJI

NO.	DATE	REVISION / ISSUE

LEGEND
 SB SOLID BEARING PL POINT LOAD

WOOD LINTEL SCHEDULE
 L1 2-38x84 SPR #2 (2"x8") L4 3-38x184 SPR #2 (2"x8")
 L2 2-38x235 SPR #2 (2"x10") L5 3-38x235 SPR #2 (2"x10")
 L3 2-38x286 SPR #2 (2"x12") L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE
 L7 3 1/2" x 3 1/2" x 1/4" L11 5" x 3 1/2" x 3/8"
 L8 4" x 3 1/2" x 1/4" L12 6" x 3 1/2" x 5/16"
 L9 5" x 3 1/2" x 1/4" L13 6" x 3 1/2" x 3/8"
 L10 5" x 3 1/2" x 5/16" L14 7" x 4" x 3/8"

DOOR SCHEDULE
 (A) 3'-0" WIDE x 6'-8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
 (B) 2'-10" WIDE x 6'-8" HIGH x 1 3/4"
 (C) 2'-8" WIDE x 6'-8" HIGH x 1 3/4"
 (D) 2'-6" WIDE x 6'-8" HIGH x 1 3/4" SOLID CORE
 (E) 2'-4" WIDE x 6'-8" HIGH x 1 3/4" SOLID CORE
 (F) 2'-0" WIDE x 6'-8" HIGH x 1 3/4" SOLID CORE

DOOR HEIGHTS DETERMINED BY BUILDER

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT PRIVATE RESIDENCE
 41 SIR BODWIN PLACE
 MARKHAM, ONTARIO

DRAWING TITLE
PROPOSED ROOF PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE B.C.I.N.

REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE 1/8"=1'-0"

A7

Appendix A
 File: 21.106634.000.00.MNV
 Date: 04/01/21
 MM/DDYY

FOR CITY USE

Appendix B

File: 21.106634.000.00.MNV

Date: 04/01/21
MM/DDYY

NO.	DATE	REVISION / ISSUE

LEGEND

 SOLID BEARING
  POINT LOAD

WOOD LINTEL SCHEDULE

L1 2-38x84 SPR #2 (2"x8")	L4 3-38x184 SPR #2 (2"x8")
L2 2-38x235 SPR #2 (2"x10")	L5 3-38x235 SPR #2 (2"x10")
L3 2-38x286 SPR #2 (2"x12")	L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE

L7 3 1/2" x 3 1/2" x 1/4"	L11 5" x 3 1/2" x 3/8"
L8 4" x 3 1/2" x 1/4"	L12 6" x 3 1/2" x 5/16"
L9 5" x 3 1/2" x 1/4"	L13 6" x 3 1/2" x 3/8"
L10 5" x 3 1/2" x 5/16"	L14 7" x 4" x 3/8"

DOOR SCHEDULE

- (A) 3' - 0" WIDE x 6' - 8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
- (B) 2' - 10" WIDE x 6' - 8" HIGH x 1 3/4"
- (C) 2' - 8" WIDE x 6' - 8" HIGH x 1 3/4"
- (D) 2' - 6" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
- (E) 2' - 4" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
- (F) 2' - 0" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE

DOOR HEIGHTS DETERMINED BY BUILDER

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT PRIVATE RESIDENCE
41 SIR BODWIN PLACE
MARKHAM, ONTARIO

DRAWING TITLE
BUILDING SECTION

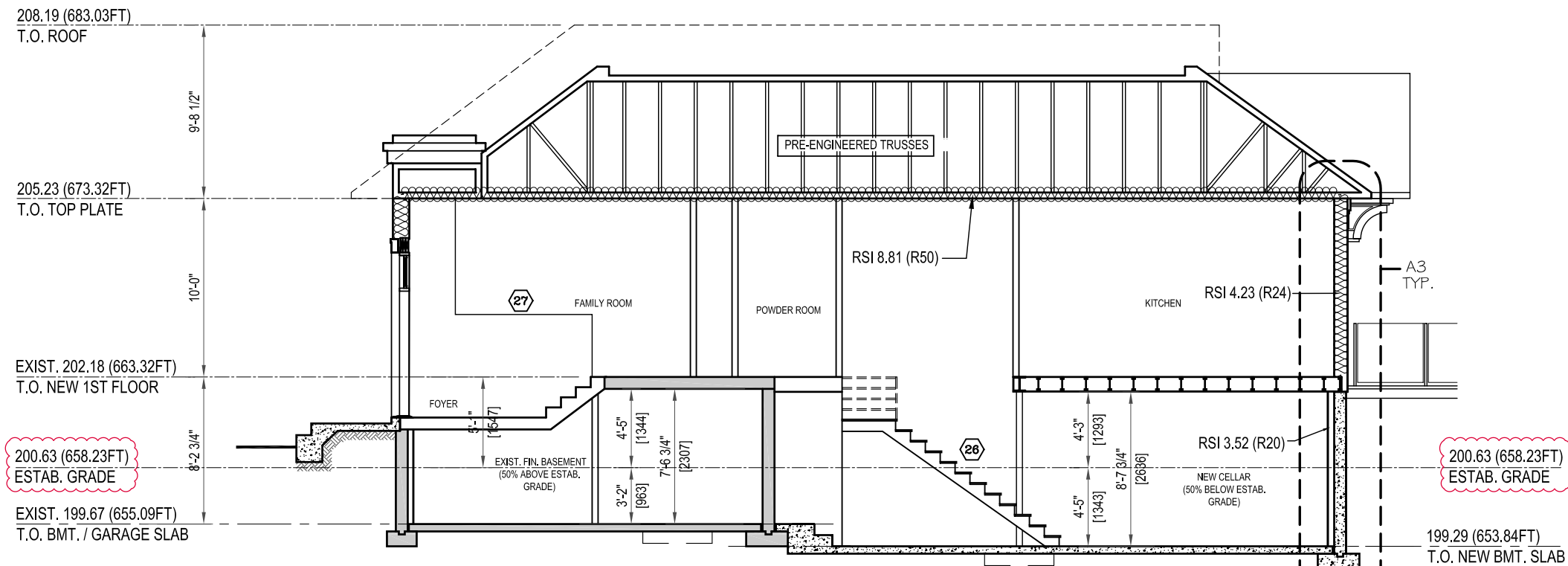
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

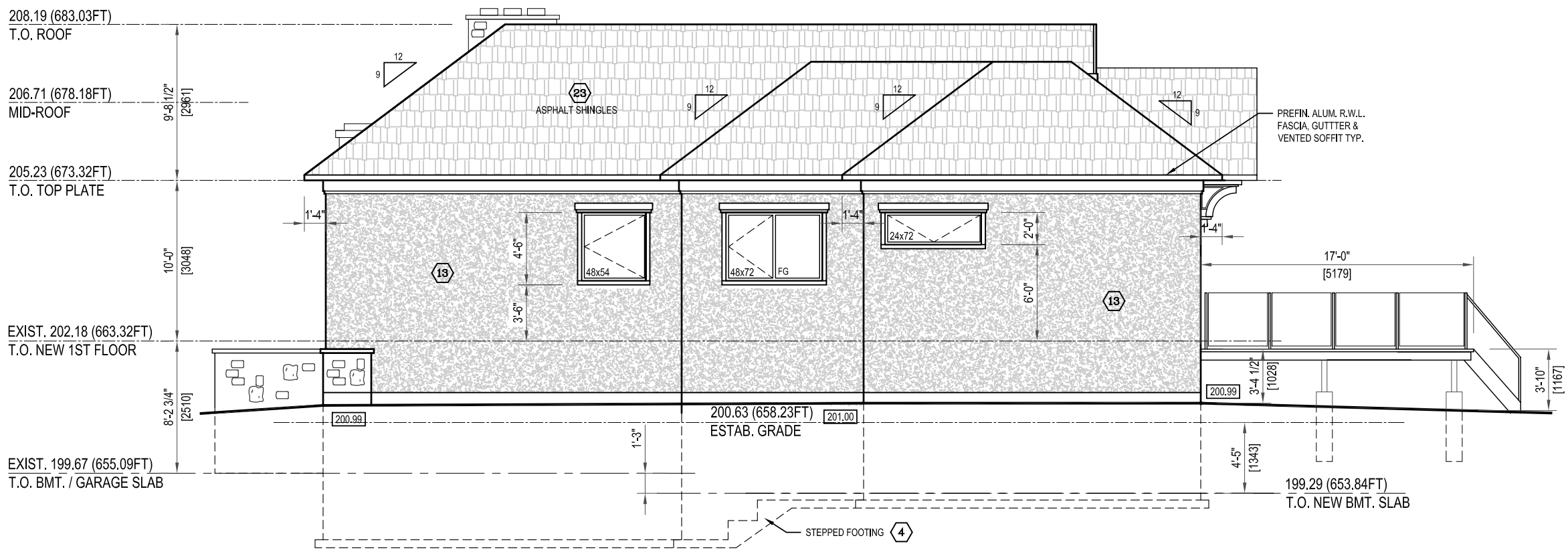
JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE 1/8"=1'-0"

A10

FOR CITY USE



FINAL DIMENSIONS & DATUMS OF EXISTING STRUCTURE TO BE CONFIRMED AFTER DEMO & PRIOR TO FABRICATING TRUSSES / TJI



NO.	DATE	REVISION / ISSUE

LEGEND
 SB SOLID BEARING PL POINT LOAD

WOOD LINTEL SCHEDULE
 L1 2-38x84 SPR #2 (2"x8") L4 3-38x184 SPR #2 (2"x8")
 L2 2-38x235 SPR #2 (2"x10") L5 3-38x235 SPR #2 (2"x10")
 L3 2-38x286 SPR #2 (2"x12") L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE
 L7 3 1/2" x 3 1/2" x 1/4" L11 5" x 3 1/2" x 3/8"
 L8 4" x 3 1/2" x 1/4" L12 6" x 3 1/2" x 5/16"
 L9 5" x 3 1/2" x 1/4" L13 6" x 3 1/2" x 3/8"
 L10 5" x 3 1/2" x 5/16" L14 7" x 4" x 3/8"

DOOR SCHEDULE
 (A) 3' - 0" WIDE x 6' - 8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
 (B) 2' - 10" WIDE x 6' - 8" HIGH x 1 3/4"
 (C) 2' - 8" WIDE x 6' - 8" HIGH x 1 3/4"
 (D) 2' - 6" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
 (E) 2' - 4" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
 (F) 2' - 0" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE

DOOR HEIGHTS DETERMINED BY BUILDER

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT PRIVATE RESIDENCE
 41 SIR BODWIN PLACE
 MARKHAM, ONTARIO

DRAWING TITLE
PROPOSED ELEVATIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCGI

REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE 1/8"=1'-0"

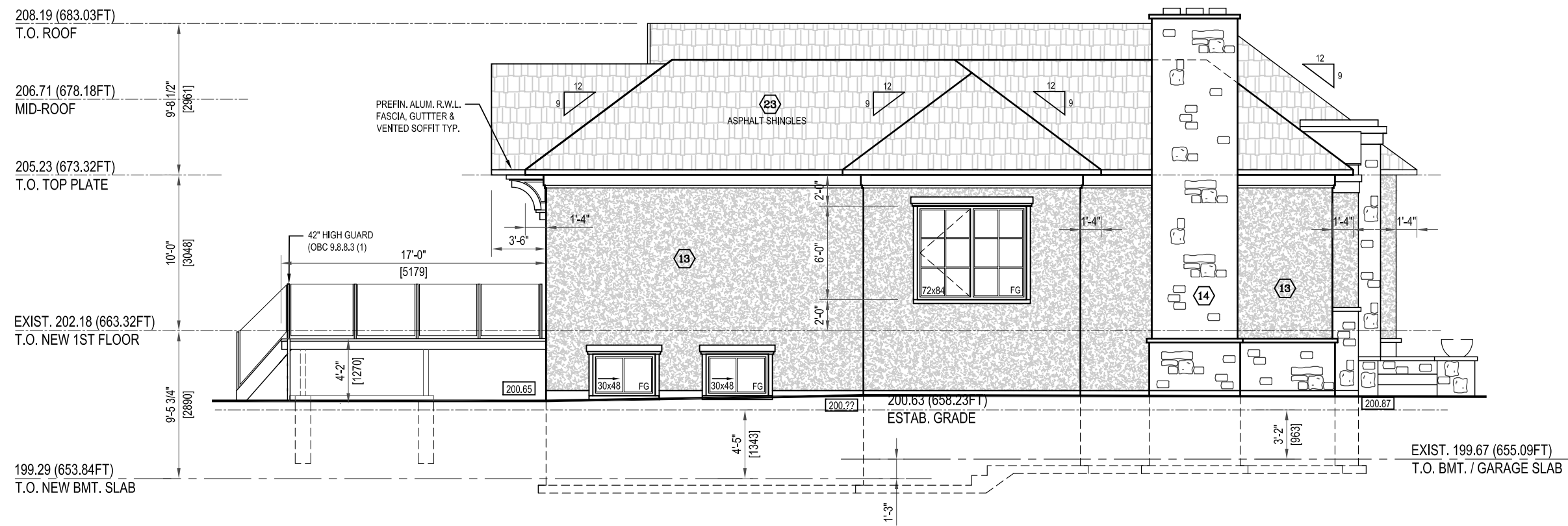
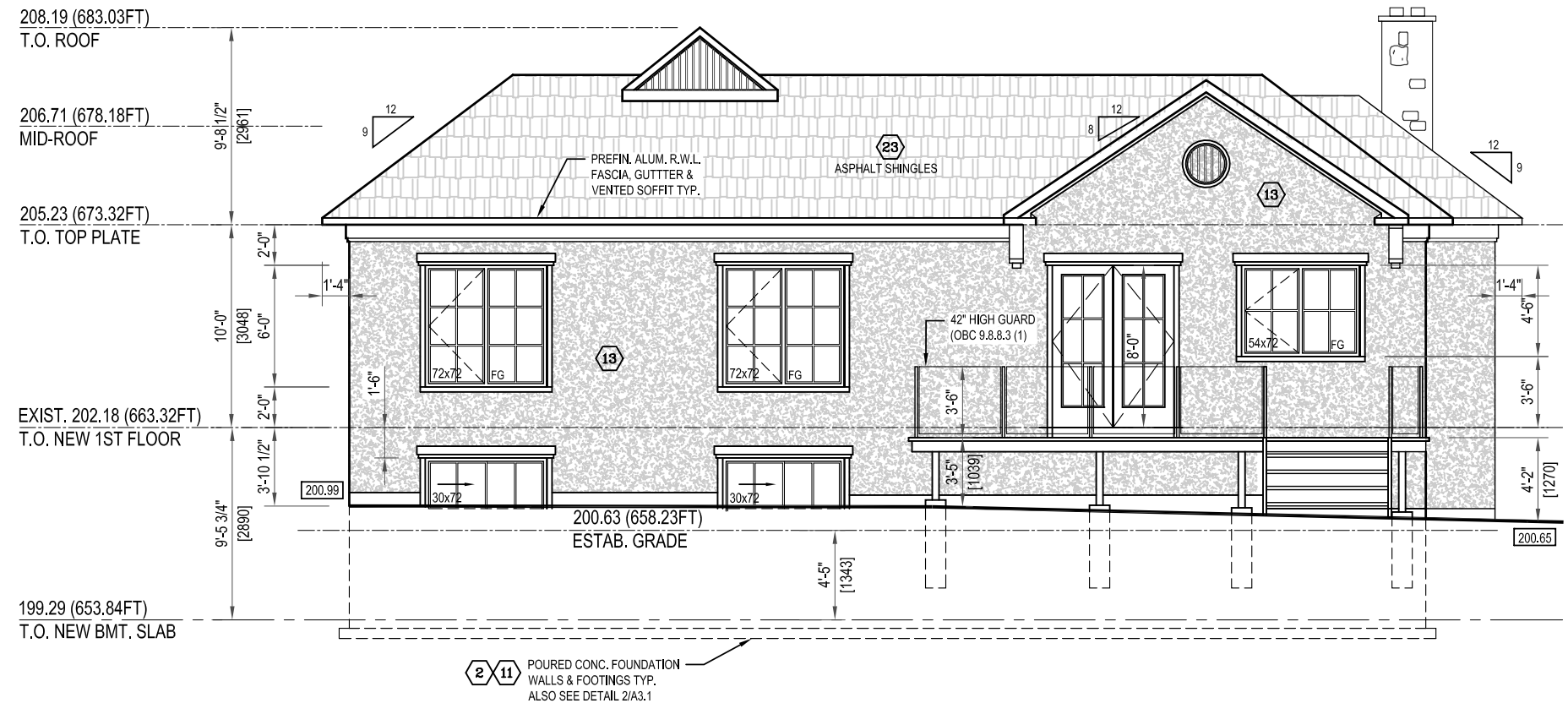
A8

Appendix B

File: 21.106634.000.00.MNV

Date: 04/01/21
 MM/DD/YY

FOR CITY USE



NO.	DATE	REVISION / ISSUE

LEGEND
 SB SOLID BEARING PL POINT LOAD

WOOD LINTEL SCHEDULE
 L1 2-38x84 SPR #2 (2"x8") L4 3-38x184 SPR #2 (2"x8")
 L2 2-38x235 SPR #2 (2"x10") L5 3-38x235 SPR #2 (2"x10")
 L3 2-38x286 SPR #2 (2"x12") L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE
 L7 3 1/2" x 3 1/2" x 1/4" L11 5" x 3 1/2" x 3/8"
 L8 4" x 3 1/2" x 1/4" L12 6" x 3 1/2" x 5/16"
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 L10 5" x 3 1/2" x 5/16" L14 7" x 4" x 3/8"

DOOR SCHEDULE
 (A) 3'-0" WIDE x 6'-8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
 (B) 2'-10" WIDE x 6'-8" HIGH x 1 3/4"
 (C) 2'-8" WIDE x 6'-8" HIGH x 1 3/4"
 (D) 2'-6" WIDE x 6'-8" HIGH x 1 3/4" SOLID CORE
 (E) 2'-4" WIDE x 6'-8" HIGH x 1 3/4" SOLID CORE
 (F) 2'-0" WIDE x 6'-8" HIGH x 1 3/4" SOLID CORE

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT PRIVATE RESIDENCE
 41 SIR BODWIN PLACE
 MARKHAM, ONTARIO

DRAWING TITLE
PROPOSED ELEVATIONS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE 1/8"=1'-0"

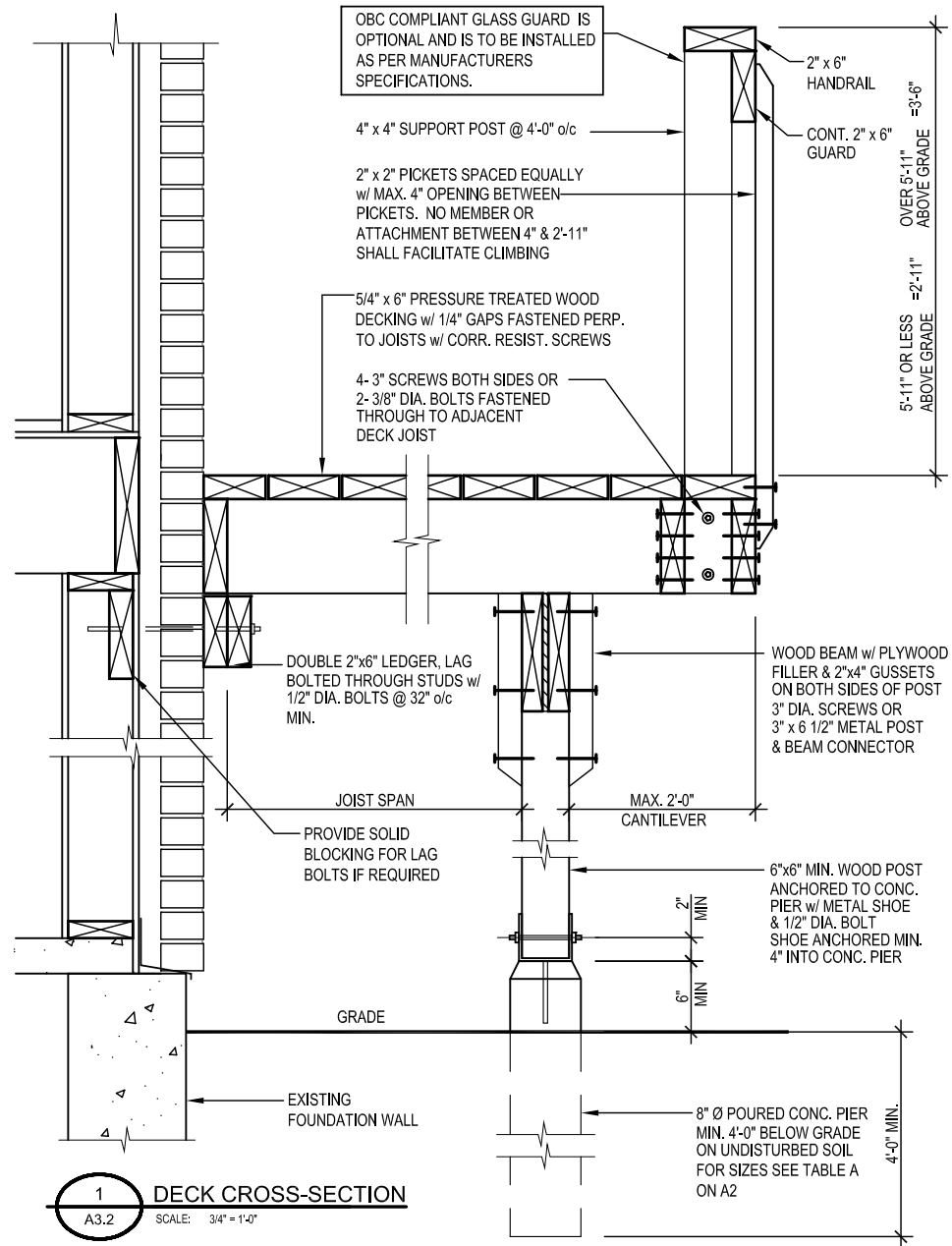
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Appendix B

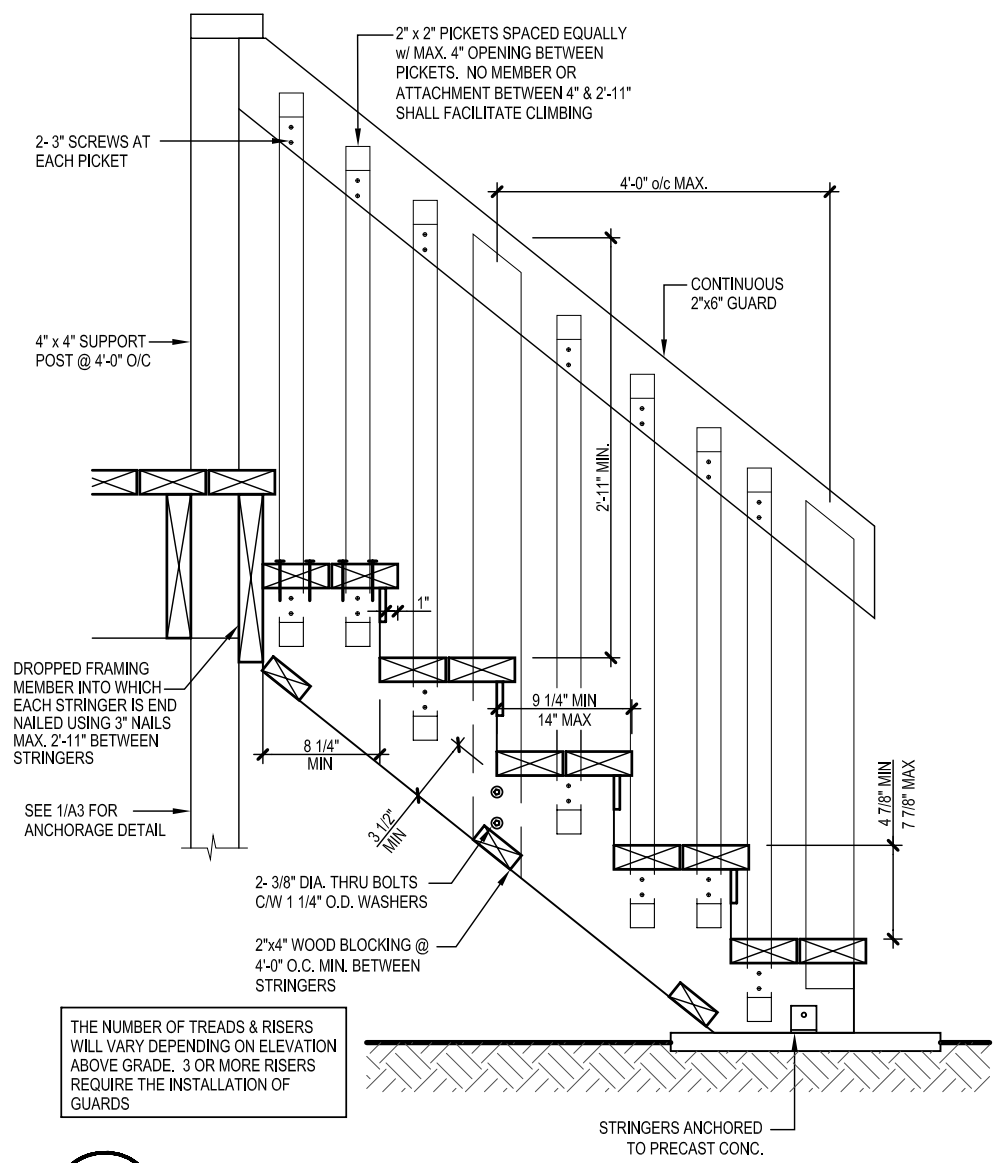
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Date: 04/01/21
 MM/DD/YY

FOR CITY USE

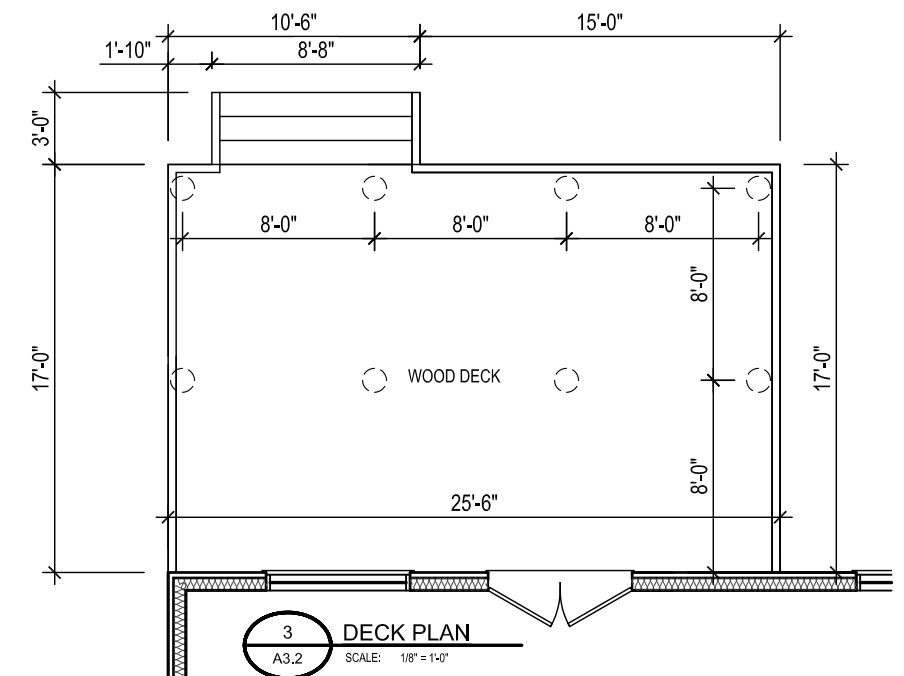


1 DECK CROSS-SECTION
A3.2 SCALE: 3/4" = 1'-0"



THE NUMBER OF TREADS & RISERS WILL VARY DEPENDING ON ELEVATION ABOVE GRADE. 3 OR MORE RISERS REQUIRE THE INSTALLATION OF GUARDS

2 STAIR SECTION - IF REQUIRED
A3.2 SCALE: 3/4" = 1'-0"



3 DECK PLAN
A3.2 SCALE: 1/8" = 1'-0"

TABLE A

JOIST SPAN	PIER SIZE PIER SPACING				BEAM SIZE PIER SPACING				JOIST SIZE	
	4'	6'	8'	10'	4'	6'	8'	10'		
1500 PSF	6'	8" Ø	10" Ø	12" Ø	14" Ø	2 / 2"x6"	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2"x6"
	8'	10" Ø	12" Ø	14" Ø	16" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x6"
	10'	12" Ø	14" Ø	16" Ø	18" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x8"
	12'	12" Ø	14" Ø	16" Ø	18" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x10"
2500 PSF	6'	8" Ø	8" Ø	10" Ø	10" Ø	2 / 2"x6"	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2"x6"
	8'	8" Ø	10" Ø	10" Ø	12" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x6"
	10'	8" Ø	10" Ø	12" Ø	14" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x8"
	12'	10" Ø	12" Ø	14" Ø	14" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x10"
4000 PSF	6'	8" Ø	8" Ø	8" Ø	8" Ø	2 / 2"x6"	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2"x6"
	8'	8" Ø	8" Ø	8" Ø	10" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x6"
	10'	8" Ø	8" Ø	10" Ø	12" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x8"
	12'	8" Ø	10" Ø	12" Ø	12" Ø	2 / 2"x6"	2 / 2"x8"	2 / 2"x10"	2 / 2"x12"	2"x10"

NO.	DATE	REVISION / ISSUE

LEGEND
 SB SOLID BEARING PL POINT LOAD

WOOD LINTEL SCHEDULE
 L1 2-38x84 SPR #2 (2"x8") L4 3-38x184 SPR #2 (2"x8")
 L2 2-38x235 SPR #2 (2"x10") L5 3-38x235 SPR #2 (2"x10")
 L3 2-38x286 SPR #2 (2"x12") L6 3-38x286 SPR #2 (2"x12")

STEEL LINTEL SCHEDULE
 L7 3 1/2" x 3 1/2" x 1/4" L11 5" x 3 1/2" x 3/8"
 L8 4" x 3 1/2" x 1/4" L12 6" x 3 1/2" x 5/16"
 L9 5" x 3 1/2" x 1/4" L13 6" x 3 1/2" x 3/8"
 L10 5" x 3 1/2" x 5/16" L14 7" x 4" x 3/8"

DOOR SCHEDULE
 (A) 3' - 0" WIDE x 6' - 8" HIGH x 1 3/4" ENTRY DOOR C/W SIDE LIGHTS
 (B) 2' - 10" WIDE x 6' - 8" HIGH x 1 3/4"
 (C) 2' - 8" WIDE x 6' - 8" HIGH x 1 3/4"
 (D) 2' - 6" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
 (E) 2' - 4" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE
 (F) 2' - 0" WIDE x 6' - 8" HIGH x 1 3/4" SOLID CORE

EXTERIOR DOORS INSULATED TO R4. MAIN DOOR TO BE OPENABLE FROM INSIDE WITHOUT KEY.

PROJECT **PRIVATE RESIDENCE**
41 SIR BODWIN PLACE
MARKHAM, ONTARIO

DRAWING TITLE
TYPICAL DECK DETAILS

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE AS A REGISTERED DESIGNER WITH THE ONTARIO MINISTRY OF MUNICIPAL AFFAIRS & HOUSING.

QUALIFICATION INFORMATION
 KARL DOUCAS 37354
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 CIRCA SEVEN DESIGN 43074

JOB NO. 19-002
 DRAWN BY KD
 DATE
 SCALE

A3.2

Appendix A

File: **21.106634.000.00.MNV**

Date: **04/01/21**
MM/DDYY

FOR CITY USE

APPENDIX "C"
PARCEL FABRIC: ABUTTING PROPERTIES



Legend

- LANDMARKS_6000
- SLRN_6000
- PARKS_6000
- Building Footprints
- Ponds
- Creeks
- Rivers
- Parcel (MPAC)
- Park Facilities
- Parks
 - <all other values>
 - Under Development

1: 1,128



Notes