

Memorandum to the City of Markham Committee of Adjustment

April 01, 2019

File: A/02/19
Address: 38 Galsworthy Drive, Markham
Applicant: Leora Blum & Bill Kokotsis
Agent: Gregory Forfar
Hearing Date: Wednesday, March 13, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of the Residential One (R1) Zone in By-law 1229, as amended, as they relate to a proposed dwelling that is under construction on the subject lands (38 Galsworthy Drive):

a) By-law 1229; Table 11.1:

a minimum front yard setback of 23.45 feet (7.15m), whereas the By-law requires a minimum front yard setback of 25 ft (7.62 m);

a) Amending By-law 99-90, Section 1.2 (i):

a maximum building height of 10.57 m (34.68 ft), whereas the By-law permits a maximum building height 9.8 m.

The Committee of Adjustment deferred this application on March 13, 2018 due to concerns that the front porch may be enclosed. To address this, staff recommend a condition of any approval that the front porch remain unclosed (See Appendix A1). Committee also requested that a zoning preliminary review be conducted to confirm the requested variances are correct. In response, the applicant submitted a zoning preliminary review on March 20, 2019 to confirm the variances required. The applicant has not revised the proposal from the original submission. Staff's comments dated February 27, 2019 remain applicable.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 01, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A1" for conditions to be attached to any approval of this application

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



Stephen Corr, Senior Planner, East District

File Path: Amanda\File\ 19 109746 \Documents\District Team Comments Memo

Appendices

Appendix A1 – Conditions A/02/19

Appendix B1 – Plans A/02/19

Appendix C1 – Staff Report (March 13, 2019)

APPENDIX "A1"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/02/19

1. That the front covered porch remain unenclosed;
2. The variances apply only to the proposed development as long as it remains;
3. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B1' to this Staff Report and received by the City of Markham on *January 9, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:



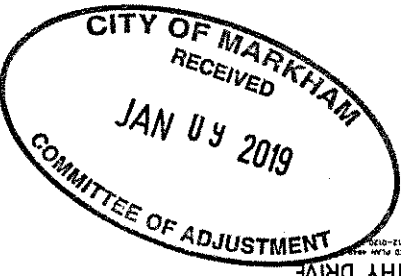
Aqsa Malik, Planner, Zoning and Special Projects

SURVEYOR'S REAL PROPERTY REPORT
LOT 65
REGISTERED PLAN 4949
CITY OF MARKHAM
REGION OF YORK
SCALE 1: 200
GENESIS LAND SURVEYING INC.

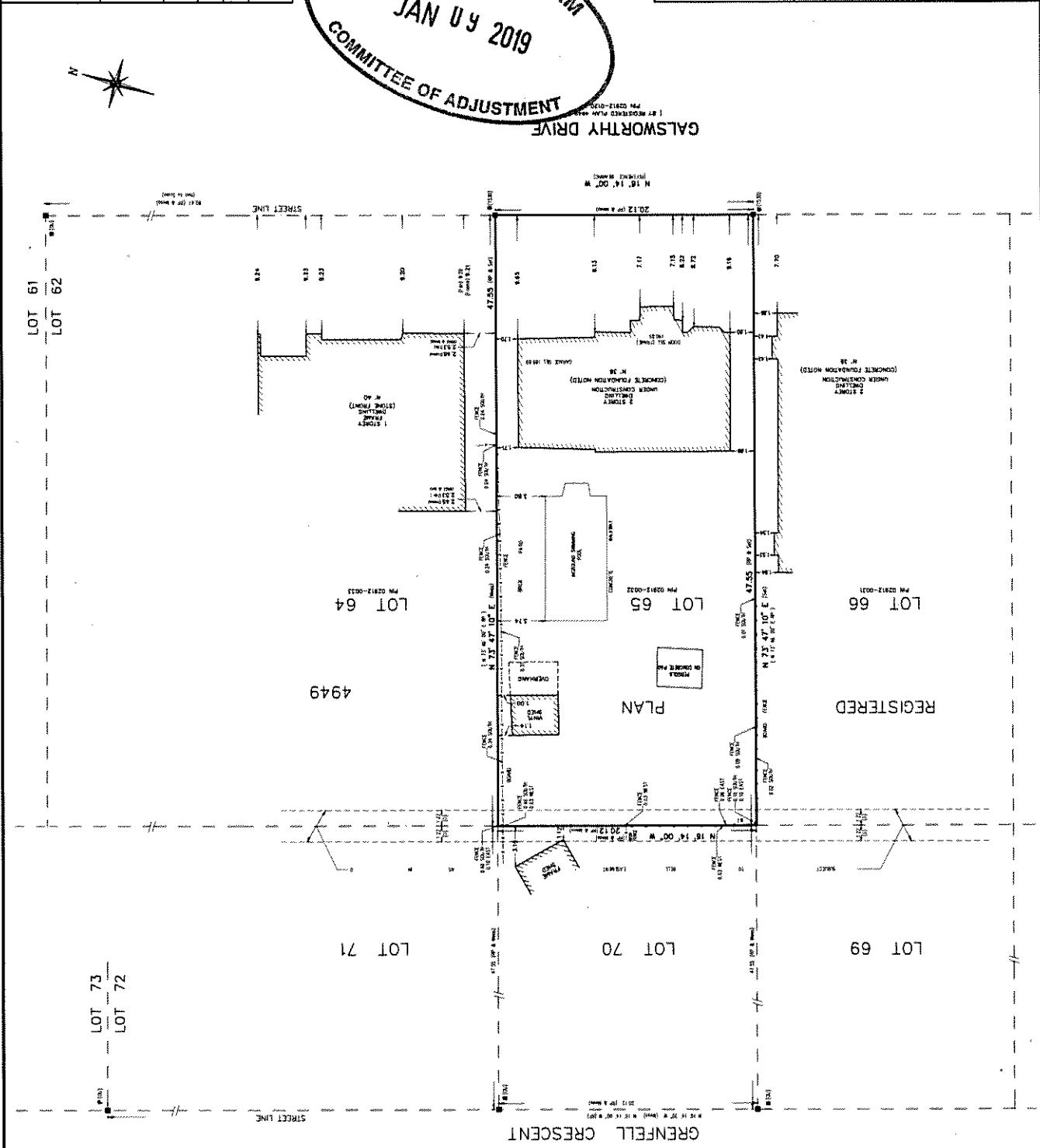
PART 2: REPORT PREPARED FOR LEGAL BLM
 1 - BOUNDARIES CONFORM TO REGISTERED PLAN 4949
 2 - SUBJECT TO ANY ADJUSTMENTS IN THIS REPORT
 3 - DIMENSIONS SHOWN ARE MEASURED TO THE CENTER OF THE PROPERTY LINES AS SHOWN
 4 - DIMENSIONS MAY VARY FROM PROPERTY LINES AS SHOWN
 5 - NO RESPONSIBILITY FOR USE BY OTHER PARTIES

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BENCHMARK REFERENCED TO CITY OF MARKHAM
 BENCH MARK 'N'-33-023 WITH A PUBLISHED
 ELEVATION = 188.836 (1978 C.S.C.)



LEGEND	BOUNDARIES SURVEYED BOUNDARIES FROM AN ADJACENT REGISTERED PLAN (P201) BOUNDARIES FROM AN ADJACENT REGISTERED PLAN (P202) BOUNDARIES FROM AN ADJACENT REGISTERED PLAN (P203) BOUNDARIES FROM AN ADJACENT REGISTERED PLAN (P204) BOUNDARIES FROM AN ADJACENT REGISTERED PLAN (P205)
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GENESIS
 LAND SURVEYING INC.
 ONTARIO LAND SURVEYORS
 100 SHEPPARD AVE. E. SUITE 100
 MARKHAM, ONT. L3R 9V7
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 WWW.GENESISLANDSURVEYING.COM
 PROJECT NO. 02-002-17

SURVEYOR'S REAL PROPERTY REPORT

LOT 65
 REGISTERED PLAN 4949
 CITY OF MARKHAM
 (FORMERLY TOWNSHIP OF MARKHAM)
 REGION OF YORK
 SCALE 1 : 200
 GENESIS LAND SURVEYING INC.

PART 2: REPORT
 1 - THIS REPORT WAS PREPARED FOR LEOLA BUAL.
 2 - BOUNDARIES CONFORM TO REGISTERED PLAN 4949.
 3 - SUBJECT TO CANTONMENTS AS IN PART 1 AND 2, AND AS SHOWN THEREIN.
 4 - FENCES MARK PROPERTY LINES AS SHOWN.
 5 - NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

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NOTES: THIS REPORT CAN BE UPDATED BY THE OFFICE.
 ANY CHANGES TO THIS REPORT WILL BE ISSUED SEPARATELY TO THE DATE OF CERTIFICATION.
 METERS / METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BENCHMARK
 ELEVATIONS ARE REFERRED TO CITY OF MARKHAM BENCH MARK N. M-33-023 WITH A PUBLISHED ELEVATION = 188.836 (1978 G.S.C.)

LEGEND
 SURVEY MONUMENT FOUND
 SURVEY MONUMENT PLANTED
 DENOTES IRON NAIL
 DENOTES IRON PIPE
 DENOTES STAINLESS STEEL ROD BAR
 DENOTES ALUMINUM ROD BAR
 DENOTES REGISTERED PLAN 4949
 DENOTES INSTRUMENT NO. 49499
 DENOTES PLAN OF SURVEY BY W. S. CROSON O.L.S. (DATED 07/18/1998)
 DENOTES O.L.S. (DATED 07/07/1997)
 DENOTES PROPERTY IDENTIFIER NUMBER
 DENOTES INVERT
 DENOTES WATER
 DENOTES GRAVEL
 DENOTES FILL/ROCK WOLL
 DENOTES E.W. BRIDGE, O.L.S.

BEARING NOTE: BEARINGS ARE ESTABLISHED AND MADE AS SHOWN ON REGISTERED PLAN 4949 HAVING A BEARING OF N 10° 14' 00" W.

ASSOCIATION OF ONTARIO SURVEYORS' CERTIFICATE
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 2075888

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT
 AND THE SURVEYOR HAS THE NECESSARY
 REGULATIONS MADE UNDER THEM.
 DATE: DECEMBER 17TH 2018.

DATE: DECEMBER 17TH 2018.

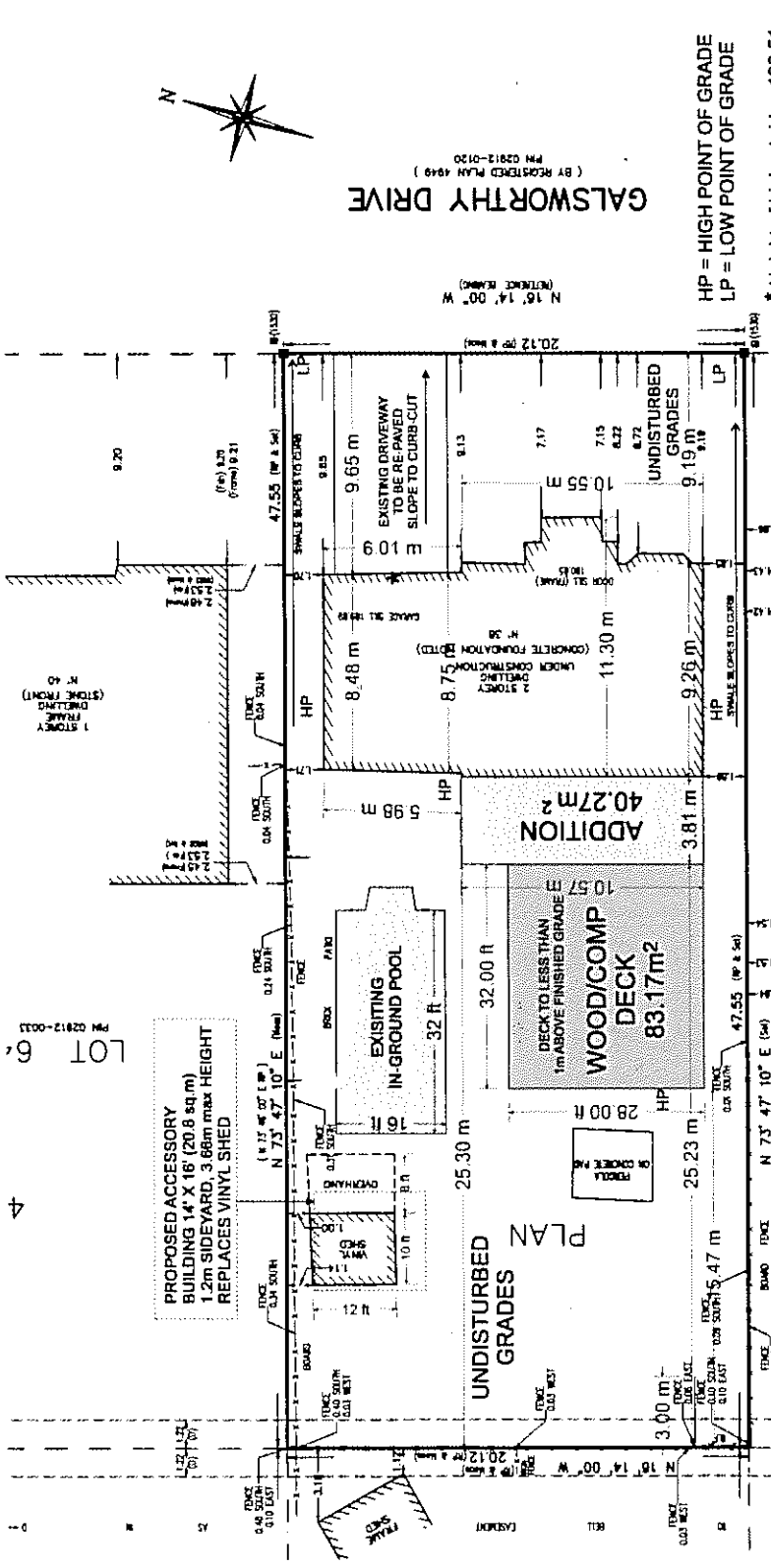
THE PLAN IS NOT VALID UNLESS IT IS AN UNRECORDED COPY ISSUED BY THE SURVEYOR

OTARIO LAND SURVEYOR
 M/AR T/DAI

genesis
 LAND SURVEYING INC.
 ONTARIO LAND SURVEYORS

1500 SHEPPARD AVE. E., 10TH FLOOR
 SCARBORO, ONTARIO M1S 4S6
 1-800-387-3234 | 416-427-9999
 WWW.GENESISLANDSURVEY.COM
 LICENSED BY: O.S. | CHECKED BY: A.L. | PROJECT No. 015-0022-1

GALSWORTHY DRIVE
 (BY REGISTERED PLAN 4949)
 N 16° 14' 00" W
 20.12' (± 0.04')



HP = HIGH POINT OF GRADE
 LP = LOW POINT OF GRADE

* Height of highest ridge 199.51 m

PROPOSED SITE PLAN

REFERENCING:
 AS-BUILT SURVEY(SRPR)
 and FOOTPRINT

& PROPOSED CHANGES:
 JANUARY 2019

- 1) ADDITION TO REAR
- 2) REBUILT DECK
- 3) REMOVE/REPLACE SHED
- 4) INCREASE LOT COVERAGE

APPROVED PERMIT 18 111131 HP

APPROVED BY PERMIT 18 111131 HP

LOT COVERAGE	40.27 m ²
PROPOSED ADDITIONAL LOT AREA	11.37 m ²
DECK AREA	83.17 m ²
EXISTING SHED	11.37 m ²
NEW SHED	20.8 m ²
ADDITIONAL SHED	9.43 m ²
PROPOSED NEW DECK	37.56 m ²
PROPOSED NEW ADDITIONAL FLOOR AREA	40.27 m ²
APPROVED ADDITIONAL FLOOR AREA	222.46 m ²
TOTAL ADDITIONAL FLOOR AREA	272.73 m ²
TOTAL ADDITIONAL COVERED AREA	309.72/1956.14 = 32.4%

EXISTING SHED 11.37 m²
 NEW SHED 20.8 m²
 ADDITIONAL SHED 9.43 m²

DECK TO LESS THAN 1m ABOVE FINISHED GRADE
 WOOD/COMP DECK
 83.17m²

PROPOSED ACCESSORY BUILDING 14' X 16' (20.8 sq m)
 1.2m SIDEYARD, 3.66m MAX HEIGHT
 REPLACES VINYL SHED

REGISTERED

BLUM RESIDENCE
ADDITION & AS-BUILT
PERMIT: 1811131 HP
REVISIONS BY OWNER(S)

NO.	DATE	DESCRIPTION
1	11/12/13	AS-BUILT
2	11/12/13	AS-BUILT

APPLICATION UNDER EXISTING
PERMIT FOR PROPOSED
ADDITION
DOCUMENT AS-BUILT
CONDITIONS

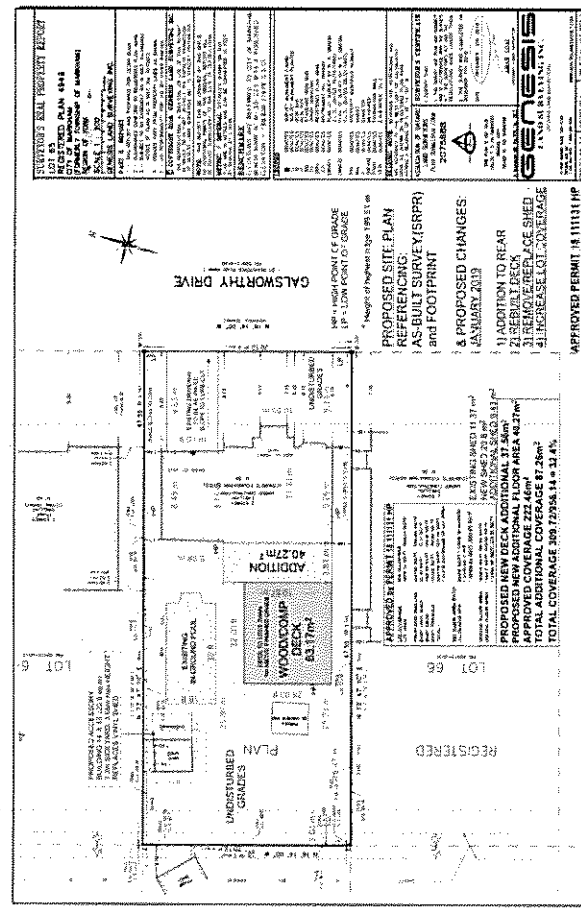
PROPOSED SITE PLAN
AND GENESIS SRFR

BLUM RESIDENCE
ADDITION & AS-BUILT
PERMIT: 1811131 HP
REVISIONS BY OWNER(S)

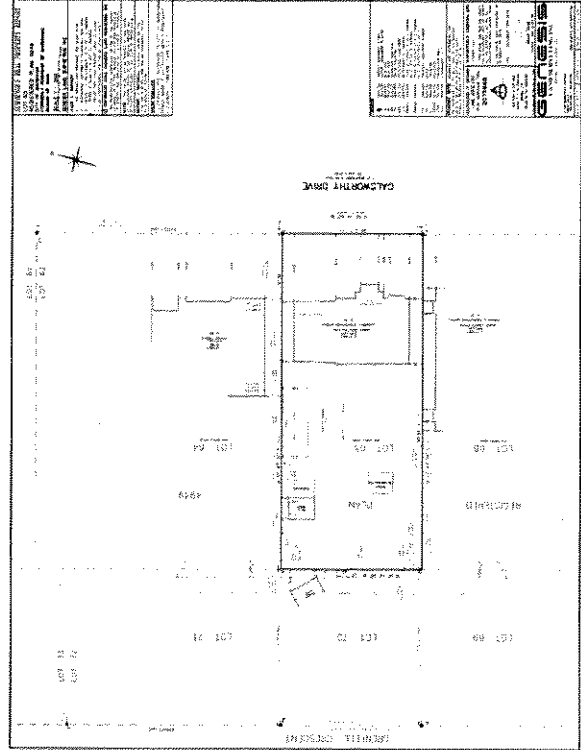
DATE: 09/01/2019
SCALE:
AS NOTED
SHEET: P-1

38 GALSWORTHY DR
ROLL # 04028035600
PLAN 4949 LOT 65 MARKHAM

SURVEYOR'S REAL PROPERTY REPORT



SURVEYOR'S REAL PROPERTY REPORT



NOTE PREVIOUSLY DRAWINGS ISSUED FOR PERMIT:

TOPOGRAPHICAL SURVEY BY: E. M. BOWYER, 1. FEB. 2018
SHEET A1 APPROVED SITE PLAN BY: CZ DESIGNS, 11. FEB. 2018
SHEET A2-A13 APPROVED ARCHITECTURAL DRAWINGS BY: CZ DESIGNS AND Y. C. LAI (P. ENG)

ATTACHED HERETO:

SHEET P1: PROPOSED SITE PLAN FOR ADDITION AND AS-BUILT FOOTPRINT BASED ON SRFR
SHEETS A1-A7 AS-BUILT ARCHITECTURAL DRAWINGS: BY L. BLUM AND E. H. GIRGIS (P. ENG)

APPENDED: TIMBERFIELD ROOF TRUSS STRUCTURAL DOCUMENTS AND LAYOUT
PRE-ENG FLOOR STRUCTURE DOCUMENTS BY: DZIGN PLUS, 21 JUNE 2018

APPROVED PERMIT 18 111131 HP

PROPOSED CHANGES:

- ADDITION TO REAR
- REARLY BECK
- REMOVAL/REPLACE SHED
- INCREASE LOT COVERAGE

APPROVED PERMIT 18 111131 HP

PROPOSED CHANGES:

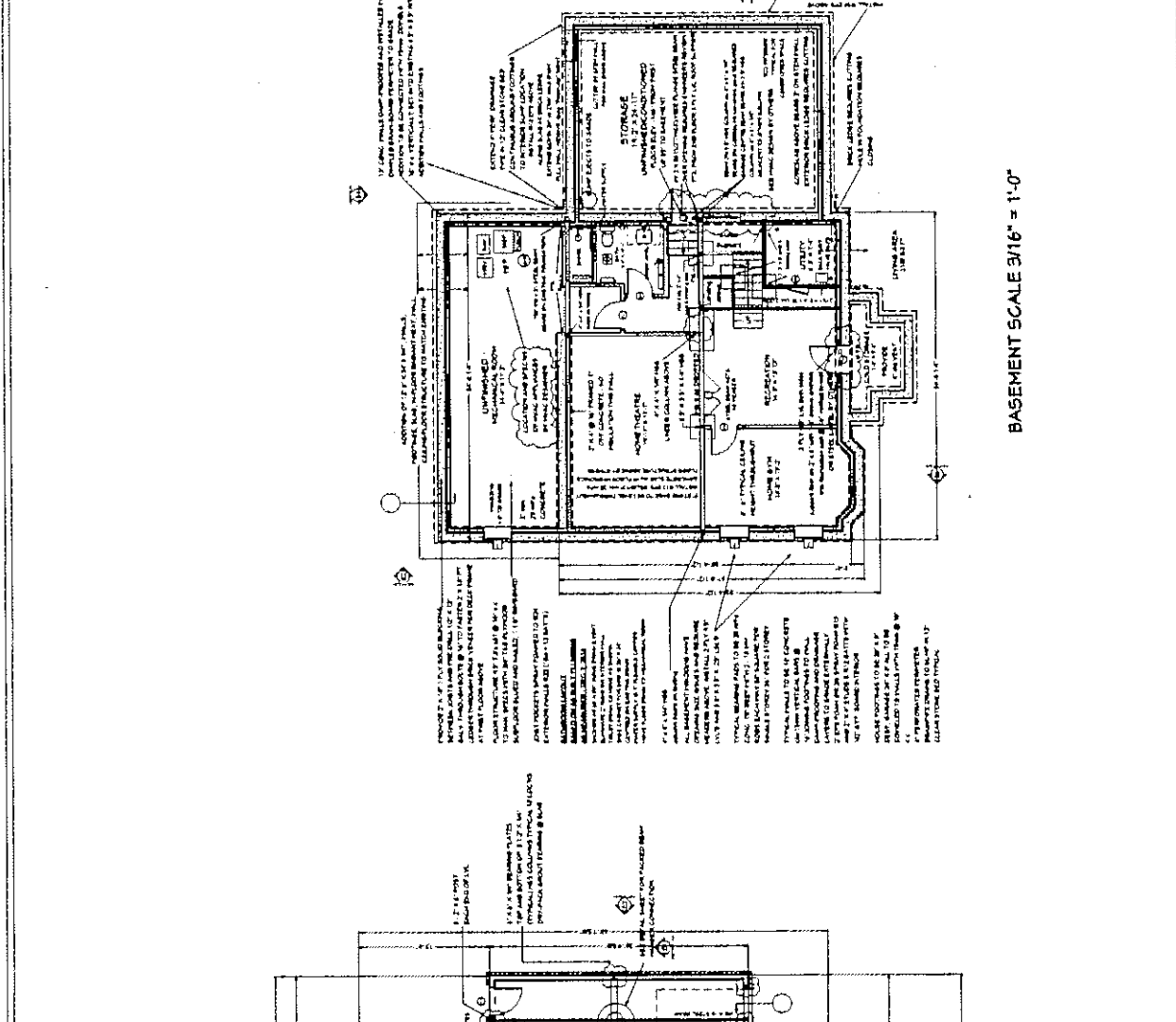
- ADDITION TO REAR
- REARLY BECK
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- INCREASE LOT COVERAGE

APPROVED PERMIT 18 111131 HP

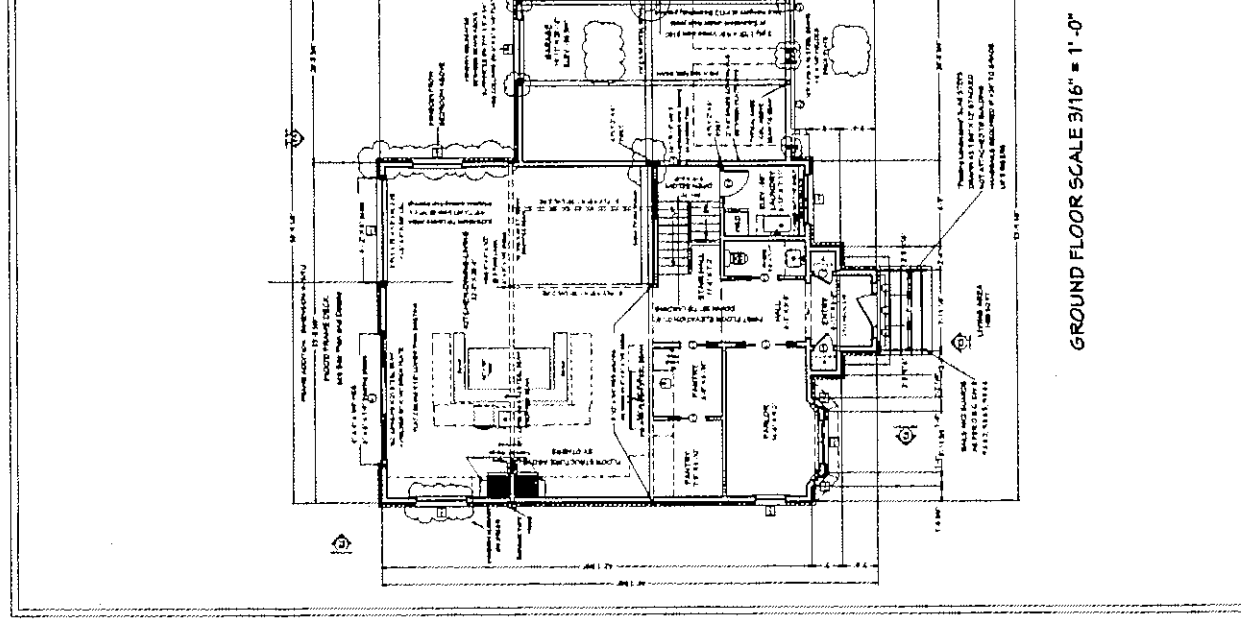
PROPOSED CHANGES:

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38 GALSWORTHY DR.
ROLL # 04028035600
PLAN 4949 LOT 65 MARKHAM

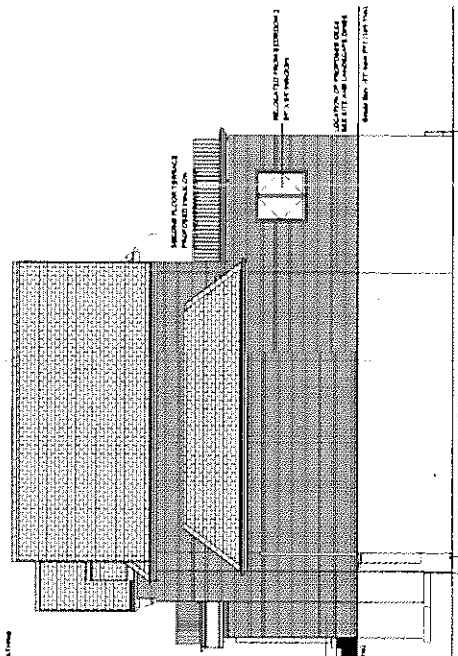
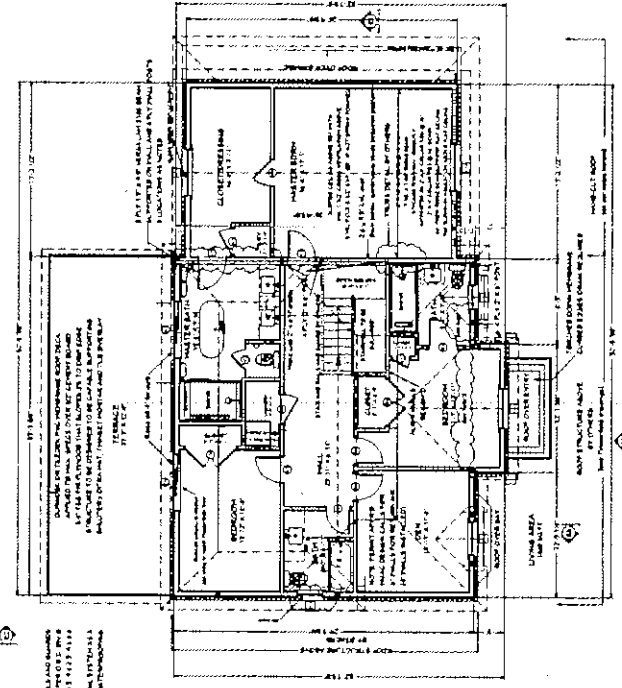


GROUND FLOOR SCALE 3/16" = 1'-0"

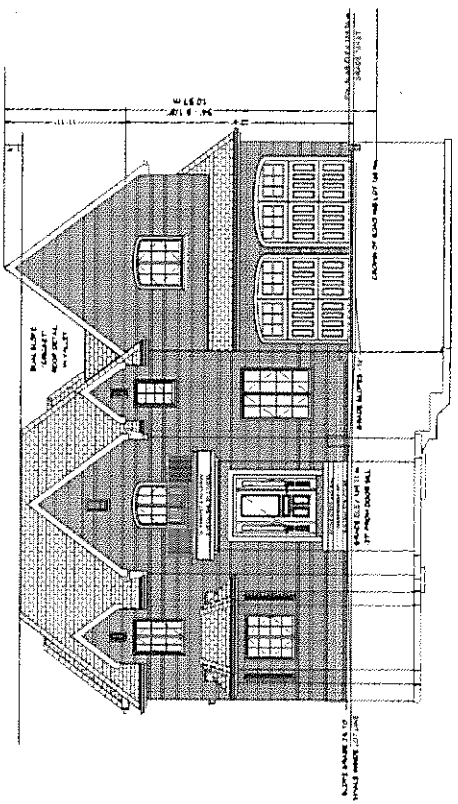


BASEMENT SCALE 3/16" = 1'-0"

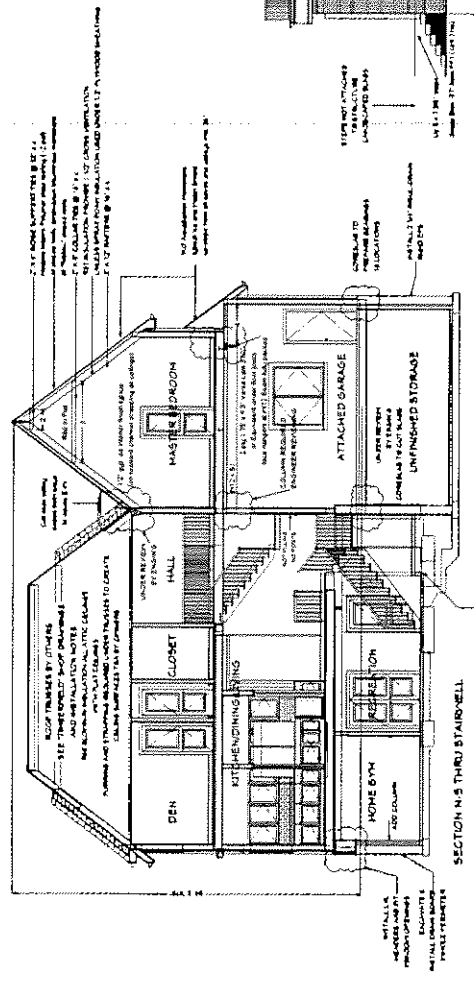
38 GALSWORTHY DR.
 ROLL #04028035600
 PLAN 4949 LOT 65 MARKHAM



NORTH ELEV SCALE 3/16" = 1'-0"



STREET EAST ELEVATION SCALE 3/16" = 1'-0"



SECTION N-5 LOOKING WEST
 SCALE 3/16" = 1'-0"

47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000



Memorandum to the City of Markham Committee of Adjustment

February 27, 2019

File: A/02/19
 Address: 38 Galsworthy Dr, Markham
 Applicant: Leora Blum & Bill Kokotsis
 Agent: Gregory Forfar
 Hearing Date: Wednesday, March 13, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R1, as amended:

a) **By-law 1229; Table 11.1:**

a minimum front yard setback of 23.45 feet (7.15m), whereas the By-law requires a minimum front yard setback of 25 ft (7.62 m);

a) **Amending By-law 99-90, Section 1.2 (i):**

a maximum building height of 10.57 m (34.68 ft), whereas the By-law permits a maximum building height 9.8 m;

as they relate to a proposed residential dwelling that is under construction.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"house has been, incorrectly and regretfully, erected with the conditions described above. Conditions were not realized until the SRPR was conducted and issued in Dec. 2018 after the pre-backfill inspection and prior to framing HVAC inspection. To comply the entire house at it's current stage (roofed and closed-in) would have to be demolished to the footings"*.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) to confirm the variances required for the proposed development.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 10.57 m (34.68 ft), whereas the By-law permits a maximum building height of 9.8 m (32.15 ft). This represents an increase of approximately 0.77 m (2.53 ft).

The By-law calculates building height using the vertical distance of building or structure measured between the level of the crown of the street and highest point of the roof surface. It should be noted that the proposed grade of the front of the house is approximately 0.77 m (2.53 ft) above the crown of road. Adjacent homes on the street generally follow this pattern where they are typically above the crown of road. Staff are of the opinion that the requested variance is appropriate for the development.

Reduction in Front Yard Setback

The applicant is requesting relief to permit a minimum front yard setback of 23.45 ft (7.15 m), whereas the By-law requires a minimum front yard setback of 25 ft (7.62 m). This represents a

reduction of approximately 1.55 ft (0.47 m). The variance is entirely attributable to the front covered porch (and cold cellar in the basement). Excluding the front covered porch, a front yard setback of approximately 28.61 ft (8.72 m) which is more than what the by-law requires is provided to the main dwelling.

The applicant is applying for variances for maximum building height and minimum front yard setback due to the construction of a dwelling not in compliance with the applicable by-law or, in compliance with the approved building permit plans. Notwithstanding, Staff are of the opinion that the variance request for a reduction in front yard setback and maximum building height is appropriate for the development.

PUBLIC INPUT SUMMARY

No written submissions were received as of February 19, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.


Please see Appendix "A" for conditions to be attached to any approval of this application

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:




Stacia Muradali, Senior Planner, East District
File Path: Amanda\Fil\19 109746 \Documents\District Team Comments Memo

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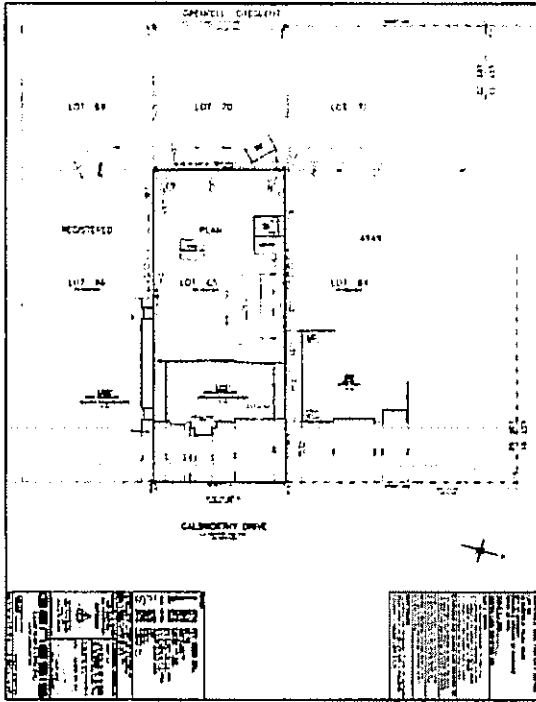
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3. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *January 09, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:

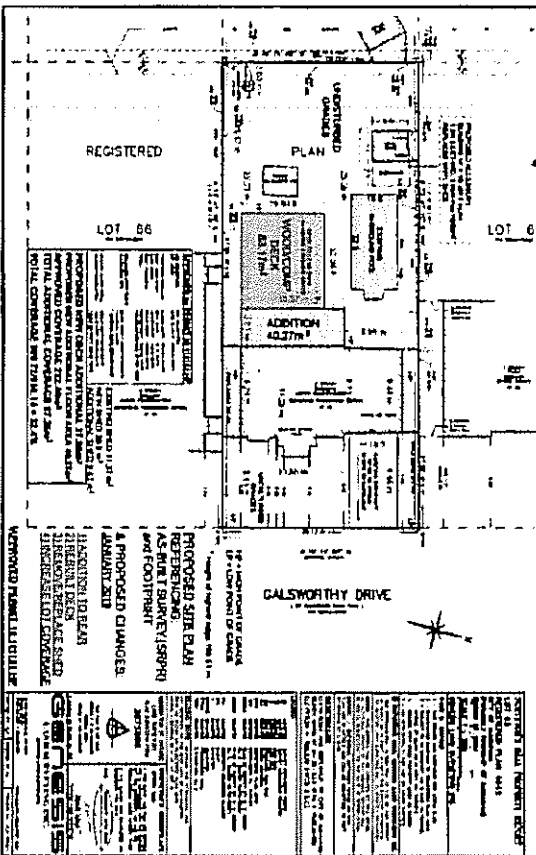


Aqsa Malik, Planner, Zoning and Special Projects

SURVEYORS REAL PROPERTY REPORT



PROPOSED ADDITION TO PERMITTED SINGLE FAMILY DWELLING



NOTE PREVIOUSLY DRAWINGS ISSUED FOR PERMIT:

TOPOGRAFICAL SURVEY BY: E. M. BOWYER, 1, FEB. 2016
 SHEET A1 APPROVED SITE PLAN BY: CZ DESIGNS, 11, FEB. 2016
 SHEET A2-A13 APPROVED ARCHITECTURAL DRAWINGS BY: CZ DESIGNS AND Y. C. LAI (P. ENG)

ATTACHED HERETO:

SHEET P-1: PROPOSED SITE PLAN FOR ADDITION AND AS-BUILT FOOTPRINT BASED ON SRPR
 SHEETS A1-A13 AS-BUILT ARCHITECTURAL DRAWINGS; BY L. BLUM AND E. E. H. GIRGIS (P. ENG)

APPENDED: TIMBERFIELD ROOF TRUSS STRUCTURAL DOCUMENTS AND LAYOUT
 PRE-ENG FLOOR STRUCTURE DOCUMENTS BY: DESIGN PLUS, 21 JUNE 2016

38 GALSWORTHY DR.
 ROLL #04028035600
 PLAN 4949 LOT 65 MARKHAM

BLUM RESIDENCE
 ADDITION & AS-BUILT
 PERMIT: 1811131 HP
 REVISIONS BY OWNER(S)

PROPOSED SITE PLAN
 AND GENESIS SRPR

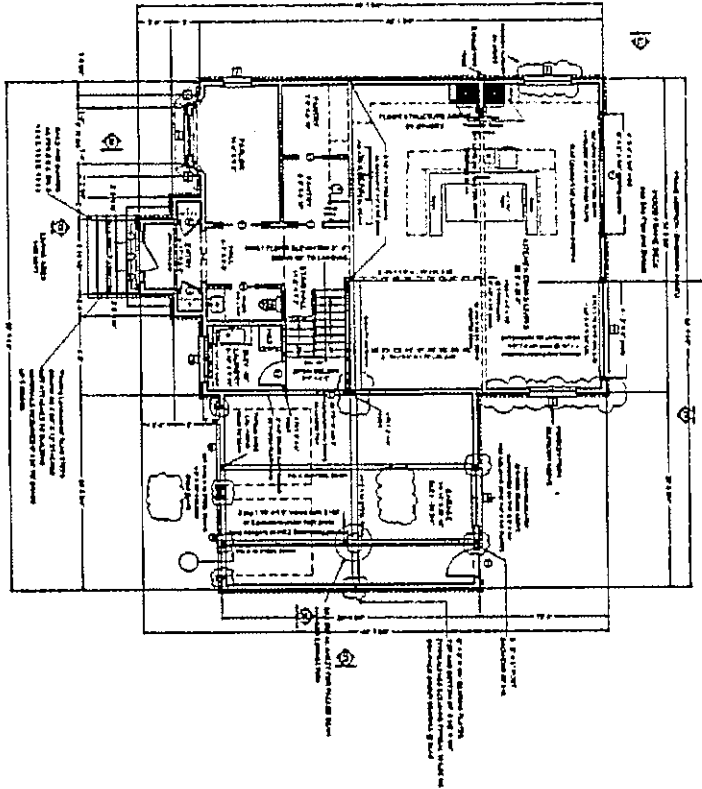
APPLICATION UNDER EXISTING
 PERMIT FOR PROPOSED
 ADDITION
 DOCUMENT AS-BUILT
 CONDITIONS

NO.	DATE	DESCRIPTION

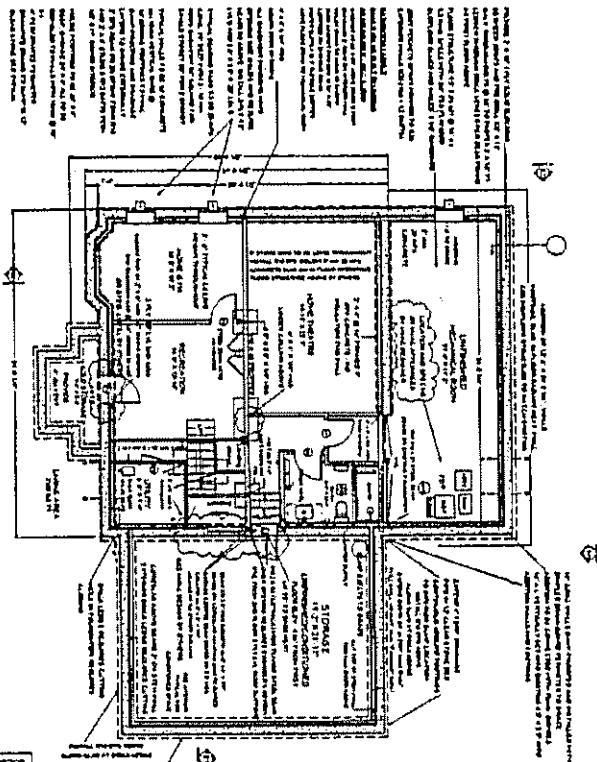
L. BLUM
 HOMELIFE
 SATVIEH
 REALTY

DATE: 09/01/2019
 SCALE: 1/8" = 1'-0"
 SHEET: P-1

GROUND FLOOR SCALE 3/16" = 1'-0"



BASEMENT SCALE 3/16" = 1'-0"



38 GALSWORTHY DR.
ROLL #04028035600
PLAN 4949 LOT 65 MARKHAM

DATE:	09/18/2019
SCALE:	AS NOTED
SHEET:	A-1

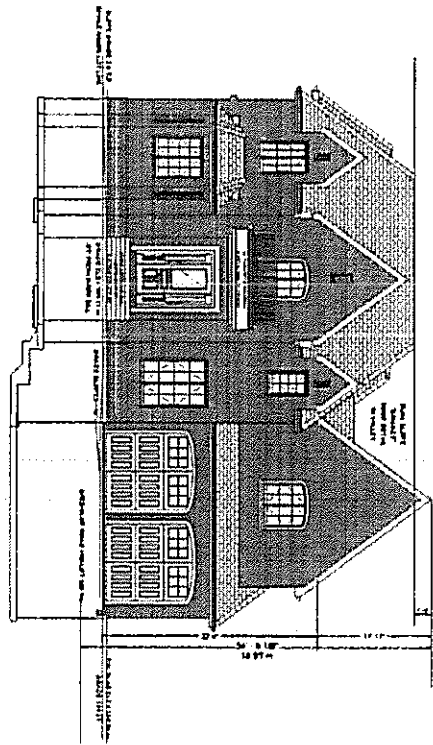
BLUM RESIDENCE
ADDITION & AS-BUILT
PERMIT: 1811331 HP
REVISIONS BY OWNER(S)

GROUND FLOOR &
BASEMENT PLAN

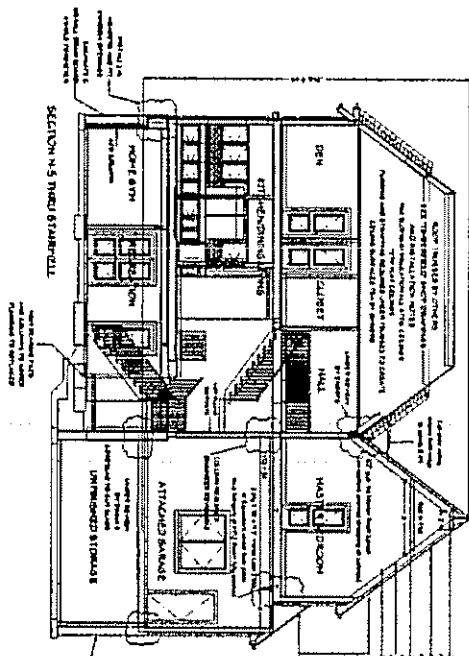
APPLICATION UNDER EXISTING
PERMIT FOR PROPOSED
ADDITION
DOCUMENT AS-BUILT
CONDITIONS

NO.	DATE	DESCRIPTION
1	09/18/2019	ISSUED FOR PERMIT
2	09/18/2019	AS-BUILT

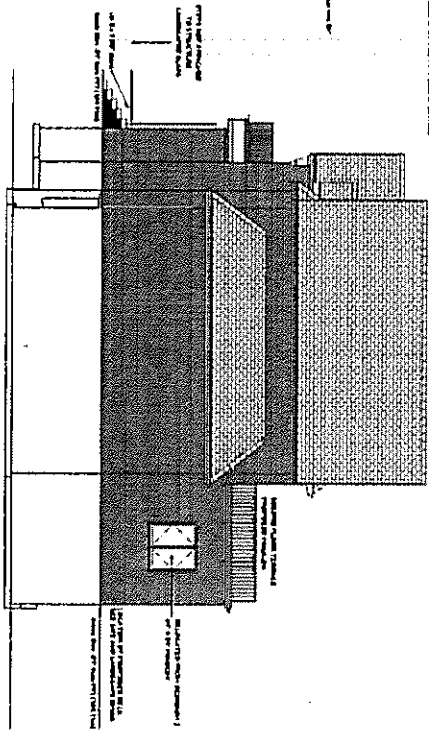
L. BLUM
HOME LIFE
BAYVIEW
REALTY



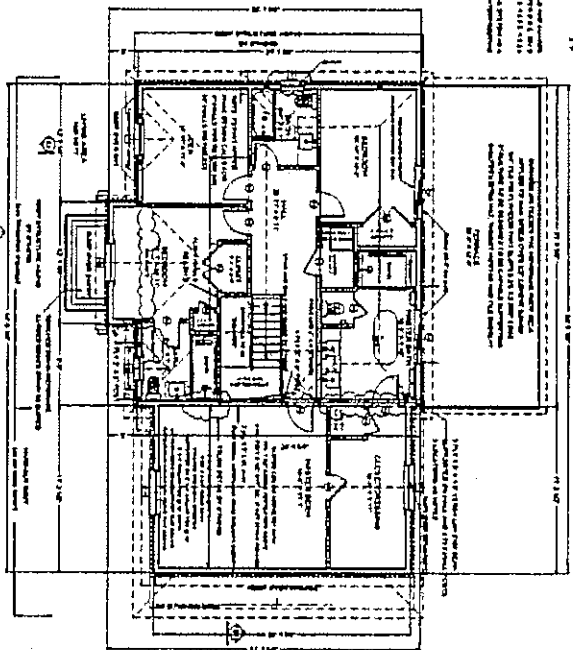
STREET EAST ELEVATION SCALE 3/16" = 1'-0"



SECTION N-5 LOOKING WEST SCALE 3/16" = 1'-0"

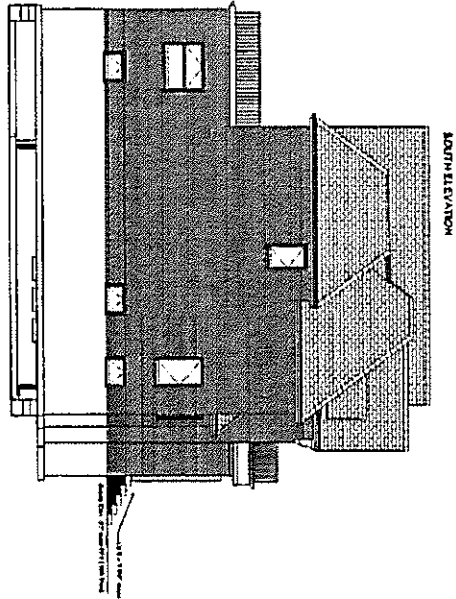


NORTH ELEV SCALE 3/16" = 1'-0"

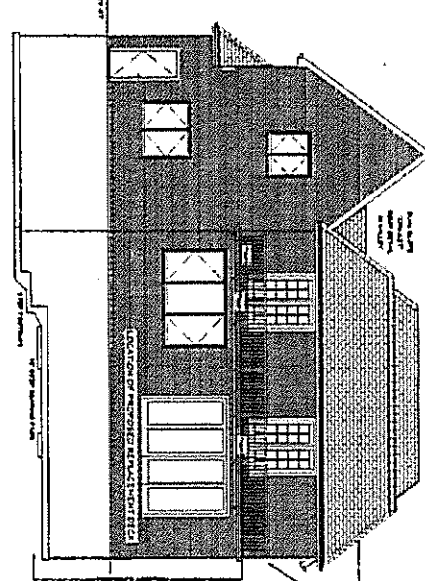


38 GALSWORTHY DR.
ROLL #04028035600
PLAN 4949 LOT 65 MARKHAM

SHEET:	DATE:	BLUM RESIDENCE ADDITION & AS-BUILT PERMIT: 1811131 HP REVISIONS BY OWNER(S)	SECOND FLOOR PLAN EAST NORTH ELEV SECTION N-5	APPLICATION UNDER EXISTING PERMIT FOR PROPOSED ADDITION DOCUMENT AS-BUILT CONDITIONS	PREPARED BY: L. BLUM 1811131 HP	L. BLUM HOMELIFE BAYVIEW REALTY
	SCALE:				REVIEWED BY: L. BLUM	



SOUTH ELEV SCALE 3/16" = 1'-0"



WEST ELEV SCALE 3/16" = 1'-0"

1. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.
 2. THE FINISHES TO BE USED SHALL BE AS SHOWN ON THE FINISH SCHEDULE.
 3. THE ROOF SHALL BE ASHLEIGH SHINGLES.
 4. THE EXTERIOR WALLS SHALL BE BRICK.
 5. THE INTERIOR WALLS SHALL BE PLASTER AND PAINT.
 6. THE FLOORING SHALL BE AS SHOWN ON THE FLOOR PLAN.
 7. THE CEILING SHALL BE PLASTER AND PAINT.
 8. THE DOORS SHALL BE AS SHOWN ON THE FLOOR PLAN.
 9. THE WINDOWS SHALL BE AS SHOWN ON THE FLOOR PLAN.
 10. THE PORCH SHALL BE CONCRETE ON GRADE.

38 GALSWORTHY DR.
 ROLL #04028035600
 PLAN 4949 LOT 65 MARKHAM

DATE:	09/01/2019
SCALE:	
SHEET:	

BLUM RESIDENCE
 ADDITION & AS-BUILT
 PERMIT: 1811131 HP
 REVISIONS BY OWNER(S)

WEST ELEVATION
 SOUTH ELEVATION

APPLICATION UNDER EXISTING
 PERMIT FOR PROPOSED
 ADDITION
 DOCUMENT AS-BUILT
 CONDITIONS

DATE:	09/01/2019
SCALE:	
SHEET:	

L. BLUM
 HOMELIFE
 BAYVIEW
 REALTY

