

## Memorandum to the City of Markham Committee of Adjustment

March 4, 2019

**File:** A/112/17  
**Address:** 104 Glen Cameron Road, Thornhill  
**Applicant:** Ron Pansino  
**Owners:** Kiril Penkov & Teodora Buhteva  
**Hearing Date:** March 13, 2019

Further to our previous comments provided to the Committee of Adjustment for the September 13, 2017 Hearing (see Attachment 1), the following revised comments are provided on behalf of the West Team:

The applicant is requesting relief from the requirements of By-law 2237, as amended to permit:

- a) **Section 4.1:**  
a second dwelling unit, whereas the By-law permits no more than one single detached dwelling on one lot;
- b) **Infill By-law 101-90, Section 1.2 (i):**  
a maximum building height of 9.22 m (30.24 ft.); whereas the By-law permits a maximum building height of 8.6 m (28.2 ft.);
- c) **Amending By-law 61-94, Section 4:**  
a minimum east side yard setback of 1.3 m (4.26 ft.); whereas the By-law requires a minimum side yard setback of 1.8 m (5.9 ft.);
- d) **Amending By-law 61-94, Section 4:**  
a minimum west side yard setback of 0.27 m (0.88 ft.), to an existing one storey carport, whereas the By-law requires a side yard setback of 1.2 m (3.9 ft.);

The requested variances relate to an addition to the existing dwelling.

### COMMENTS

This application was deferred sine die at the September 13, 2017 to provide the applicant an opportunity to confirm with Zoning staff whether any additional variances were required, including, to permit a "Second Dwelling Unit", and re-circulate / re-notify the application, if required. A Zoning Preliminary review (file no. ZPR 17 176805) was completed on May 2, 2018 to confirm the required variances as noted above.

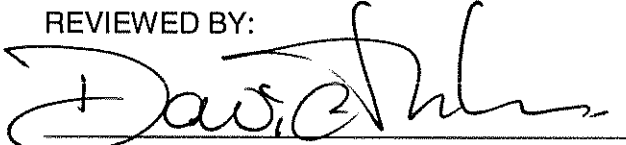
Planning Staff have reviewed the revised application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and have no concerns with this application. However, the onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Should the Committee see merit in approving the revised application as requested, it is recommended that the conditions provided in Appendix "A" be attached to any approval of this application.

PREPARED BY: 

Rick Cefaratti, Planner, West District

REVIEWED BY:



David Miller, West District Manager

## **APPENDIX "A"**

### **CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/112/17**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate.
6. That the reduced west side yard setback of 0.27 m (0.88 ft.) only applies to allow an unenclosed carport with no walls.
7. Submission and approval of a siting / grading plan of the property, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Engineering or designate;
8. That subject to the review and approval of a siting/grading plan, the owner demonstrate that there is no negative impact along any abutting property respecting surface water drainage, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Engineering or designate;

CONDITIONS PREPARED BY:



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Rick Cefaratti, MCIP, RPP, Planner II, West District

File Path: Amanda\File\17 171072\Documents\District Team Short Report Memo

104 GLEN CAMERON RD  
ADDITION / ALTERATION



**TBM**  
PROFESSIONAL ENGINEER  
ONCE AGAIN, WE'VE MET THE CHALLENGE

**TBM Engineers Inc.**  
1700 Lakeshore Blvd. W. Unit 100  
Richmond Hill, ON L4B 1R7  
www.tbme.ca  
416-882-8888



The Professional Engineer of record for this project is responsible for the design and construction of the project. The Professional Engineer is not responsible for the design and construction of any other project. The Professional Engineer is not responsible for the design and construction of any other project. The Professional Engineer is not responsible for the design and construction of any other project.

**PLEKS**  
Architectural Services

104 GLEN CAMERON  
Drawing Name  
COVER PAGE  
Date: 11/19/15  
Scale: 1:1  
Drawing No: A000

| SHEET LIST   |  |
|--------------|--|
| SHEET NUMBER | SHEET NAME                                 |
| A000         | COVER PAGE                                 |
| A100         | CONSTRUCTION NOTES                         |
| A102         | EXISTING/DEMOL. & PROPOSED FOUNDATION PLAN |
| A103         | PROPOSED FIRST & SECOND FLOOR PLANS        |
| A104         | ROOF PLAN DEMOLISHED & PROPOSED            |
| A105         | EXISTING / PROPOSED SOUTH ELEVATION        |
| A106         | EXISTING / PROPOSED WEST ELEVATION         |
| A107         | EXISTING / PROPOSED NORTH ELEVATION        |
| A108         | EXISTING / PROPOSED EAST ELEVATION         |
| A110         | BUILDING SECTIONS                          |
| A111         | DETAILS                                    |
| S-01         | FOUNDATION PLAN                            |
| S-02         | GROUND FLOOR PLAN                          |
| S-03         | SECOND FLOOR PLAN                          |

| Item | Project Description              | Ontario Building Code Data Matrix   |   | OBC Reference                   |  |
|------|----------------------------------|---|---|---------------------------------|--|
|      |                                  | Change of Use   | New                                     | Part 3                          | Part 9                                     |
| 1    | Major Occupancy (s) C            | <input type="checkbox"/> Change of Use  | <input type="checkbox"/> New            | <input type="checkbox"/> Part 3 | <input checked="" type="checkbox"/> Part 9 |
| 2    | Building Area (sq. m)            | Existing 93.8   | New 59.8                                | 3.1.2.1.(1)                     | 9.10.2                                     |
| 3    | Building Area (sq. m)            | Existing 93.8   | Total 153.6                             | 1.4.1.2(A)                      | 1.4.1.2(A)                                 |
| 4    | Gross Area (sq. m)               | Existing 93.8   | Total 211.4                             | 1.4.1.2(A)                      | 1.4.1.2(A)                                 |
| 5    | Number of Storeys                | Above grade 2   | Below grade 0                           | 1.4.1.2(A) & 3.2.1.1            | 1.4.1.2(A)                                 |
| 6    | Number of Stairs/Access Routes   | 1   |   | 3.2.2.10 & 3.2.5                | 9.10.20                                    |
| 7    | Building Classification          | RESIDENTIAL   |   | 3.2.2.23                        | 9.10.2                                     |
| 8    | Sprinkler System Proposed        | <input type="checkbox"/> Entire Building<br><input type="checkbox"/> Basement only<br><input type="checkbox"/> In lieu of roof rating<br><input checked="" type="checkbox"/> Not required |   | 3.2.2.23                        | 9.10.2                                     |
| 10   | Staircase Required               | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |   | 3.2.9.1                         | NA   |
| 11   | Fire Alarm Required              | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |   | 3.2.4                           | 9.10.18                                    |
| 12   | Water Service Supply is Adequate | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No   |   | 3.2.5.7                         | NA   |
| 13   | High Building                    | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |   | 3.2.9                           | NA   |
| 14   | Permitted Construction           | <input checked="" type="checkbox"/> Combustible<br><input type="checkbox"/> Non-combustible<br><input type="checkbox"/> Both  |   | 3.2.2.23                        | 9.10.6                                     |
| 15   | Actual Construction              | <input checked="" type="checkbox"/> Combustible<br><input type="checkbox"/> Non-combustible<br><input type="checkbox"/> Both  |   | 3.2.1.1.(3)-(6)                 | 9.10.4.1                                   |
| 16   | Occupant load based on           | <input type="checkbox"/> sq. m/Person<br><input checked="" type="checkbox"/> Design of Building   |   | 3.1.1.7                         | 9.10.1.2                                   |
| 17   | 1st Floor Occupancy              | Load 4  | Persons                                 |                                 |  |
| 17   | 2nd Floor Occupancy              | Load 6  | Persons                                 |                                 |  |
| 17   | Barrier-free Design              | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)   |   | 3.8                             | 9.5.2                                      |
| 18   | Hazardous Substances             | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No   |   | 3.3.1.2 & 3.3.1.20              | 9.10.1.3(4)                                |
| 19   | Required Fire Rating (FRR)       | Horizontal Assemblies<br>FRR (Hours)  | Listed Design No. or Description (SG-2) | 3.2.2.23 & 3.2.1.4              | 9.10.8 & 9.10.9                            |
|      | Floors                           | 0   | Hours                                   |                                 |  |
|      | Roof                             | 0   | Hours                                   |                                 |  |
|      | Mezzanine                        | 0   | Hours                                   |                                 |  |
|      | FRR of Supporting Members        |   | NON-COMBUSTIBLE CONSTRUCTION            |                                 |  |
|      | Floors                           | N/A   | Hours                                   |                                 |  |
|      | Roof                             | N/A   | Hours                                   |                                 |  |
|      | Mezzanine                        | 0   | Hours                                   |                                 |  |
|      |                                  |   | NON-COMBUSTIBLE CONSTRUCTION            |                                 |  |
|      |                                  |   |   | 3.2.2.23                        |  |





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 www.tbmengineers.com  
 tbm@tbmengineers.com



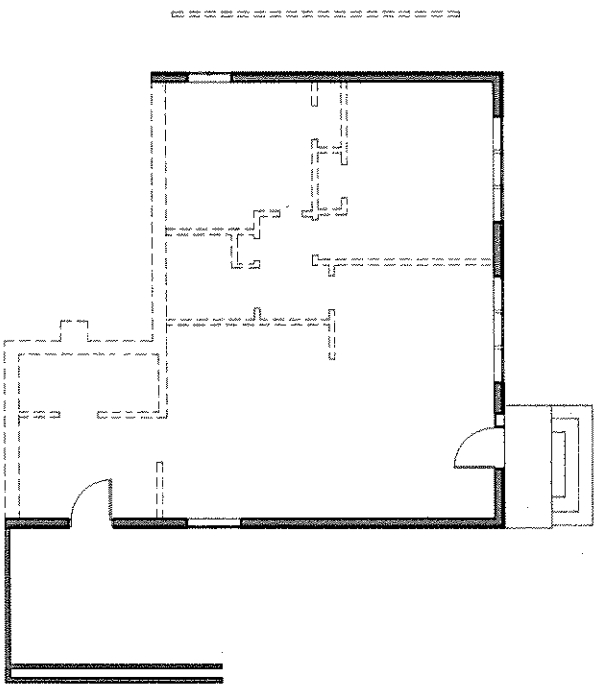
PLEKS  
 Architectural Services  
 104 GLETT CAMERON  
 Project Address:  
 104 GLETT CAMERON  
 EXISTING/DEMOLITION & PROPOSED FOUNDATION PLAN  
 SHEET SP Date: 02/08/16  
 Drawn By: JG Scale: 1/25

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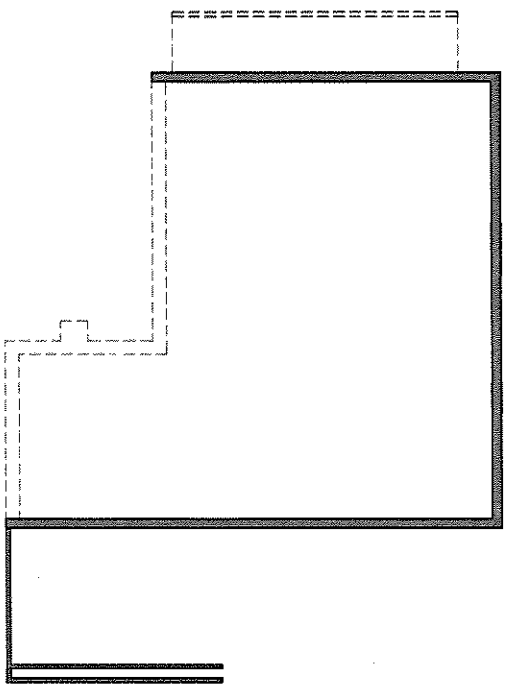
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| Drawn By:        | JG   |
| Scale:           | 1/25   |



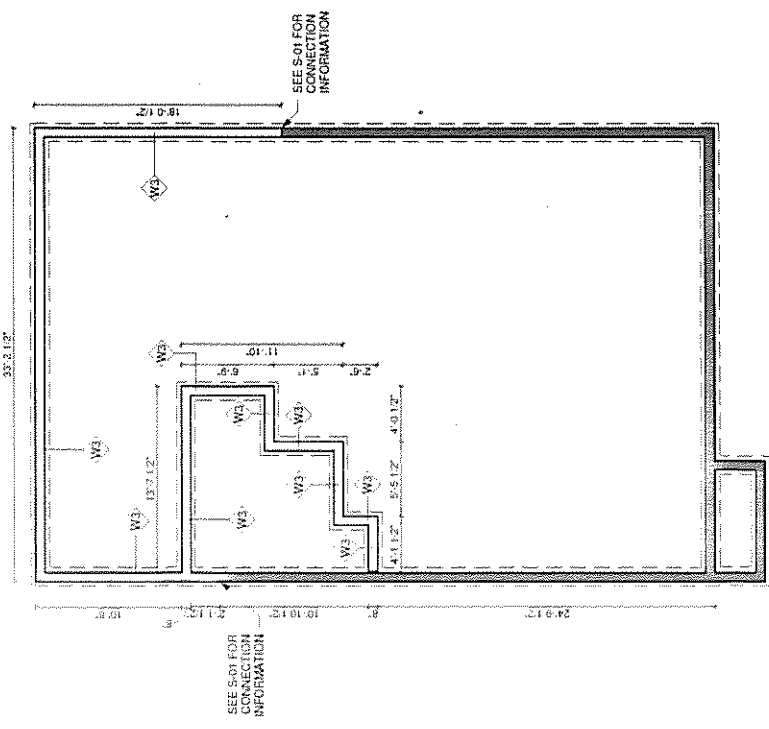
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**1ST FLOOR - DEMO**  
 1 : 75

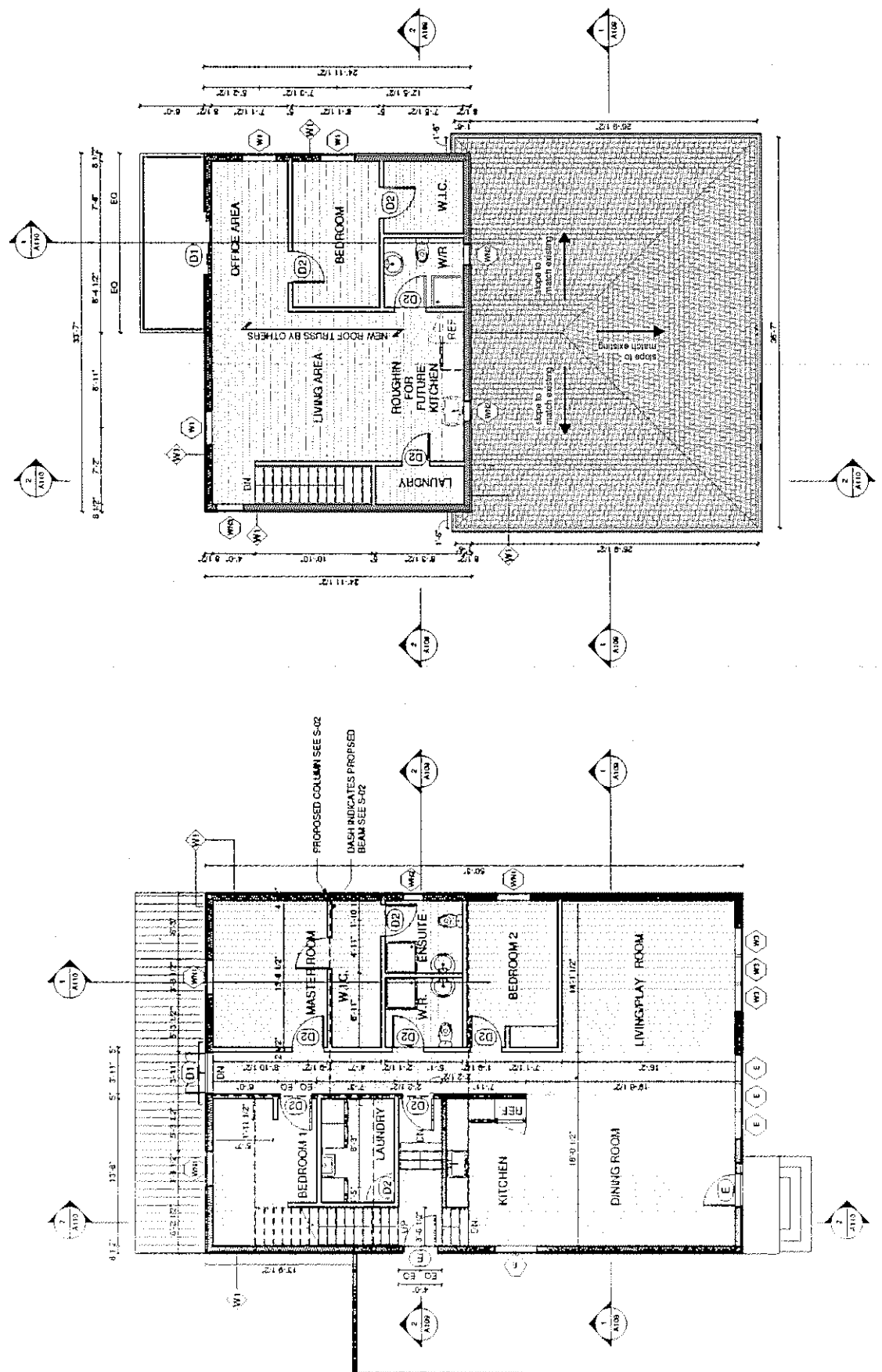


**FOUNDATION - DEMO**  
 1 : 75



**FOUNDATION PROPOSED**  
 1 : 75

GENERAL NOTE:  
PROPOSED LINTELS FOR EXTERIOR OPENINGS, REFER TO S-02 & S-03.

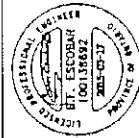


2 PROPOSED - 1ST FLOOR  
1:75

1 PROPOSED - 2ND FLOOR  
1:75



**TBM Engineers Inc.**  
12 Adelaide Street West, 8th Floor  
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**PLEKS**  
ARCHITECTURAL SERVICES INC.

|               |                  |
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| Project Name: | 101 GLEN CAMERON |
| Drawn By:     | SP               |
| Check By:     | JG               |
| Date:         | 05/28/14         |
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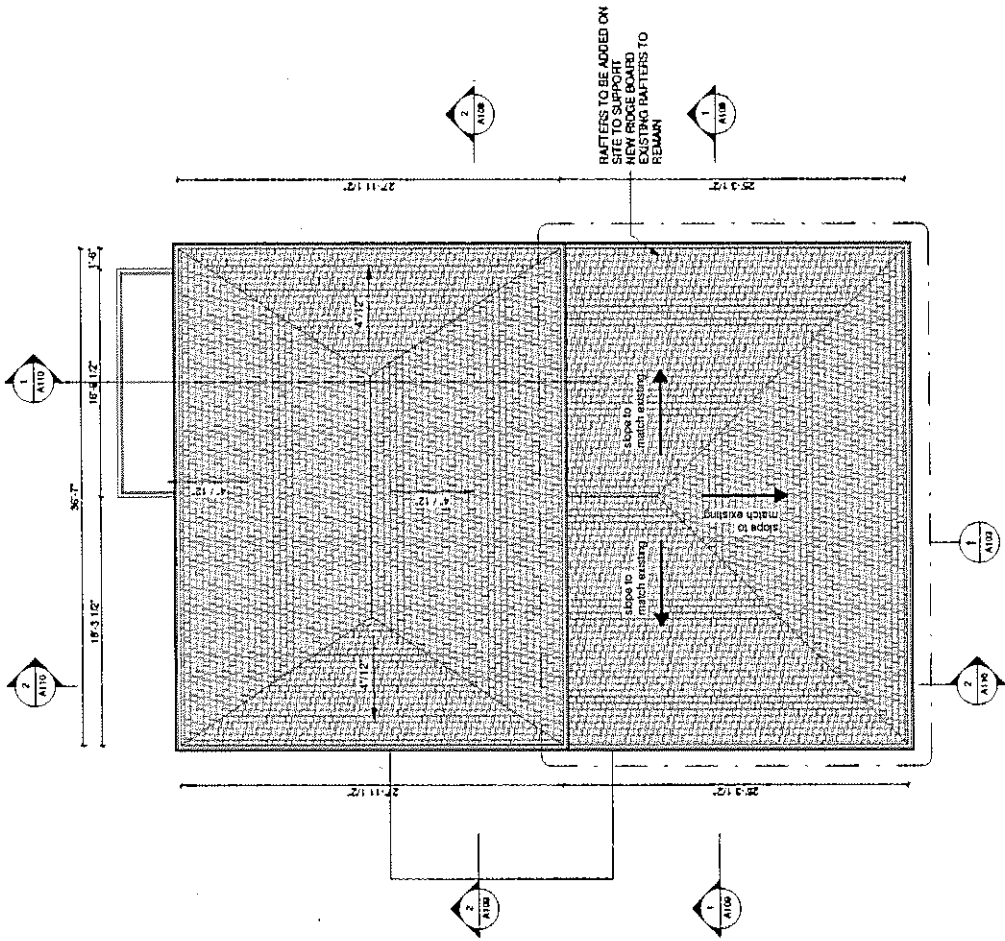


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 177 Adams St. (2nd Fl.)  
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 info@tbme.com

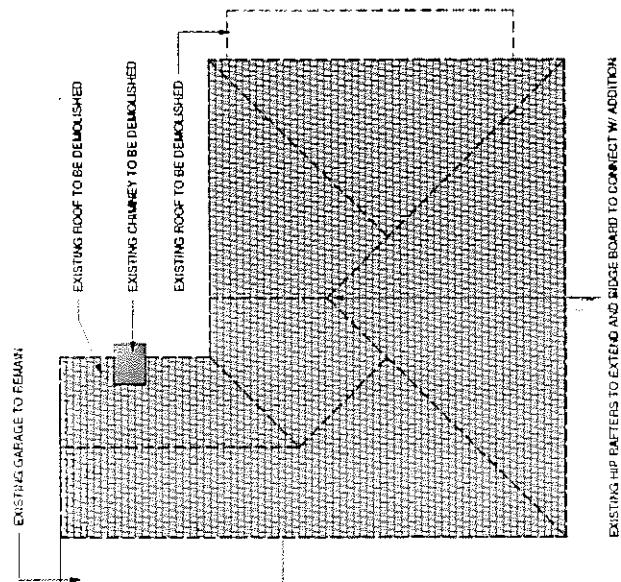


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|               |                  |
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| Drawn by:     | SP               |
| Checked by:   | JG               |
| Date:         | 06/27/14         |
| Scale:        | 1:75             |
| Sheet No.:    | A104             |



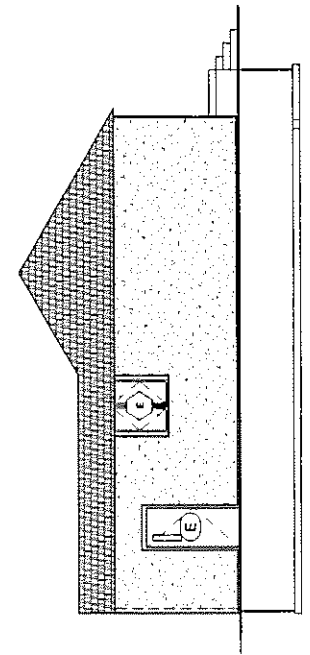
**2** PROPOSED ROOF PLAN  
 1:75



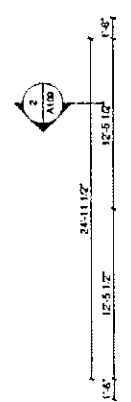
**1** ROOF DEMOLITION PLAN  
 1:75



TOP OF EXISTING ROOF 5,736  
 2ND FLOOR 3,327  
 1ST FLOOR 660  
 GRADE 0  
 T/O FOOTING -1,219



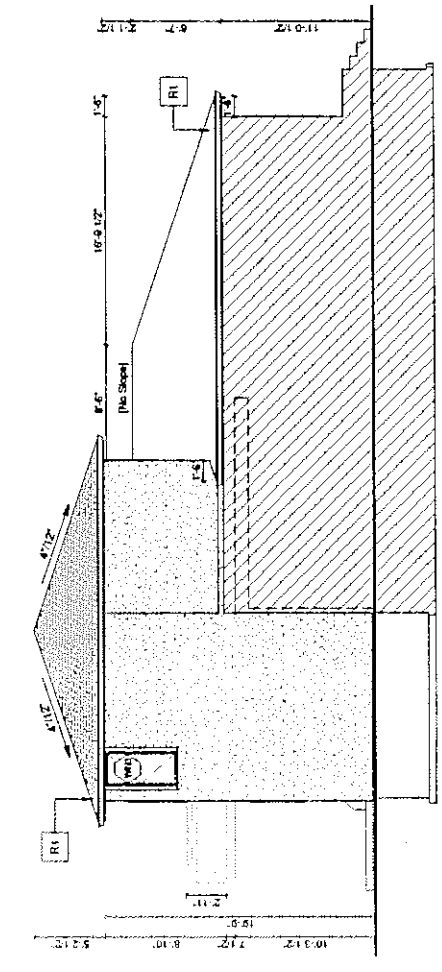
(2) EXISTING WEST  
 ELEVATION  
 1:75



1  
A106

2  
A106

TOP OF ROOF EXTENSION 7,614  
 U/S OF SOFFIT 6,009  
 2ND FLOOR 3,327  
 1ST FLOOR 660  
 GRADE 0  
 T/O FOOTING -1,219



(1) PROPOSED WEST  
 ELEVATION  
 1:75

1  
A106

2  
A106



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 www.tbmengineers.com  
 info@tbmengineers.com



I hereby certify that the work shown on these drawings was prepared by me or a duly licensed professional engineer or architect under my direct supervision and that I am a duly licensed professional engineer or architect in the State of Washington. The work shown on these drawings was prepared by me or a duly licensed professional engineer or architect under my direct supervision and that I am a duly licensed professional engineer or architect in the State of Washington.

**PLEKS**  
 ARCHITECTS & INTERIORS  
 104 GREEN CAMERON  
 SEATTLE, WA 98101

|              |                                    |
|--------------|------------------------------------|
| Project Name | 104 GREEN CAMERON                  |
| Client       | EXISTING / PROPOSED WEST ELEVATION |
| City         | SP                                 |
| Scale        | 1:75                               |
| Drawn by     | JL                                 |
| Checked by   | SP                                 |
| Date         | 06/09/16                           |

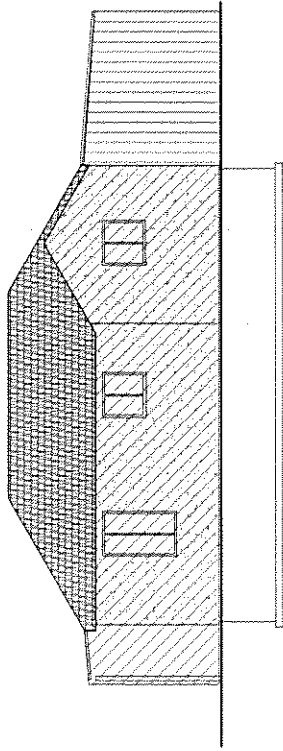
Drawing No. **A106**

TOP OF EXISTING ROOF 5,736

1ST FLOOR 660

GRADE 0

1/0 FOOTING -1,219



EXISTING NORTH ELEVATION

2 1:75



TOP OF ROOF EXTENSION 7,614

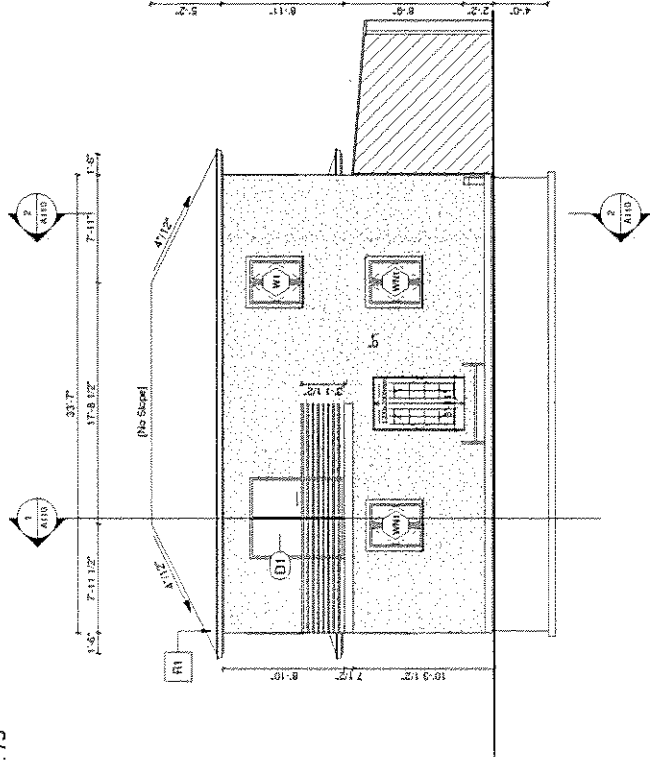
US OF SOFFIT 6,039

2ND FLOOR 3,327

1ST FLOOR 660

GRADE 0

1/0 FOOTING -1,219



PROPOSED NORTH ELEVATION

1 1:75



BASE GRADE: 660.00

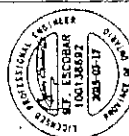
**TBM Engineers Inc.**  
 111, 113, 115, 117, 119, 121, 123, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 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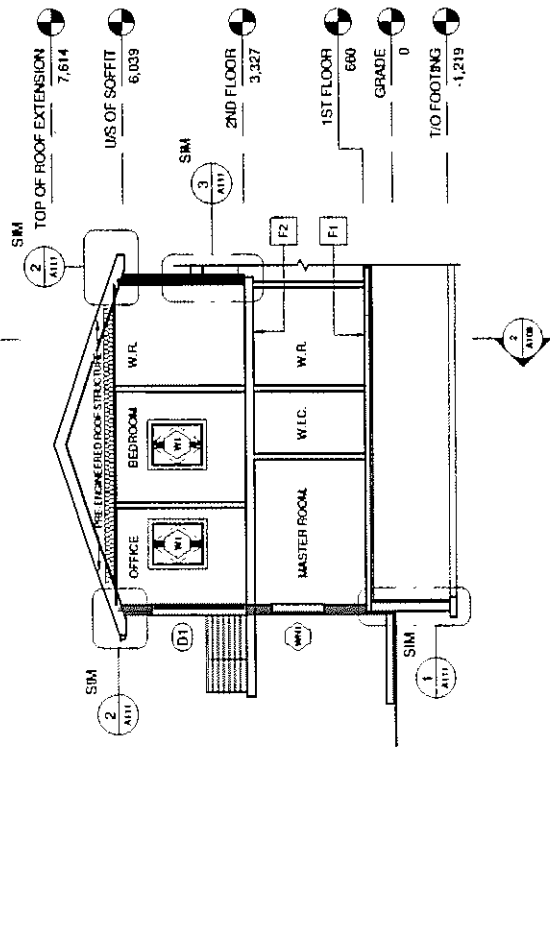
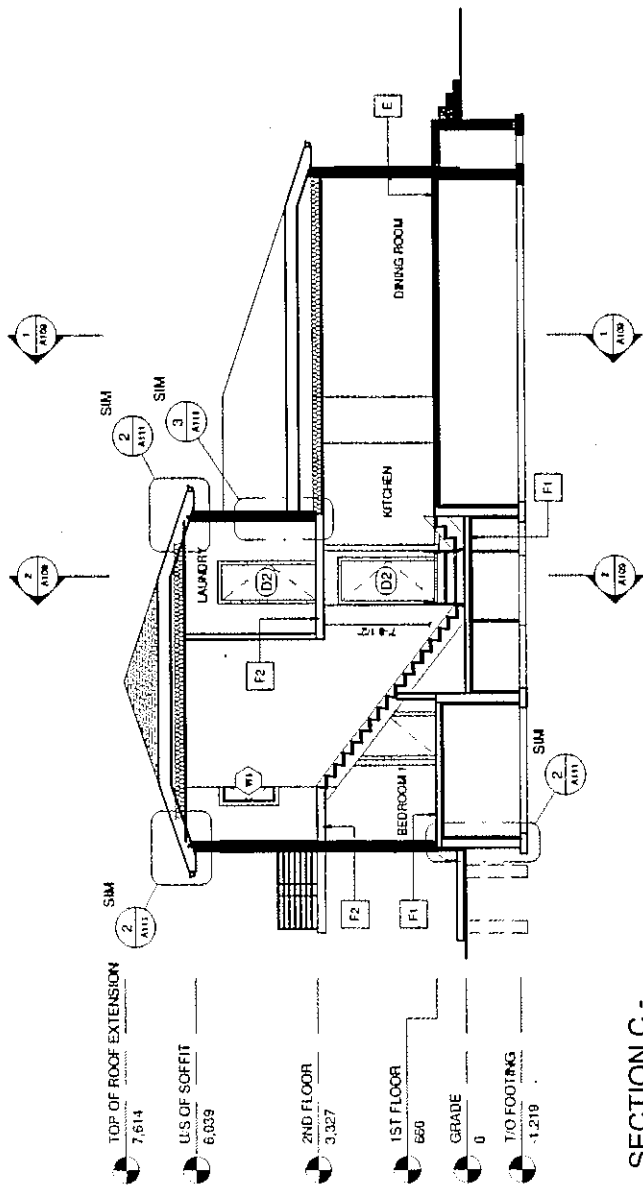
**TBM Engineers Inc.**  
 17700 Highway 101, Unit 101, Richmond, BC V6V 2G9  
 www.tbme.ca  
 604-273-8888



**PLEKS**  
 Project Manager  
 104 GLEN CAMERON  
 BULLINGTON SECTIONS  
 CONTINUED  
 Date: 06/04/18  
 Drawn by: JG  
 Check by: SP  
 Scale: 1/8"

**PLEKS**  
 Architectural Services

Drawing No. **A110**







**Memorandum to the City of Markham Committee of Adjustment**  
September 7, 2017

**File:** A/112/17  
**Address:** 104 Glen Cameron Road, Thornhill  
**Applicant:** Ron Pansino  
**Owners:** Kiril Penkov & Teodora Buhteva  
**Hearing Date:** Wednesday September 13, 2017

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2237, as amended:

**a) Section 2.11:**

to permit a second kitchen on the second floor within a single residential dwelling unit; whereas, the By-law definition of 'Dwelling, Single Family' permits one kitchen within a single residential dwelling unit;

**b) Infill By-law 101-90, Section 1.2 (i):**

a maximum building height of 9.22 m whereas the By-law permits a maximum building height of 8.6 m;

**c) Amending By-law 61-94, Section 4:**

a minimum east side yard setback of 1.49 m whereas the By-law requires a minimum side yard setback of 1.8 m; as it relates to an addition to the existing dwelling.

**BACKGROUND**

**Property Description**

The 650 m<sup>2</sup> property is located on the north side of Glen Cameron Road, approximately 45 m east of Lillian Avenue. The property contains a one storey detached dwelling constructed circa 1953 and mature vegetation. To the north, east and west of the property are single detached dwellings, and to the south across Glen Cameron Road is a two storey industrial building containing a courier company and a tire retailer.

**Proposal**

The applicant is proposing a second storey addition to the existing dwelling while providing the same side yard setbacks as the first floor.

**Official Plan & Zoning**

Official Plan

The site is designated 'Residential Low Rise' in the 2014 Official Plan (partially approved as of October 29, 2015, May 26, 2016, March 10, 2017 & April 21, 2017) which provides for low rise housing forms including single detached dwellings.

#### Zoning By-law

The property is zoned R4S (Residential Fourth Density Special) under By-law 2237, as amended which permits single detached dwellings. This zone category only permits one kitchen within a single residential dwelling unit.

#### Residential Infill Zoning By-law

The property is also subject to Residential Infill Zoning By-law 101-90, which amends By-law 2237. The intent of this by-law amendment is to ensure that any redevelopment of existing residential dwellings reflects the prevailing established and stable character of the neighbourhood. In order to maintain the character of the existing neighbourhood, the infill by-law specifies zoning standards for building depth, garage projection, garage width, floor area ratio, height, front yard setback and number of stories.

#### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant on the application form, the "Building exists. Constructed 1953".

#### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

#### Second Kitchen Variance

The applicant is proposing a second kitchen, whereas, a maximum of one kitchen is permitted. Staff have no objections in principle to the requested variance. However, based on the plans submitted with the application, the second kitchen will be located within the proposed second floor addition which also contains a bedroom and washroom and this area appears to be consistent with the definition of a "Secondary Suite" described in the City's 2014 Official Plan. A Secondary Suite is defined as "a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons.

The owner may be required to submit an additional variance application if the proposed renovations are deemed to be a "Secondary Suite" through the Building Permit process.

#### Increased Building Height Variance

The applicant is proposing a maximum building height of 9.22 m, whereas, a maximum building height of 8.6 m is permitted. This represents an increase 0.62 m or approximately 7 percent. Building Height is measured from the centre line of the road to the peak of the roof ridge. Staff does not anticipate any adverse impacts to adjacent property owners as a result of the requested variance.

### Reduced Side Yard Setback

The applicant is proposing a reduced a minimum east side yard setback of 1.49 m, whereas, a minimum side yard setback of 1.8 m is required. The applicant is proposing to align the proposed second floor exterior wall with the existing first floor exterior wall. Staff does not anticipate any adverse impacts to adjacent property owners as a result of the requested variance.

### Tree Preservation

Should the Committee decide to approve this application, Staff recommends that the owner be required, as a condition of approval, to submit a tree assessment and preservation plan in accordance with the City of Markham, Trees for Tomorrow Streetscape Manual, as amended, to the satisfaction of the Director of Planning and Urban Design Department prior to site work. In addition, subject to review of the tree assessment and preservation plan, tree replacement fees are to be paid to the City of Markham, if required by the Director of Planning and Urban Design or his designate.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of September 7, 2017. It is noted that additional comments may be received after the writing of this report, and the Secretary-Treasurer will provide comment on this at the Committee of Adjustment Hearing.

### **Zoning Preliminary Review Not Undertaken**

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been undertaken. Consequently, it is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variances in the application contains errors, or if the need for additional variances are identified during the Building Permit review process, further variance application(s) may be required to address the outstanding matters and there will be a delay in application processing.

### **CONCLUSION**

It is the opinion of the Planning staff that the requested variances meet the four tests of the Planning Act. However, it is recommended that the application is deferred to provide applicant an opportunity to confirm with the Zoning Department whether an additional variance is required to permit a "Second Dwelling Unit" as well as to re-circulate and re-notify the application, if required.

Notwithstanding the above, the onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Should the Committee see merit in approving the application as requested, it is recommended that the conditions provided in Appendix "A" be attached to any approval of this application.

PREPARED BY:



Rick Cefaratti, MCIP, RPP, Planner II, West District

REVIEWED BY:



David Miller, MCIP, RPP, Manager, West District

File Path: Amanda\File\17 171072\Documents\District Team Comments Memo

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/112/17**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Director of Planning and Urban Design or their designate;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate.

CONDITIONS PREPARED BY:



Rick Cefaratti, MCIP, RPP, Planner II, West District

104 GLEN CAMERON RD  
ADDITION / ALTERATION



IBM Engineers Inc.  
1001 S. 10th St.  
Tomball, TX 77375  
www.ibm-engineers.com  
409-291-1111



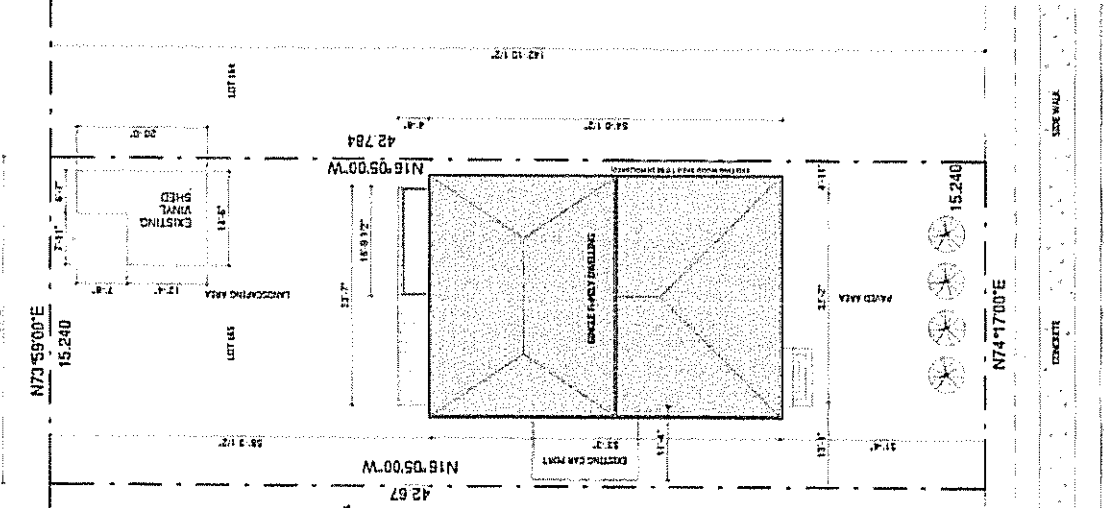
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**PLEKS**  
Professional Engineer  
State of Texas  
No. 10013

TO: CLIENT/OWNER  
FROM: ENGINEER  
DATE: 11/19/14  
SHEET NO. 1  
JOB NO. 104 GLEN CAMERON RD

| Item | Project Description              | Change of Use                                   | Change of Use  | Permit                          | Permit                                     | Permit Reference |
|------|----------------------------------|---|--|---------------------------------|--|------------------|
| 1    | Project Description              | <input type="checkbox"/> New                    | <input checked="" type="checkbox"/> Addition           | <input type="checkbox"/> Part 1 | <input checked="" type="checkbox"/> Part 9 |                  |
| 2    | Major Occupancy (S) C            |   |  | 3.1.2.1 (1)                     | 9.10.2                                     |                  |
| 3    | Building Area (sq. ft.)          | Existing 518                                    | New 518  | 1.4.1.2 (4)                     | 1.4.1.2 (4)                                |                  |
| 4    | Clear Area (sq. ft.)             | Existing 88.8                                   | New 88.8   | 1.4.1.2 (4)                     | 1.4.1.2 (4)                                |                  |
| 5    | Number of Stories                | Above grade 2                                   | Below grade 0  | 1.4.1.2 (4) & 3.2.1.1           | 1.4.1.2 (4)                                |                  |
| 6    | Building Classification          | RESIDENTIAL                                     |  | 3.2.2.1 (1) & 3.2.2.1           | 9.10.2                                     |                  |
| 7    | Building Classification          | RESIDENTIAL                                     |  | 3.2.2.2                         | 9.10.2                                     |                  |
| 8    | Specialty System Proposed        | <input type="checkbox"/> Elevator               | <input type="checkbox"/> Escalator                     |                                 |  |                  |
| 9    | Specialty System Proposed        | <input type="checkbox"/> Basement only          | <input type="checkbox"/> In-kind roof only             |                                 |  |                  |
| 10   | Specialty System Proposed        | <input type="checkbox"/> Not required           |  | 3.2.2.1                         | 9.10.2                                     |                  |
| 11   | Fire Alarm Required              | <input type="checkbox"/> Yes                    | <input checked="" type="checkbox"/> No                 | 3.2.4                           | 9.10.2                                     |                  |
| 12   | Water Service Supply is Adequate | <input checked="" type="checkbox"/> Yes         | <input type="checkbox"/> No                            | 3.2.5.7                         | 9.10.2                                     |                  |
| 13   | High Building                    | <input type="checkbox"/> Yes                    | <input checked="" type="checkbox"/> No                 | 3.2.6                           | 9.10.2                                     |                  |
| 14   | Permitted Construction           | <input checked="" type="checkbox"/> Combustible | <input type="checkbox"/> Non-combustible               | 3.2.2.2 (1)                     | 9.10.2                                     |                  |
| 15   | Actual Construction              | <input type="checkbox"/> Combustible            | <input type="checkbox"/> Non-combustible               |                                 |  |                  |
| 16   | Maximum (1) Area (sq. ft.)       | 0   | 0  | 3.2.1.1 (1) & (2)               | 9.10.2                                     |                  |
| 17   | Occupant load based on           | <input type="checkbox"/> Team/Person            | <input checked="" type="checkbox"/> Design of Building | 3.1.1.7                         | 9.10.2                                     |                  |
| 18   | 1st Floor Occupancy              | 0   | 0  |                                 |  |                  |
| 19   | 2nd Floor Occupancy              | 0   | 0  |                                 |  |                  |
| 20   | Hazardous Substances             | <input type="checkbox"/> Yes                    | <input checked="" type="checkbox"/> No                 | 3.8                             | 9.5.2                                      |                  |
| 21   | Historical Assemblies            | <input type="checkbox"/> Yes                    | <input checked="" type="checkbox"/> No                 | 3.1.1.2 & 3.1.1.3               | 9.10.2 (H)                                 |                  |
| 22   | Fire Resistance Rating (FRR)     | 0   | 0  | 3.2.2.2 (1) & 3.2.1.4           | 9.10.2 & 9.10.2                            |                  |
| 23   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 24   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 25   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 26   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 27   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 28   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 29   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 30   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 31   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 32   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 33   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 34   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 35   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 36   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 37   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 38   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 39   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 40   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 41   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 42   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 43   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 44   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 45   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 46   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 47   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 48   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 49   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 50   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 51   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 52   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 53   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 54   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 55   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 56   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 57   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 58   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 59   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 60   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 61   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 62   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 63   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 64   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 65   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 66   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 67   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 68   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 69   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 70   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 71   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 72   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 73   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
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| 79   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
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| 82   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 83   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 84   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 85   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
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| 90   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 91   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 92   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 93   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 94   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 95   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 96   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 97   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 98   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 99   | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |
| 100  | Fire Resistance Rating (FRR)     | 0   | 0  |                                 |  |                  |

| SHEET NUMBER | SHEET LIST                                 | SHEET NAME |
|--------------|--|------------|
| A-000        | COVER PAGE                                 |            |
| A-100        | CONSTRUCTION NOTES                         |            |
| A-102        | EXISTING, DEMO, & PROPOSED FOUNDATION PLAN |            |
| A-103        | PROPOSED FIRST & SECOND FLOOR PLANS        |            |
| A-104        | ROOF PLAN DEMOLISHED & PROPOSED            |            |
| A-105        | EXISTING / PROPOSED SOUTH ELEVATION        |            |
| A-106        | EXISTING / PROPOSED WEST ELEVATION         |            |
| A-107        | EXISTING / PROPOSED NORTH ELEVATION        |            |
| A-108        | EXISTING / PROPOSED EAST ELEVATION         |            |
| A-109        | BUILDING SECTIONS                          |            |
| A-110        | BUILDING SECTIONS CONTINUED                |            |
| A-111        | DETAILS                                    |            |
| S-01         | FOUNDATION PLAN                            |            |
| S-02         | GROUND FLOOR PLAN                          |            |
| S-03         | SECOND FLOOR PLAN                          |            |



**THE CALCULATIONS FOR UNPROTECTED OPENINGS WITH CHANGES INDICATED AS FOLLOWS:**

**SOUTH SIDE:**  
 UNINTERRUPTED DISTANCE 8.5M  
 UNINTERRUPTED EXPOSING BUILDING FACE AREA: 50.74M<sup>2</sup> - 100%  
 SOUTH SIDE OPENING AREA: 18.84M<sup>2</sup>  
 PROPOSED 21.1% UNPROTECTED OPENINGS, WHILE CBC ALLOWS 96% (12.23.1.B)

**NORTH SIDE:**  
 UNINTERRUPTED DISTANCE 17.74M  
 UNINTERRUPTED EXPOSING BUILDING FACE AREA: 9.34M<sup>2</sup>  
 NORTH SIDE OPENING AREA: 9.34M<sup>2</sup>  
 PROPOSED 15.5% UNPROTECTED OPENINGS, WHILE CBC ALLOWS 100% (2.2.31.B)

**WEST SIDE:**  
 UNINTERRUPTED DISTANCE 4.1M  
 UNINTERRUPTED EXPOSING BUILDING FACE AREA: 3.11M<sup>2</sup>  
 WEST SIDE OPENING AREA: 7.14M<sup>2</sup>  
 PROPOSED 4% UNPROTECTED OPENINGS, WHILE CBC ALLOWS 11.09% (2.2.31.1.6)

**EAST SIDE:**  
 UNINTERRUPTED DISTANCE 15.1M  
 UNINTERRUPTED EXPOSING BUILDING FACE AREA: 71.4M<sup>2</sup>  
 EAST SIDE OPENING AREA: 4.3M<sup>2</sup>  
 PROPOSED 6% UNPROTECTED OPENINGS, WHILE CBC ALLOWS 6.1% (2.2.31.1.6)

**WINDOWS CALCULATIONS**

**SITE PLAN CALCULATIONS AS FOLLOWS:**  
 ALLOWED MAXIMUM LOT COVERAGE 31.3% OR 2.21HSF  
 CALCULATIONS FOR THIS PROJECT:  
 1. HOUSE 1.28SF  
 2. HOUSE 2.85SF  
 3. CARPORT 105SF  
 TOTAL 2.28SF  
 MAXIMUM NEW ROOF HEIGHT FROM THE MIDDLE OF THE ROAD 8.5M

**SITE CALCULATIONS**  
 1:1

**1. GENERAL NOTES:**  
 ALL WORK TO BE DONE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CBC) AND ALL APPLICABLE BY-LAWS AND ORDINANCES.  
 ALL FOUNDATIONS TO BE CONCRETE ON GRADE.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

**WALL TYPE LEGEND**

|    |                |
|----|----------------|
| W1 | EXISTING WALLS |
| W2 | NEW WALLS      |
| W3 | DEMOLISHED     |

**FLOOR TYPE LEGEND**

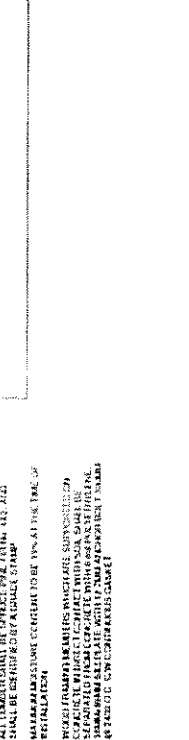
|    |              |
|----|--------------|
| F1 | FIRST FLOOR  |
| F2 | SECOND FLOOR |


**ROOF TYPE LEGEND**

|    |                  |
|----|------------------|
| R1 | ASPHALT SHINGLES |
|----|------------------|

**DOOR AND WINDOW TYPE LEGEND**


|     |       |
|-----|-------|
| W10 | WOOD  |
| W20 | WALL  |
| W30 | GLASS |





**TBM.**  
INCORPORATED

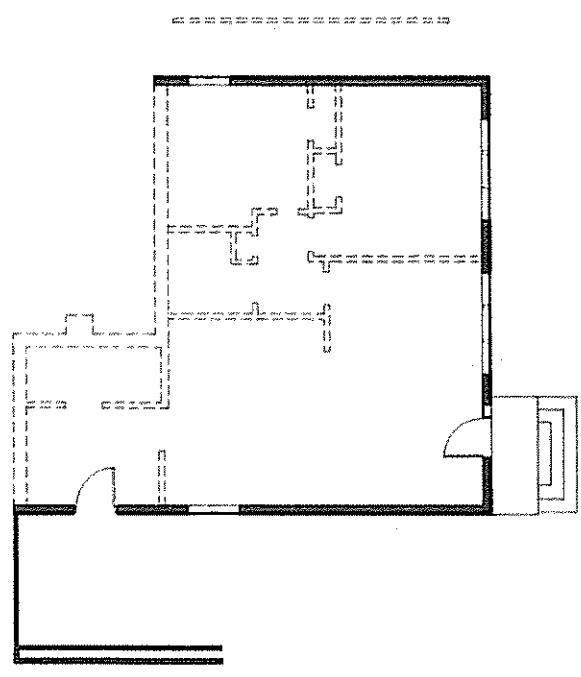
**TBM Engineers Inc.**  
211 Adams Lane, 1st  
Newburgh, NY 12550  
Tel: (518) 537-1100  
Fax: (518) 537-1101  
www.tbm.com



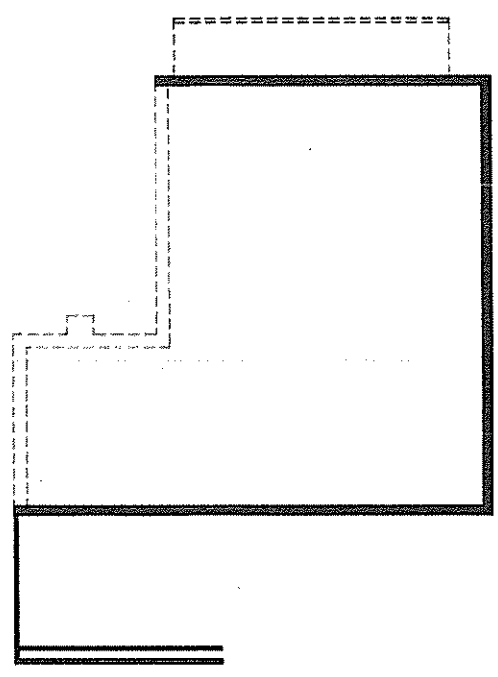
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A COMMITMENT TO EXCELLENCE

Professional Services  
100 CLEMENS RD  
NEWBURGH, NY 12550  
Tel: (518) 537-1100  
Fax: (518) 537-1101  
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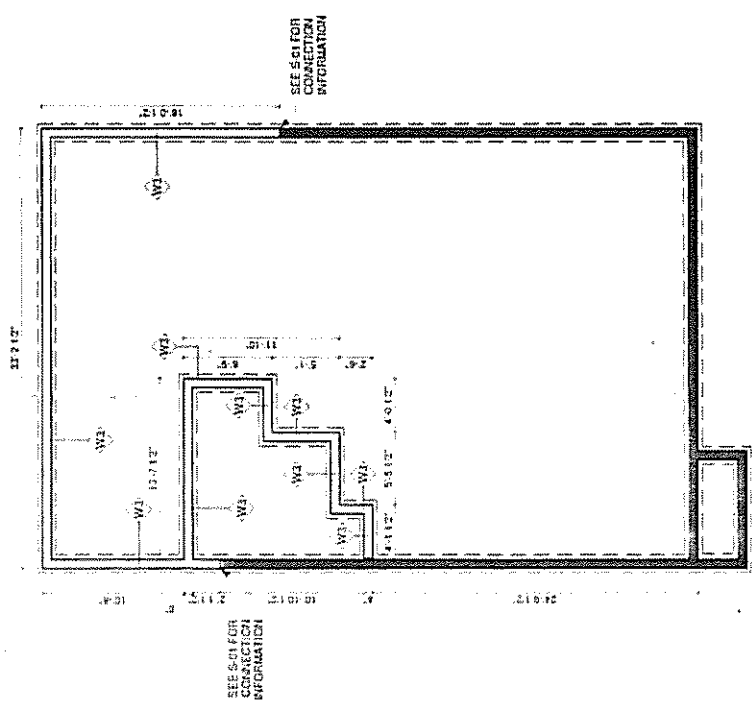
|              |                 |
|--------------|-----------------|
| Project Name | NEWBURGH DEMO A |
| Client       | NEWBURGH DEMO A |
| Design Phase | FOUNDATION PLAN |
| Drawn By     | SP              |
| Checked By   | JKS             |
| Scale        | 1/4" = 1'-0"    |



2 1ST FLOOR - DEMO  
1:75



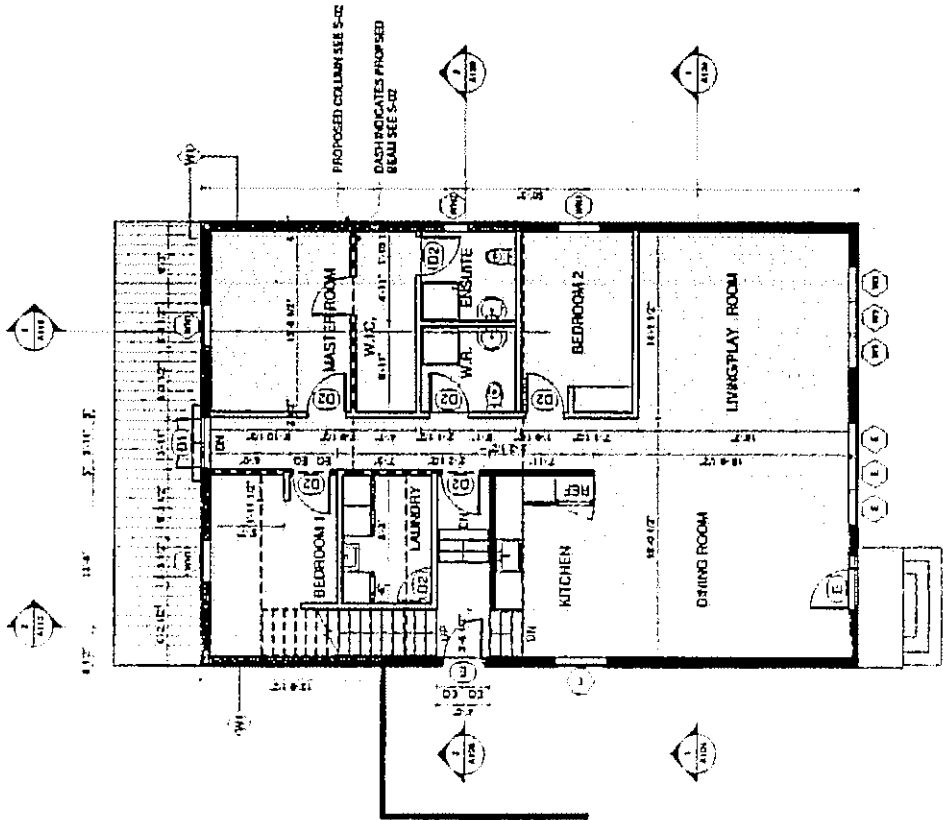
1 FOUNDATION - DEMO  
1:75



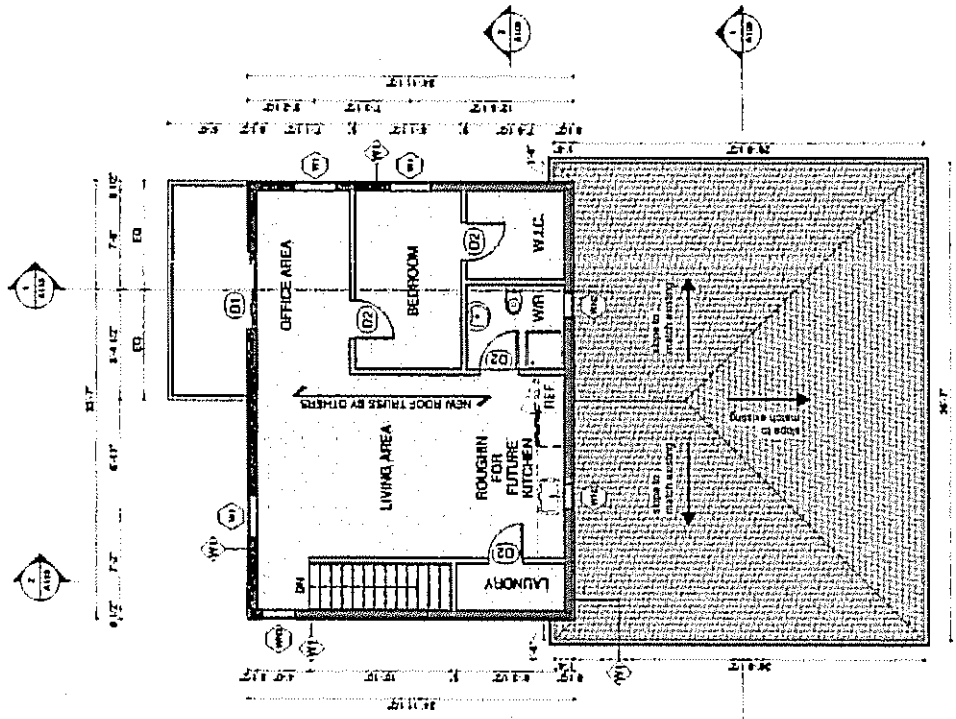
3 FOUNDATION PROPOSED  
1:75



GENERAL NOTE:  
PROPOSED DETAILS FOR EXTERIOR OPENINGS, REFER TO S 02 & S 03.



2 PROPOSED - 1ST FLOOR  
1:75



1 PROPOSED - 2ND FLOOR  
1:75



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Email: info@pleks.com.au

|                                     |               |
|-------------------------------------|---------------|
| PROPOSED FIRST & SECOND FLOOR PLANS |               |
| Client: SH                          | Project: 1/15 |
| Drawn: AG                           | Scale: 1:75   |
| A103                                |               |

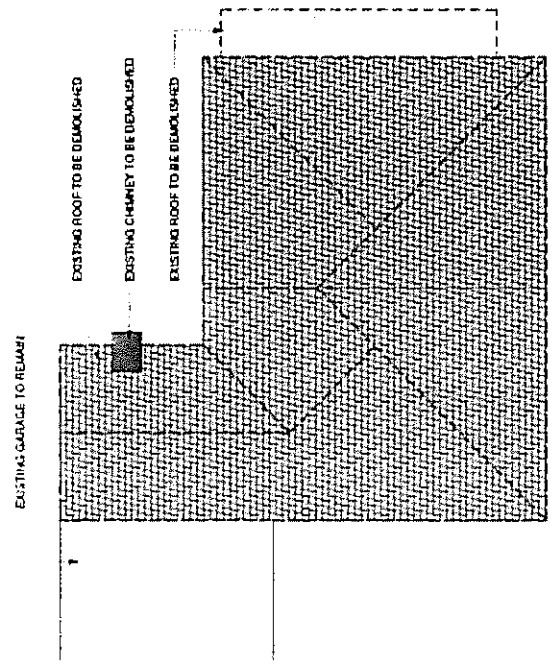
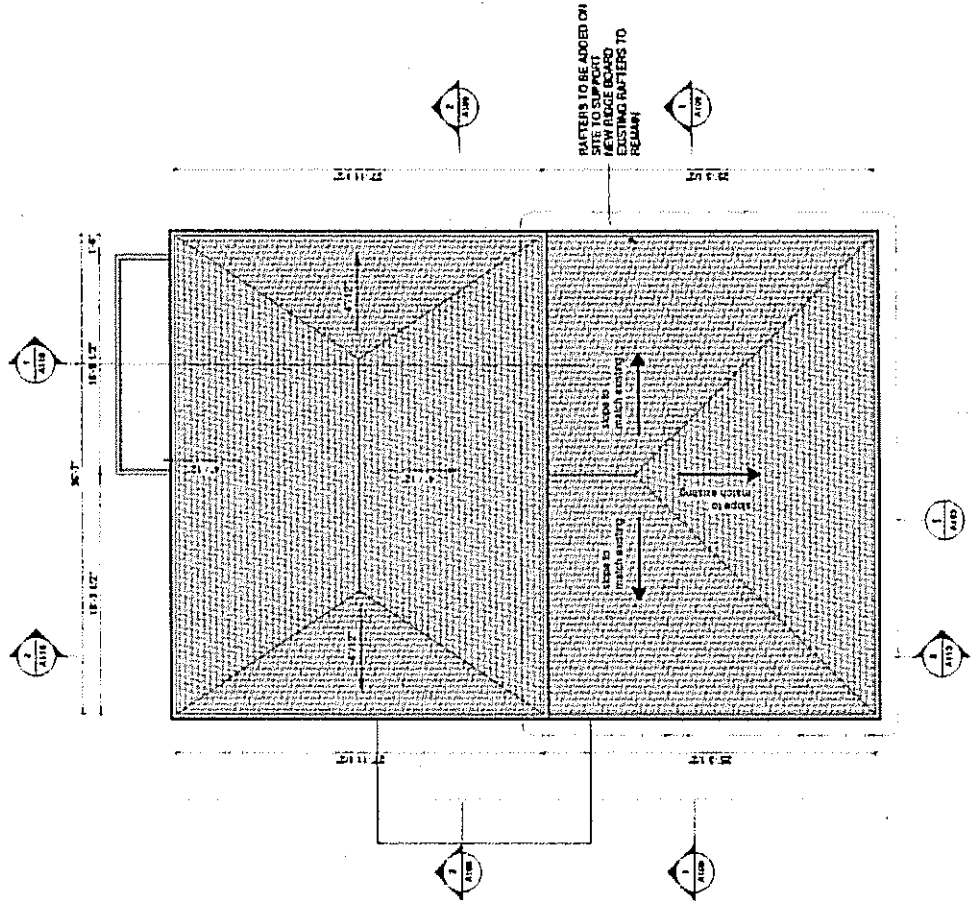


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 PROFESSIONAL ENGINEERING CONSULTANTS  
 140 DENISON STREET  
 TORONTO, ONTARIO M5G 1S5  
 TEL: (416) 593-9393  
 FAX: (416) 593-9394  
 WWW.PLEKS.COM

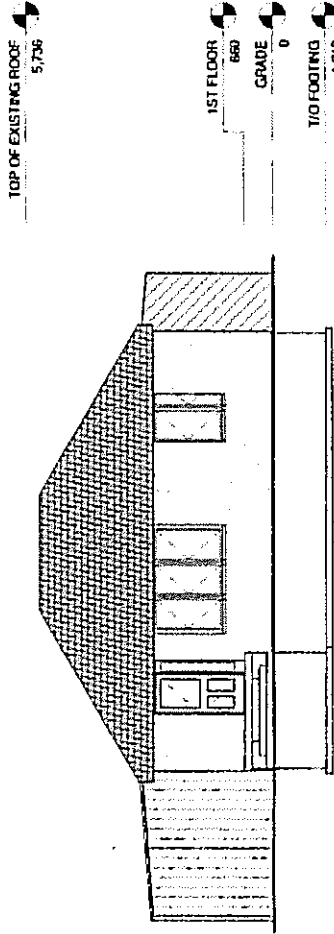
|                         |          |
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| PROJECT INFORMATION     |          |
| PROJECT NO.             | 1401117  |
| DATE                    | 11/11/17 |
| SCALE                   | AS SHOWN |
| DESIGNED BY             | EP       |
| CHECKED BY              | MS       |
| DATE                    | 1/15     |
| Drawing No. <b>A104</b> |          |



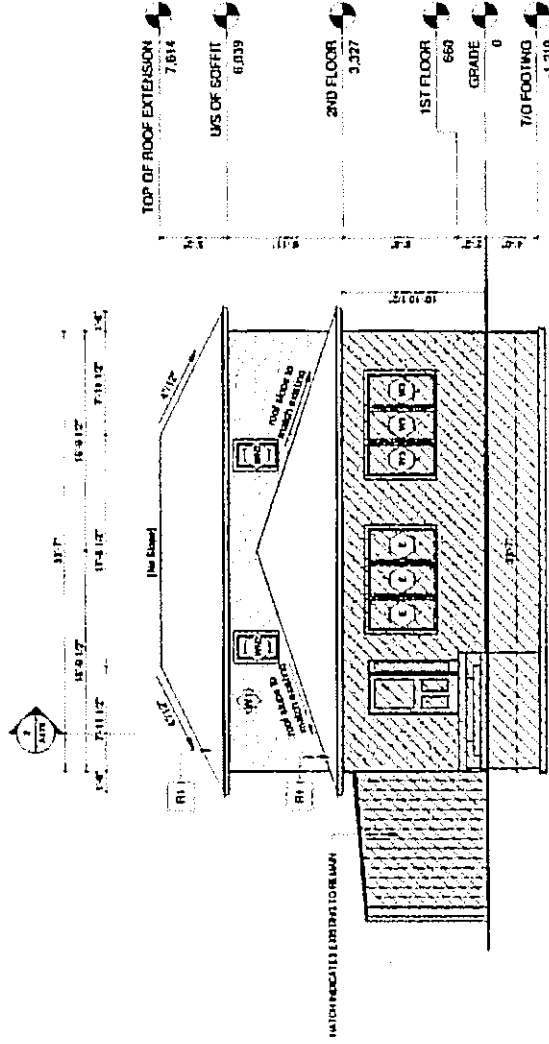
EXISTING R.P. RAFTERS TO EXTEND AND ROOF BOARD TO CORRECT W/ ADDITION

**2** PROPOSED ROOF PLAN  
1:75

**1** ROOF DEMOLITION PLAN  
1:75



EXISTING SOUTH  
ELEVATION  
1:75



PROPOSED SOUTH  
ELEVATION  
1:75



TBM Engineers Inc.  
11111 14th Ave S  
Suite 100  
Boulder, CO 80501  
303-440-1111  
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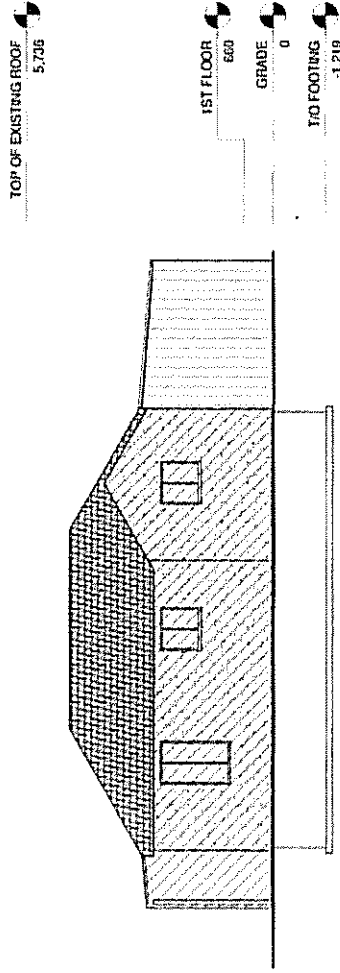
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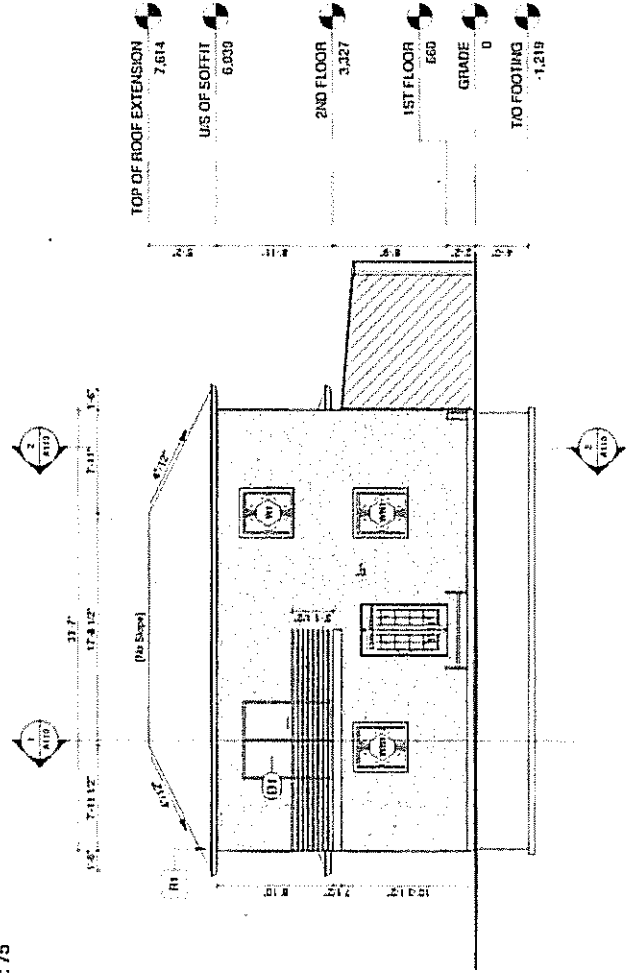
|              |                                   |
|--------------|-----------------------------------|
| Owner:       | EXISTING PROPOSED SOUTH ELEVATION |
| Project No.: | 100181817                         |
| Sheet No.:   | 1 of 1                            |
| Date:        | 1/25                              |

Drawing No. A105





EXISTING NORTH ELEVATION  
2  
1:75



PROPOSED NORTH ELEVATION  
1  
1:75



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St. John's, NL A1B 1X9  
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**PLEKS**  
Professional Engineering & Architecture  
101 Glen Cameron  
St. John's, NL A1B 1X9

|              |                                  |
|--------------|----------------------------------|
| Project Name | ESTRADA PROPOSED NORTH ELEVATION |
| Client       | SP                               |
| Drawn by     | JG                               |
| Scale        | 1:75                             |
| Project No.  | A107                             |



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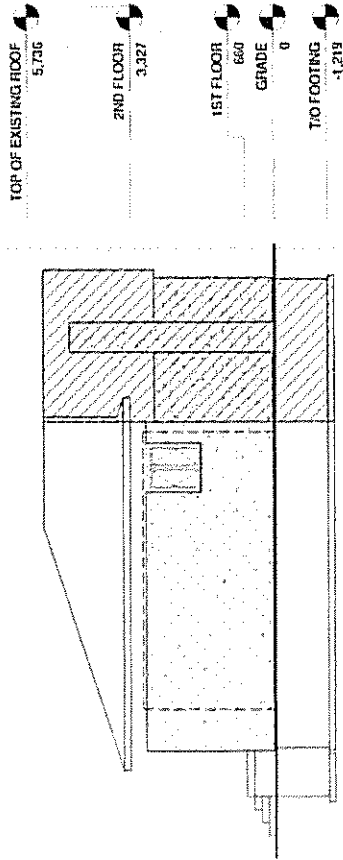


The Engineer shall retain a copy of all drawings and specifications for a period of five (5) years after the date of completion of the project. The Engineer shall be responsible for the accuracy of the information provided to the client. The Engineer shall not be responsible for the accuracy of the information provided by the client. The Engineer shall not be responsible for the accuracy of the information provided by the client.

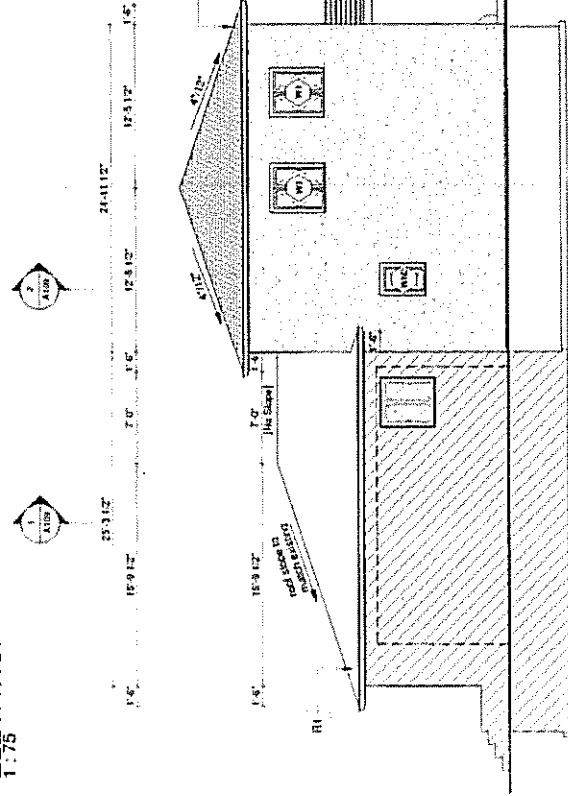
**PLEKS**  
 ARCHITECTURE & INTERIORS

|              |   |
|--------------|---|
| Client Name  | 154 CLEVELAND TOWER                         |
| Project Name | EXISTING 154 CLEVELAND TOWER EAST ELEVATION |
| Scale        | AS SHOWN                                    |
| Drawn By     | JES   |
| Check By     | JES   |
| Date         | 1/15  |

A108



2  
 EXISTING EAST  
 ELEVATION  
 1:75



1  
 PROPOSED EAST  
 ELEVATION  
 1:75



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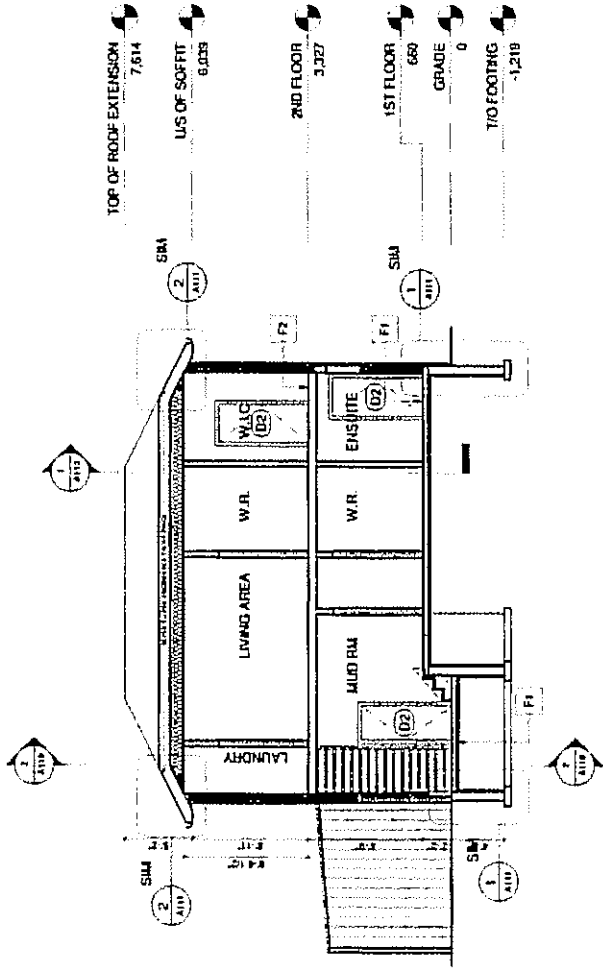


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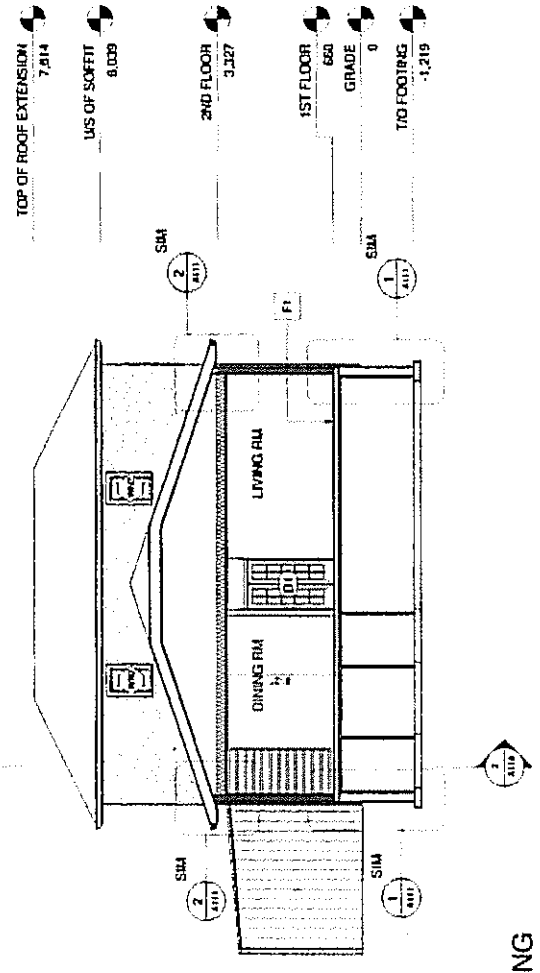
**PLEKS**  
 ARCHITECTURE & INTERIORS

|               |                 |
|---------------|-----------------|
| Project Name: | TRUCK INCUBATOR |
| Client Name:  |                 |
| Site No.:     | 30              |
| Drawn By:     | AS              |
| Checked By:   |                 |
| Date:         | Nov 1, 2011     |

Sheet No. **A109**



SECTION A - EW  
 PROPOSED  
 2 1:75



SECTION B - EXISTING  
 E/W  
 1 1:75



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311 Avenue Louise St.  
Montreal, QC H3T 1K6  
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Fax: (514) 392-1112

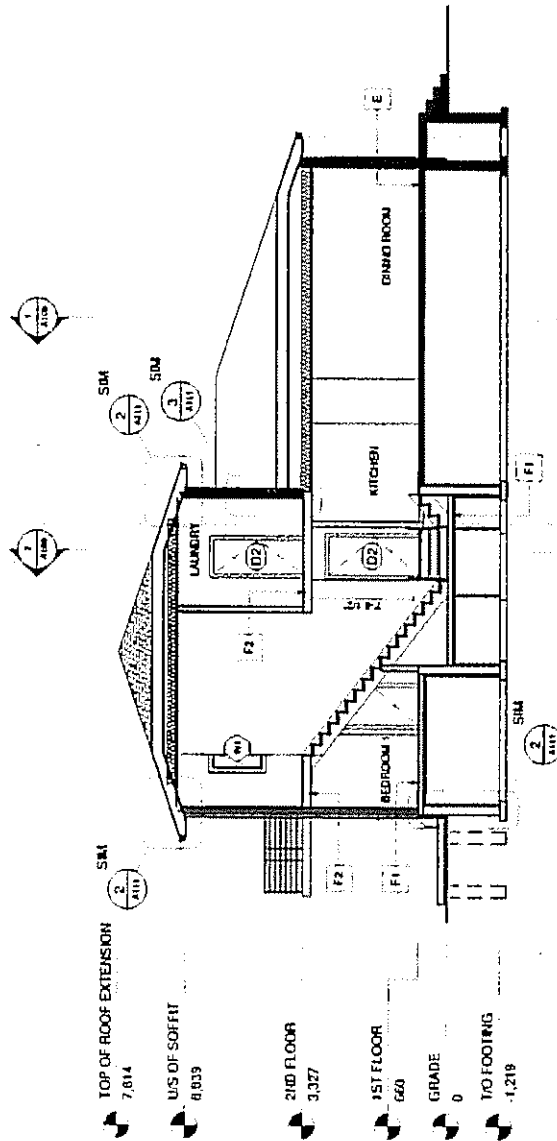


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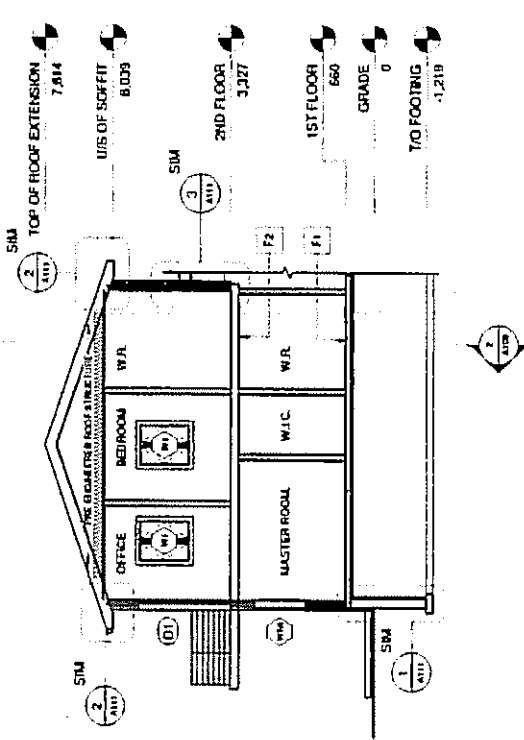
**PLEKS**  
Architectural Services Inc.

|                    |               |
|--------------------|---------------|
| Project Name:      | TRACER CANTON |
| Client Name:       | TRACER CANTON |
| Building Sections: | CONTINUED     |
| Scale:             | 1:125         |
| Drawn by:          | J.O.          |
| Checked by:        | J.O.          |

Sheet No. **A110**



SECTION C -  
2 PROPOSED/EXISTING N/S



1 WALL SECTION A -  
BALCONY





