

# Memorandum to the City of Markham Committee of Adjustment

January 25, 2021

**File:** A/138/20  
**Address:** 2 Crofting Crescent, Markham (See Appendix A for full list of addresses)  
**Applicant:** Treasure Hill Homes  
**Agent:** Treasure Hill Homes  
**Hearing Date:** Wednesday February 03, 2021

The following comments are provided on behalf of the East Team: The applicant is requesting relief from the following requirements of By-law 177-96, "Residential Two" R2\*185 as amended:

## To permit:

### a) Section 5, Table B2.Q:

a maximum garage width of 5.5 m (18 ft) with a lot frontage of 12.19 m (40 ft) - 13.29 m (43.6 ft), whereas the By-law permits a garage width of 4.5 m (14.76 ft);

as it relates to the construction of new single detached dwellings on 10 lots in a registered plan of subdivision.

## **Comments**

The Committee of Adjustment approved minor variances on these 10 lots as a part of previous minor variance applications (Attached as Appendix B). Through review of their building permit application the applicant received comments that lots did not comply with the approved maximum garage width variance as the approved variance only applied to lots that had frontages between 10.7 (35 ft) – 12.19 m (40 ft). The applicant has submitted this variance to account for corner lots that have frontages greater than 12.19 m (40 ft) within the registered subdivision (Attached as Appendix C).

In order to reduce potential impacts involving additional parking needed for the inclusion of additional dwelling units previously approved (A/050/20), the applicant is requesting a maximum garage width of 5.5 m (18 ft) with a lot frontage of 12.19 m (40 ft) - 13.29 m (43.6 ft), whereas the By-law permits a garage width of 4.5 m (14.76 ft). This represents a difference of approximately 1 m (3.3 ft). Staff's comments and conditions listed in the July 24<sup>th</sup>, 2020 staff report attached as Appendix B remain applicable.

## **PUBLIC INPUT SUMMARY**

No written submissions were received as of January 25, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

## **CONCLUSION**

Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see the conditions listed in the July 24<sup>th</sup>, 2020 staff report (Attached as Appendix B) for conditions to be attached to any approval of this application.

PREPARED BY:



\_\_\_\_\_  
Aqsa Malik, Planner, East District

REVIEWED BY:



\_\_\_\_\_  
Stacia Muradali, Acting Development Manager, East District  
File Path: Amanda\File\ 20 135912 \Documents\District Team Comments Memo

**APPENDICES**

- Appendix A (01/29/21) – Full List of Addresses
- Appendix B (01/29/21) – A/050/20 Staff Report
- Appendix C (01/29/21) – Plans

File: 20.135912.000.00.MNVDate: 01/29/21  
MM/DD/YY

December 17, 2020

City of Markham  
Planning & Urban Design Department  
101 Town Centre Blvd.  
Markham, Ontario  
L3R 9W3

**Attention: Aqsa Malik**  
**Project Planner**

**RE: Minor Variance**  
**Various Lots on Plan 65M-4573**

Dear Aqsa,

To assist in your review of our minor variance application, below are the lots we will be including in the application and the legal descriptions.

LOT #	LOT SIZE	MUNICIPAL ADDRESS	MODEL NAME/ ELEV	PLAN
12	36'	2 CROFTING CRESCENT	PALMERTON 5 - 35D5 - A	65M-4573
22	36'	33 CROFTING CRESCENT	MONTCLAIRE 4 - 36D4 - C	65M-4573
25	36'	39 CROFTING CRESCENT	MONTCLAIRE 4 - 36D4 - C	65M-4573
35	36'	74 CROFTING CRESCENT	PALMERTON 5 - 35D5 - A	65M-4573
77	35'	65 WILLOW STREET	MONTCLAIRE 5 - 36D5 - C	65M-4573
90	36'	391 FRED MCLAREN BLVD	MONTCLAIRE 4 - 36D4 - C	65M-4573
100	35'	67 FURROW STREET	MONTCLAIRE 5 - 36D5 - C	65M-4573
111	36'	395 FRED MCLAREN BLVD	PALMERTON 5 - 35D5 - B	65M-4573
114	36'	401 FRED MCLAREN BLVD	PALMERTON 5 - 35D5 - C	65M-4573
123	35'	77 GREENSPIRE AVE.	MONTCLAIRE 5 - 36D5 - B	65M-4573

Kind regards,



Chris Muns  
Project Co-ordinator & Permit Facilitator

## Appendix B

File: 20.135912.000.00.MNV

Date: 01/29/21  
MM/DD/YY

### Memorandum to the City of Markham Committee of Adjustment July 24<sup>th</sup>, 2020

**File:** A/050/20  
**Address:** 26 Crofting Crescent, Markham (See Appendix A for full list of addresses)  
**Applicant:** Treasure Hill (Joran Weiner)  
**Agent:** Treasure Hill (Joran Weiner)  
**Hearing Date:** July 29<sup>th</sup>, 2020

The following comments are provided on behalf of the East Team: The applicant is requesting relief from the following requirements of By-law 177-96, "Residential Two" R2\*185 as amended:

#### To permit:

- a) **Section 6.6.3 a):**  
stairs to encroach into the interior side yard provided that no parts of the stair is located closer than 0.76 m (2.49 ft) from the interior side lot line;
- b) **Section 5, Table B2.T:**  
a minimum required rear yard of 6.0 m (19.68 ft) on a lot not accessed by a lane, whereas a minimum of 7.0 (22.96 ft) m is required;
- c) **Section 5, Table B2.Q:**  
a maximum garage width of 5.5 m (18 ft) on a lot that is not accessed by a lane with a lot frontage of 10.7 m to 12.19 m, whereas a maximum garage width of 3.5 m (11.48 ft) is permitted;
- d) **Parking By-law 28-97, Section 6.2.4.2 b) i) b):**  
To permit maximum driveway of 5.5 m (18 ft) with a minimum soft landscape of 23% provided on the front yard whereas minimum of 40% soft landscape required; and,
- e) **Section 6.5 & 7.5.3 (c):**  
one accessory dwelling unit in the basement, whereas no more than one dwelling unit is permitted on a lot;

as it relates to the construction of new single detached dwellings on 67 lots in a registered plan of subdivision.

#### **BACKGROUND**

##### **Property Description**

The subject vacant lots are located within a registered plan of subdivision which has not yet been constructed within the Wismer community, and which are generally located south of Major Mackenzie Drive, between McCowan Road and Markham Road. The lots to which the proposed variances apply to are distributed throughout the subdivision and namely located on Crofting Crescent, Coillier Crescent, Fred McLaren Boulevard, Furrow Street, Greenspire Avenue, Titus Street and Willow Street (See Appendix A for a full list of addresses). The Wismer community is characterized primarily by single and semi-detached dwellings in addition to townhouses and more recently built high rise buildings on the eastern edge of the community fronting onto Markham Road.

## **Proposal**

The applicant is proposing to construct 67 new single detached dwellings with two-car garages, and a purpose built dwelling unit in the basement.

## **Provincial Policies**

### *More Homes, More Choice Act, 2019*

The *More Homes, More Choice Act, 2019*, S.O. 2019, c. 9 – (Bill 108), received Royal Assent on June 6, 2019 and portions were proclaimed on September 3, 2019. The proclaimed portions of Bill 108 amended the *Planning Act* to require Official Plans to contain policies providing for two residential units in detached, semi-detached and row houses, as well as permitting a residential unit in ancillary structures to a detached house, semi-detached house or row-house. Under this legislation, “second suites” are now referred to as “additional residential units”, and the terms are used synonymously in this memorandum.

### *Provincial Policy Statement, 2020*

Section 1.4.3 of the *Provincial Policy Statement, 2020*, requires planning authorities to provide for an appropriate range and mix of housing options and densities to meet the affordable housing needs of current and future residents. Amongst other means, this can be achieved by permitting and facilitating residential intensification, including additional residential units, and redevelopment by accommodating a significant supply and range of housing options through intensification and redevelopment while taking into account existing building stock.

### *A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019 (Growth Plan, 2019)*

Section 2.1.4 (c) of the Growth Plan, 2019 requires municipalities to provide a diverse range and mix of housing option including second units to support complete communities.

## **Official Plan and Zoning**

### Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The subject property is designated “Residential Low Rise”, which provides for low-rise housing forms including single detached dwellings. Section 8.2.3.6 of the 2014 Official Plan outlines development criteria for the ‘Residential – Low Rise’ designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a ‘Residential Low Rise’ area, development is required to meet the general intent of these development criteria.

The 2014 Official Plan (Section 4.1.2.6) contains policies to support further diversification of the housing stock and rental housing tenure by permitting secondary suites within existing and new permitted single-detached, semi-detached and row-house dwellings in accordance with Section 3.5.22 of the Regional Official Plan and subject to appropriate zoning, development criteria and standards.

As previously mentioned, the City’s Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings, and secondary suites in accordance with Section 8.13.8. A “Secondary Suite” in the 2014 Official Plan is defined as:

*“...a second residential unit in a detached house, semi-detached house or row-house that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking,*

*sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons.”*

Section 8.13.8 states:

*“That in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in this Plan, Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including:*

- a) the building type in which the secondary suite is contained;*
- b) the percentage of the floor area of the building type devoted to the secondary suite;*
- c) the number of dwelling units permitted on the same lot;*
- d) the size of the secondary suite;*
- e) the applicable parking standards; and*
- f) the external appearance of the main dwelling.”*

#### Zoning By-Law 177-96

The subject property is zoned “Residential Two - R2\*185” under By-law 177-96, as amended, which permits single detached dwellings. Exception \*185 relates to additional zone standards for minimum setback for a driveway from the interior side lot line and minimum depth for a wide shallow lot and, is not applicable. The subject development does not comply with the by-law with respect to:

- a) Stairs encroachment into the interior side yard;
- b) Minimum required rear yard;
- c) Maximum garage width on lot that is not accessed by a lane with a lot frontage of 10.7m to 12.19 m;
- d) Maximum driveway width with a minimum soft landscape; and
- e) One accessory dwelling unit in the basement.

#### **Applicant’s Stated Reason(s) for Not Complying with Zoning**

The applicant has provided a letter (attached as Appendix B” providing the reason for not complying with the Zoning By-Law.

#### **Zoning Preliminary Review (ZPR) Undertaken**

The owner completed a Zoning Preliminary Review (ZPR) on June 30<sup>th</sup> 2020 to confirm the variances required for the proposed development. Staff note that the Zoning Preliminary Review was conducted on plans for one (1) of the sixty-seven (67) lots, however, the applicant has indicated that they intend to build similar models. The proposed minor variance request applies to 67 lots that vary in lot frontages between 10.7 m (35.10 ft) and 11 m (36.08 ft). It is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

#### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;

- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

### **Reduction in Rear Yard Setback**

The applicant is requesting relief to permit a minimum rear yard setback of 6 m (19.68 ft), whereas the By-law requires a minimum rear yard setback of 7 m (22.96 ft). This represents a reduction of approximately 1m (3.28 ft). Staff note that the variance will not result in a significant reduction in rear yard amenity space.

### **Purpose Built Secondary Suites**

The applicant is proposing to provide purpose built residential units within the dwelling units on the lots subject to this variance application, whereas the by-law only permits one dwelling unit per lot. While the intent of the Official Plan is to provide for additional dwelling units, the zoning by-law has not been updated to reflect this provision as Markham Council prefers for additional dwelling unit permissions be evaluated on a site-by-site basis.

The City of Markham is committed to promoting affordable and shared housing opportunities. Additional residential units help the City increase the availability of affordable housing forms and provides support to achieve its affordable housing target required by the Province. Staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of additional residential units and have no objection to the requested variance.

### **Increased Garage Widths**

In order to reduce any potential impacts involving additional parking needed for the inclusion of the additional dwelling units proposed, the applicant is requesting for a maximum garage widths of 5.5 m (18 ft) on lots not accessed by a lane for lots with frontages of 10.7 m to 12.19 m, whereas a maximum garage width of 3.5 m (11.48 ft) is permitted. The applicant has also requested permission to permit maximum driveway widths of 5.5 m (18 ft) with a minimum soft landscaping of 23% provided in the front yard, whereas a minimum 40% soft landscaping is required.

As a result of the increased garage width on these smaller lots, the amount of soft landscaping provided is reduced from 40% to 23%. Staff also note that the opportunity to provide for street trees and on-street parking may be limited. The applicant will need to demonstrate to the satisfaction of the Director of Planning and Urban Design that adequate street trees and on-street parking can be provided should Committee approve the minor variances. This will be a condition of approval subject to the satisfaction of the Director of Planning and Urban Design. The applicant has indicated that the lots to which the proposed variances apply are distributed throughout the plan of subdivision and not clustered in one (1) area which may help alleviate some of the on-street parking and street planting concerns.

The applicant is also requesting a maximum stair encroachment of 0.76 m (2.49 ft) into the interior side yard, whereas the By-law does not permit stairs to encroach into the interior side yard. The subject variance is attributable to stairs which will access the proposed secondary suite in the basement. Staff note that the applicable zoning by-law permits interior side yard setbacks of 1.2 m (3.94 ft) and 0.6 m (1.97 ft). As a condition of approval, the stair encroachment will be required to be located in the interior side yard measuring 1.2 m (3.94 ft). A stair encroachment will not be permitted in the 0.6 m (1.97 ft) side yard. Should Committee

support the proposed variance, staff recommend that a condition be imposed which does not permit the stair encroachment into the 0.6 m (1.97 ft) interior side yard.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of July 24<sup>th</sup>, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

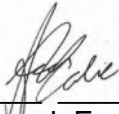
### **CONCLUSION**

Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



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Aqsa Malik, Planner I, East District

REVIEWED BY:



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Stacia Muradali, Acting Manager, East District

File Path: Amanda\File\20 111164 \Documents\District Team Comments Memo

### **APPENDICES**

Appendix A – Addresses

Appendix B – Applicant's Letter

Appendix C – Conditions

Appendix D – Plans



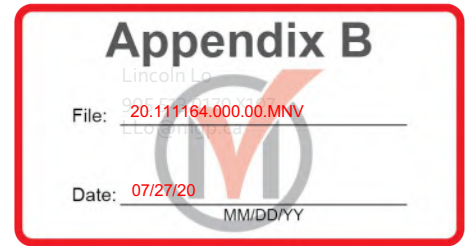
# Appendix A

File: 20.11164.000.00.MNV

Date: 07/24/20  
MM/DD/YY

## ARANCIA INVESTMENTS INC. MUNICIPAL ADDRESSES MINOR VARIANCE APPLICATION

LOT NO.	MUNICIPAL #	ADDRESS	LOT NO.	MUNICIPAL #	ADDRESS
2	26	Crofting Crescent	59	62	Titus St.
3	24	Crofting Crescent	60	60	Titus St.
4	22	Crofting Crescent	61	58	Titus St.
7	12	Crofting Crescent	65	44	Titus St.
8	10	Crofting Crescent	68	41	Willow St.
12	2	Crofting Crescent	69	43	Willow St.
13	1	Crofting Crescent	70	45	Willow St.
14	3	Crofting Crescent	74	59	Willow St.
15	5	Crofting Crescent	75	61	Willow St.
16	7	Crofting Crescent	77	65	Willow St.
20	21	Crofting Crescent	78	62	Willow St.
21	23	Crofting Crescent	79	60	Willow St.
22	33	Crofting Crescent	80	58	Willow St.
25	39	Crofting Crescent	84	50	Willow St.
26	53	Crofting Crescent	85	48	Willow St.
27	55	Crofting Crescent	86	46	Willow St.
31	69	Crofting Crescent	87	44	Willow St.
32	71	Crofting Crescent	88	42	Willow St.
33	73	Crofting Crescent	90	391	Fred McLaren Blvd.
34	75	Crofting Crescent	91	49	Furrow St.
35	74	Crofting Crescent	92	51	Furrow St.
37	70	Crofting Crescent	99	65	FurrowSt.
38	68	Crofting Crescent	100	67	FurrowSt.
39	66	Crofting Crescent	101	68	Furrow St.
40	64	Crofting Crescent	102	66	Furrow St.
41	62	Crofting Crescent	107	56	Furrow St.
45	48	Crofting Crescent	108	54	Furrow St.
48	28	Collier Crescent	109	52	Furrow St.
52	14	Collier Crescent	110	50	Furrow St.
53	12	Collier Crescent	111	395	Fred McLaren Blvd.
54	10	Collier Crescent	114	401	Fred McLaren Blvd.
55	8	Collier Crescent	115	61	Greenspire Ave.
56	6	Collier Crescent	123	77	Greenspire Ave.
58	2	Collier Crescent			



March 20, 2020

MGP File: 18-0000

City of Markham  
Committee of Adjustment  
101 Town Centre Blvd  
Markham, ON L3R 9W3

via email: [smuradali@markham.ca](mailto:smuradali@markham.ca)

**Attention: Stacia Muradali MCIP, RPP**  
**Acting Manager, Planning and Development**

Dear Stacia:

**RE: Treasure Hill – Plan 65M-4573**  
**Minor Variance Application**

Treasure Hill is applying to the Committee of Adjustment requesting minor variances to facilitate the construction of new single detached dwellings located on Plan 65M-4573. The requested variances affect multiple lots on the registered M-Plan.

The following has been submitted in support of the minor variance application:

- Cover Letter and Planning Justification (this letter);
- Completed Application Form
- M-Plan identifying the affected lots (Schedule A);
- Architectural plans illustrating the requested variances and applicable statistics/information.

The variances being sought are applicable to all the lots listed on Schedule A (appended to the letter). They are requesting:

1. On lots with a frontage of 10.7m to 12.19m, the maximum garage width permitted is 5.5m, whereas the by-law allows for a maximum garage width of 3.5m;
2. To permit a minimum of 35% of front yard soft landscaping, whereas the by-law requires a minimum of 40%;
3. To permit stairs or landings to encroach into required interior side yards, whereas the by-law only permits encroachment into required front and exterior side yards;
4. To permit a minimum rear yard setback of 6.0m on a lot not accessed by a lane, whereas the by-law requires a minimum setback of 7.0m.

#### **Purpose of Application**

Treasure Hill is seeking these variances to provide flexibility for the affected units to accommodate a secondary suite in response to recent Provincial objectives.

In 2019 the Province released their action plan to help deal with many of the prevalent issues surrounding Ontario's housing market and affordability. In support of their plan, the Province unveiled the *More Homes, More Choice Act, 2019 (Bill 108)* which received Royal Assent on June 6, 2019.

Under this new legislation, Section 16(3) of the *Planning Act* was introduced that requires municipal official plans to contain policies authorizing the inclusion of secondary suites within single-family detached and semi-detached dwellings. This addition, as well as a number of other legislative changes are intended to ensure that there is a supply of future affordable housing, including housing types that provides for a broad range of residents.

Many municipalities – including Markham – have yet to update their Official Plans to reflect this new Provincial mandate. However, the Province is clear in that Official Plans are to contain policies promoting secondary suites by allowing detached, semi-detached or rowhouses the ability to accommodate two residential units.

In light of this new provincial legislation and in anticipation of the required changes that will flow from the City updating their Official Plan, Treasurehill is seeking the aforementioned variances to “future proof” their homes so that they can be designed to accommodate a secondary suite.

Once the City of Markham has implemented the policies allowing for secondary suites as mandated, these affected units (should the variances be approved) will have the zoning and structural elements in place for purchasers to register a secondary suite. This will assist the City and province provide for a greater range of housing supply.

#### **Justification of the Four Tests of a Minor Variance**

To help with the City’s review of this application, justification has been provided below on how the application meets the four tests under section 45(1) of Planning Act:

##### *Is the general intent and purpose of the Official Plan maintained?*

The subject property is designated “low-rise residential” in the City of Markham Official Plan. This designation allows for a variety of housing forms, including the single-detached homes as proposed.

As noted, the purpose of the requested variances is to provide these homes with the flexibility to accommodate a secondary suite. Ensuring that these homes are suitably designed and constructed to provide secondary suites will assist the Province meet an important directive.

Given that the variances continue to support a use that is permitted in the “low-rise residential” designation and that municipalities have been mandated to include policies supporting the development of secondary suites, it is my opinion that the application meets the general intent and objectives of the Official Plan currently, and can be seen as meeting the intent and purpose of what the Official Plan will be required to provide for in the future.

##### *Is the general intent and purpose of the applicable Zoning by-law maintained?*

The intent of the zoning for the subject lands is to ensure that development is in the form of single detached homes with appropriate setbacks. The proposed variances do not seek to alter that intention but rather to facilitate the fact that single-detached homes must now allow for the possibility of secondary suites. In order to allow for that, the requested variances are necessary.

The only variances that impacts the footprint of the proposed homes is the reduction in rear yard from a minimum of 7.0m to 6.0m for those lots that are not accessed by a lane. The reduction will still allow for an appropriately sized rear yard for the homes. All other setbacks will remain and as such, the impact in term of massing of the homes will remain consistent and will not negatively impact the general intent and purpose of the existing zoning restrictions.

The variances to the garage and driveway widths are intended to ensure that future construction of a secondary suite can be done in an appropriate manner by providing the potential for additional parking that

can be accommodated on the lot itself as opposed to on-street parking, mitigating any parking impacts to the community. Further, the builder will work, together with City and Subdivision Control Architect, to ensure the building designs are well thought out and visually appealing.

Careful consideration has been placed on maintaining the character of the community. As such, the proposed house design is consistent with the architecture, size and quality of the other dwellings in the community and will significantly enhance the neighborhood streetscape. Based on the foregoing, I believe the variances meet the general intent and purpose of the by-law.

*Are the requested variances desirable for the appropriate development of the property or use of land, building or structure?*

As noted, the requested variances will allow for the potential future accommodation of secondary suites within the proposed single-detached dwellings. With recent Provincial legislation aimed at tackling the existing housing shortage by providing a greater range of housing supply, these variances will allow the type of housing that assists the Province meet an important objective.

The provision of secondary suites will also assist in the current housing affordability issue in multiple ways by providing homebuyers with a second income stream, injecting more housing supply in an environment where there is substantial demand, and introducing a housing form that is intrinsically more affordable than other ground-related product.

It is my opinion that the requested variances are desirable for the appropriate development of the subject lands.

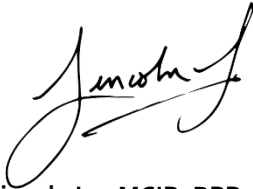
*Are the requested variances minor in nature?*

The variances are minor in nature as they do not negatively impact the character of the existing neighbourhood. The variances when considered either individually or collectively, would still result in a dwelling that is comparably sized and similarly designed to the other dwellings in the community. Any potential on-street parking impacts resulting from the provision of a secondary suite is mitigated as the proposed garage width is wide enough to accommodate additional parking on the lot. All the in-force yard setbacks are maintained except for the 1.0m reduction in the rear yard setback, which remains appropriately sized even after the reduction.

It is the desire of Treasure Hill to provide a housing product that positively impacts the community presently while being an example of how secondary suites can be accommodated in the future.

I trust that the enclosed materials are sufficient to allow City staff to process and review the minor variance application. I request to be put on the next available Committee of Adjustment hearing date. If you require any additional information, or wish to discuss the application further, please do not hesitate to contact me.

Yours very truly,  
**Malone Given Parsons Ltd.**

A handwritten signature in black ink, appearing to read "Lincoln Lo", written in a cursive style.

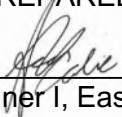
**Lincoln Lo, MCIP, RPP**

**APPENDIX “C”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/050/20**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix D’ to this Staff Report and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That the stair encroachment be located in the interior side yard measuring 1.2 m (3.94 ft);
4. That the Owner satisfies the Director of Planning and Urban Design that there is sufficient on street parking and boulevard trees; and
5. That the applicant demonstrates to the satisfaction of the Director of Planning and Urban Design Department that the basement has been adequately designed in accordance to the Ontario Building Code to accommodate a purpose built secondary suite.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner I, East District



**LOCATION MAP**

35' (10.700m) Lots

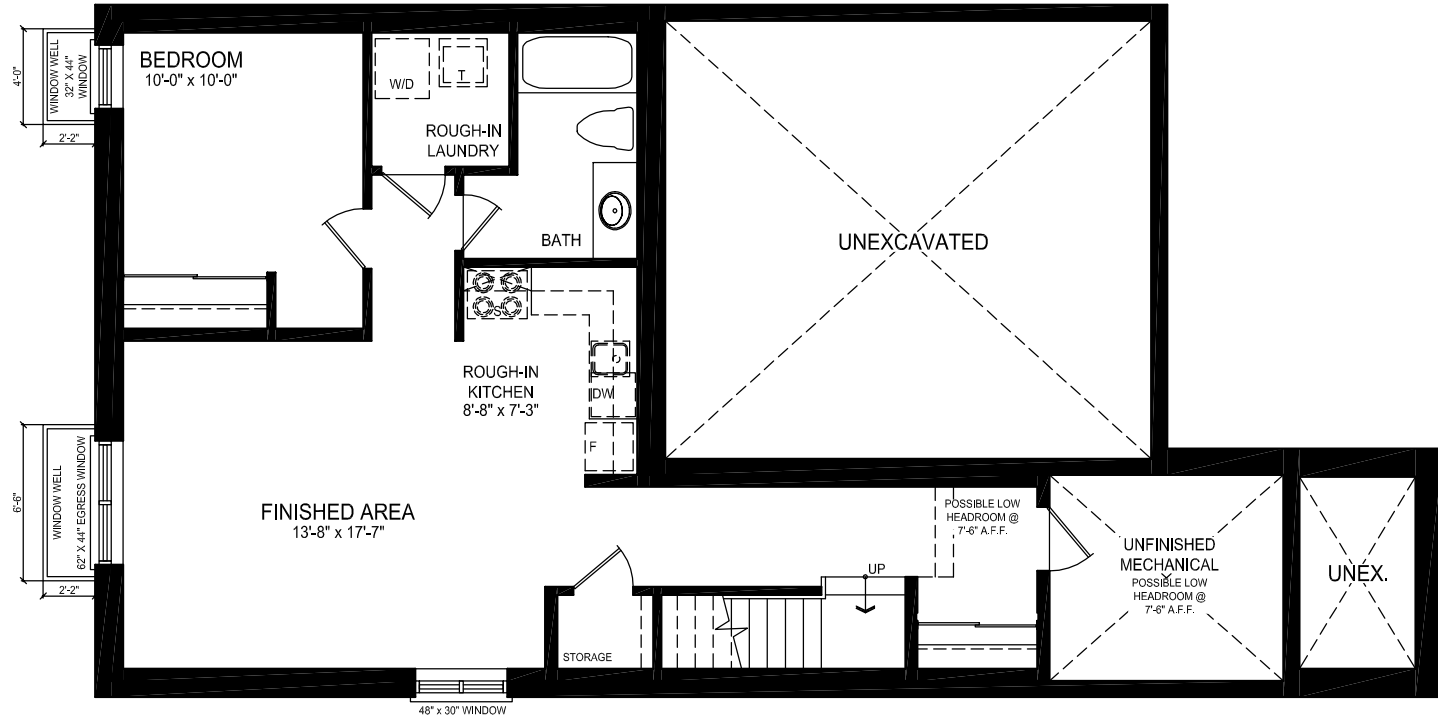
36' (11.000m) Lots

## Appendix D

File: 20.111164.000.00.MNV

Date: 07/24/20

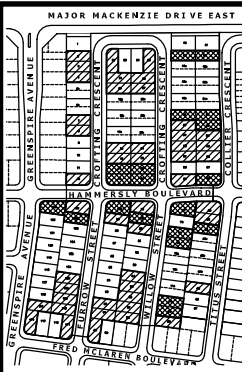
MM/DD/YY



**35' CONCEPTUAL PLAN**  
 SCALE: 1/8" = 1'-0"  
**FINISHED BASEMENT**  
 FINISHED FLOOR AREA = 795 sq. ft.

\*CONCEPTUAL LAYOUT ONLY,  
 SUBJECT TO MODIFICATION\*

 <b>Treasure Hill</b> <small>1691 LANDSTAFF ROAD, UNIT 1        VAUGHAN, ONTARIO L4K 3T3        PHONE: (416) 307-8500        FAX: 1 (905) 321-9900        WWW.TREASUREHILL.COM</small>	 <b>THE RISER</b> <small>DESIGNS</small> <small>20 RIVERMEDE ROAD, UNIT 101        CONCORD, ONTARIO L4K 3W3        PHONE: (905) 669-2111        FAX: 1 (866) 822-1163        WWW.ONERISER.CA</small>	<small>PROJECT NAME:</small> 5001 MAJOR MACKENZIE DRIVE EAST WILVER COOKSONE COMMUNITY CITY OF MARKHAM  <small>ARCHITECT FIRM/DATE:</small>	<small>REVISIONS</small>		<small>DATE</small> <small>BY</small> <small>CHKD BY</small>	<small>PROJECT NO.</small> 20-03 <small>DATE</small> AS NOTED	<small>PROJECT TITLE</small> CONCEPTUAL BASEMENT PLAN (35' LOT)																						
			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">#</th> <th style="width: 75%;">Description</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">BY</th> </tr> <tr> <td>1</td> <td>ISSUED FOR SUBMISSION</td> <td>MAR. 2020</td> <td>KR</td> </tr> <tr> <td>2</td> <td>REVISED APPROVAL STAMP LOCATION</td> <td>MAR. 31/20</td> <td>KR</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	#				Description	DATE	BY	1	ISSUED FOR SUBMISSION	MAR. 2020	KR	2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR									<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"><small>DATE PREPARED:</small></td> <td style="width: 50%;"><small>PROJECT NO.:</small></td> </tr> <tr> <td><small> </small></td> <td><small> </small></td> </tr> <tr> <td><small> </small></td> <td><small> </small></td> </tr> <tr> <td><small> </small></td> <td><small> </small></td> </tr> </table>	<small>DATE PREPARED:</small>	<small>PROJECT NO.:</small>
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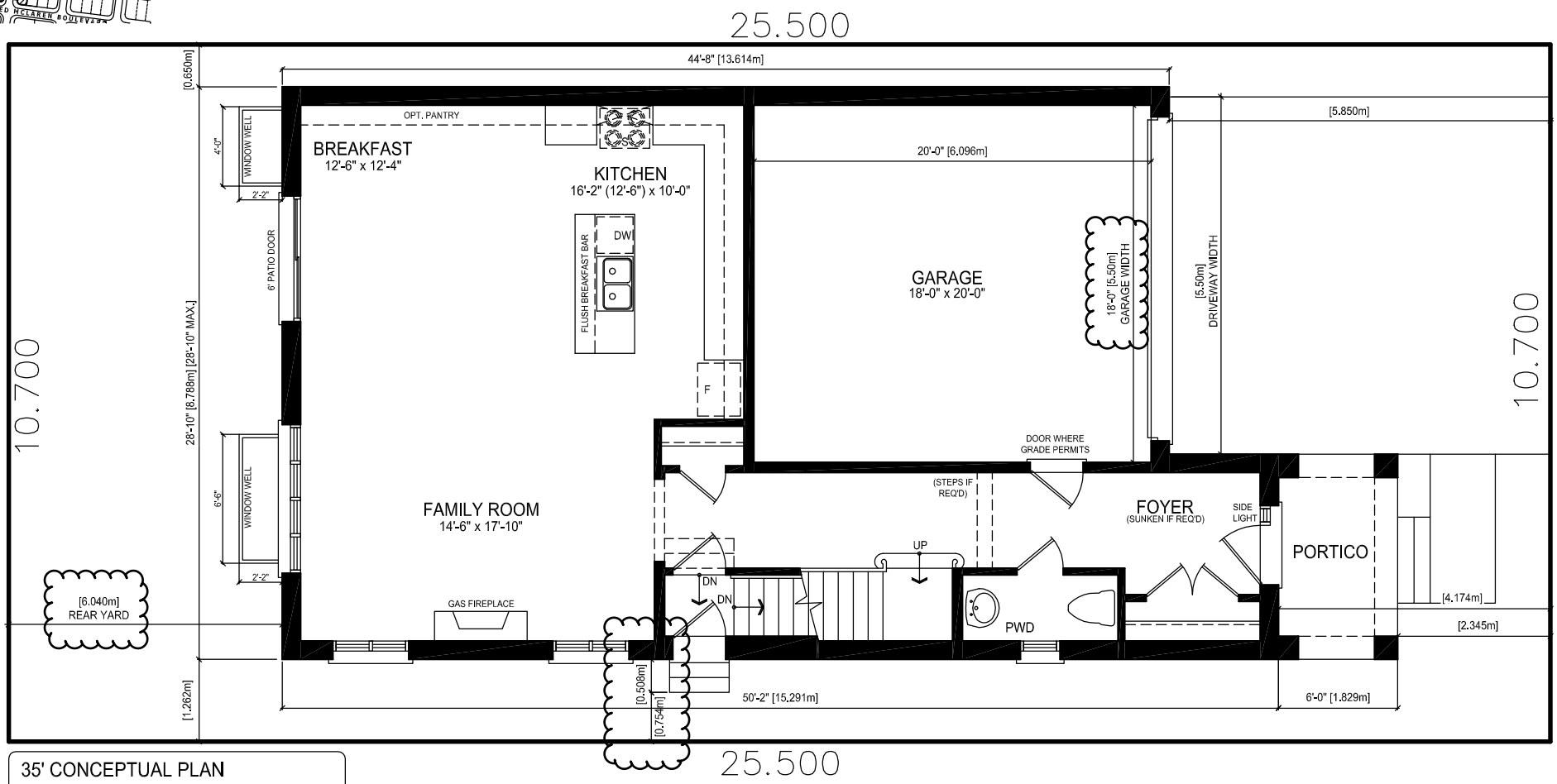
**LOCATION MAP**  
 35' (10.700m) Lots  
 36' (11.000m) Lots

## Appendix D

File: 20.111164.000.00.MNV

Date: 07/24/20

MM/DD/YY



**35' CONCEPTUAL PLAN**  
 SCALE: 1/8" = 1'-0"

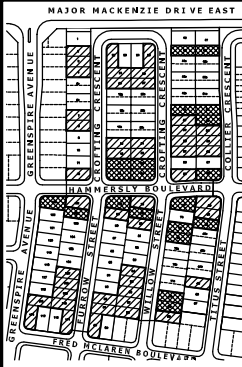
**GROUND FLOOR PLAN**  
 GROUND FLOOR AREA = 949 sq. ft.  
 OPEN TO BELOW = 0 sq. ft.  
 COVERAGE = 1345 sq. ft.  
 COVERAGE (W/ covered porch) = 1407 sq. ft.

**TOTAL AREA = 2290 sq. ft.**

FRONT YARD AREA = 49.44 sq. m.  
 SOFT LANDSCAPE AREA = 17.34 sq. m. (35%)

 1681 LANDSTAFF ROAD, UNIT 1 VAUGHAN, ONTARIO L4K 3T3 PHONE: (416) 307-8500 FAX: (416) 320-9000 WWW.TREASUREHILL.COM	 20 RIVERBEND ROAD, UNIT 101 CONCORD, ONTARIO L4K 3W3 PHONE: (905) 668-2111 FAX: (905) 668-2115 WWW.ONERISER.COM	PROJECT NAME: 5901 MAJOR MACKENZIE DRIVE EAST WILBER COMMONS COMMUNITY CITY OF MARKHAM		REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR SUBMISSION</td> <td>MAR. 2020</td> <td>KR</td> </tr> <tr> <td>2</td> <td>REVISED APPROVAL STAMP LOCATION</td> <td>MAR. 31/20</td> <td>KR</td> </tr> </tbody> </table>		#	Description	Date	By	1	ISSUED FOR SUBMISSION	MAR. 2020	KR	2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR	SHEET TITLE: CONCEPTUAL GROUND FLOOR PLAN (35' LOT)	
		#	Description	Date	By														
1	ISSUED FOR SUBMISSION	MAR. 2020	KR																
2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR																
CLIENT: KAYLENE RIDDELL EXT. 105 EM: KAYLENE@ONERISER.COM		DRAWING NO: 20-03	PROJECT NO: A1.2_35 CONCEPTUAL GROUND FLOOR PLAN	DRAWN BY: KR CHECKED BY: KR	SCALE: AS NOTED														





LOCATION MAP  
 35' (10.700m) Lots  
 36' (11.000m) Lots

## Appendix D

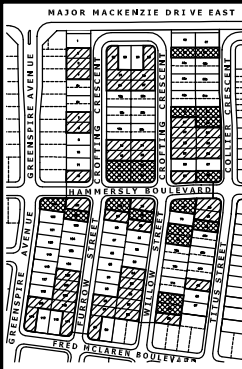
File: 20.111164.000.00.MNV

Date: 07/24/20  
MM/DDYY



**35' CONCEPTUAL FRONT ELEVATION**  
 SCALE: 1/8" = 1'-0"

	Treasure Hill	CONCRETE DESIGNERS	PROJECT ADDRESS: 5001 MAJOR HACKENZIE DRIVE EAST WILKES COMMONS COMMUNITY CITY OF MARKHAM	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR SUBMISSION</td> <td>MAR. 2020</td> <td>KR</td> </tr> <tr> <td>2</td> <td>REVISED APPROVAL STAMP LOCATION</td> <td>MAR. 31/20</td> <td>KR</td> </tr> </tbody> </table>	#	Description	Date	By	1	ISSUED FOR SUBMISSION	MAR. 2020	KR	2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR	SHEET TITLE: <b>CONCEPTUAL FRONT ELEVATION (35' LOT)</b>
	#	Description	Date	By													
1	ISSUED FOR SUBMISSION	MAR. 2020	KR														
2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR														
1681 LANDSTAFF ROAD, UNIT 1 VAUGHAN, ONTARIO L4K 3T3 PHONE: (416) 307-6500 FAX: (416) 320-9600 WWW.TREASUREHILL.COM	20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3W3 PHONE: (905) 669-2111 FAX: (905) 625-1163 WWW.CONCRETEDESIGNERS.COM	DRAWING NUMBER: A1.3_05 CONCEPTUAL FRONT ELEVATION	DRAWN BY: KR	CHECKED BY: KR	PROJECT NO: 20-03	SCALE: AS NOTED	SHEET NO: <b>A1.3</b>										

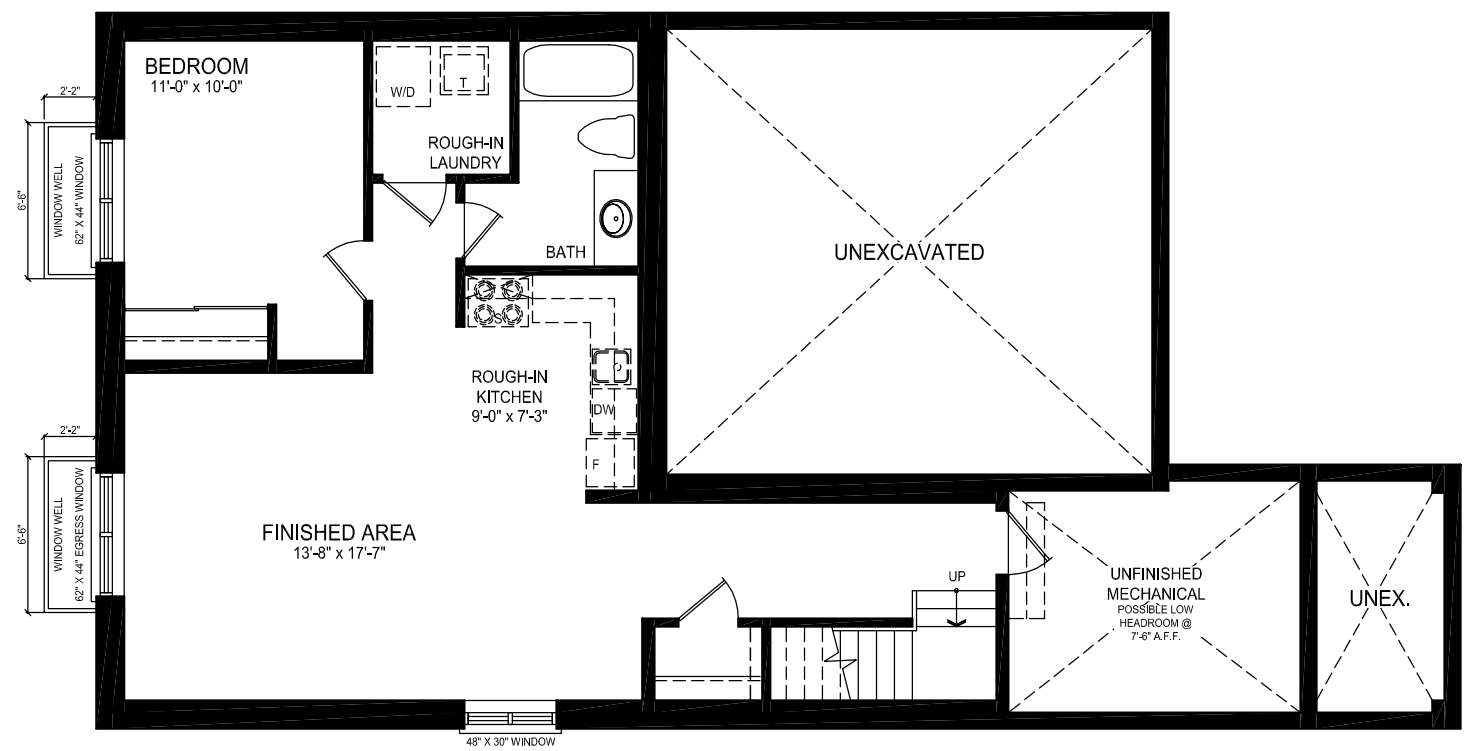


**LOCATION MAP**  
 35' (10.700m) Lots  
 36' (11.000m) Lots

## Appendix D

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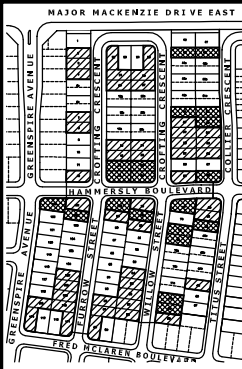
Date: 07/24/20  
MM/DD/YY



**36' CONCEPTUAL PLAN**  
 SCALE: 1/8" = 1'-0"  
**FINISHED BASEMENT**  
 FINISHED FLOOR AREA = 785 sq. ft.

\*CONCEPTUAL LAYOUT ONLY,  
 SUBJECT TO MODIFICATION\*

	1681 LANDSTAFF ROAD, UNIT 1 VAUGHAN, ONTARIO L4K 3T3 PHONE: (416) 307-8500 FAX: 1 (905) 321-9900 WWW.TREASUREHILL.COM		20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3 PHONE: (905) 669-2111 FAX: 1 (866) 825-1163 WWW.ONERISER.CA	PROJECT NAME: 5601 MAJOR MACKENZIE DRIVE EAST WILSON COMMONS COMMUNITY CITY OF MARKHAM PROJECT IDENTIFICATION:	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">#</th> <th style="width: 60%;">Description</th> <th style="width: 15%;">Date</th> <th style="width: 15%;">By</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR SUBMISSION</td> <td>MAR. 2020</td> <td>KR</td> </tr> <tr> <td>2</td> <td>REVISED APPROVAL STAMP LOCATION</td> <td>MAR. 31/20</td> <td>KR</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	Description	Date	By	1	ISSUED FOR SUBMISSION	MAR. 2020	KR	2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR									<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;">DRAWING No.</th> <th style="width: 20%;">Project No.</th> <th style="width: 40%;">Sheet No.</th> </tr> </thead> <tbody> <tr> <td>A1.4_36 CONCEPTUAL BASEMENT PLAN</td> <td>20-03</td> <td>A1.4</td> </tr> <tr> <td>Drawn by: KR</td> <td>Checked by: KR</td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DRAWING No.	Project No.	Sheet No.	A1.4_36 CONCEPTUAL BASEMENT PLAN	20-03	A1.4	Drawn by: KR	Checked by: KR							
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A1.4_36 CONCEPTUAL BASEMENT PLAN	20-03	A1.4																																							
Drawn by: KR	Checked by: KR																																								
CONTACT: KAYLENE RIDDELL-EXT. 105 EM: KAYLENE@ONERISER.CA	PROJECT NO.: 20-03	SHEET NO.: A1.4	SCALE: AS NOTED	PROJECT NO.: 20-03	SHEET NO.: A1.4																																				



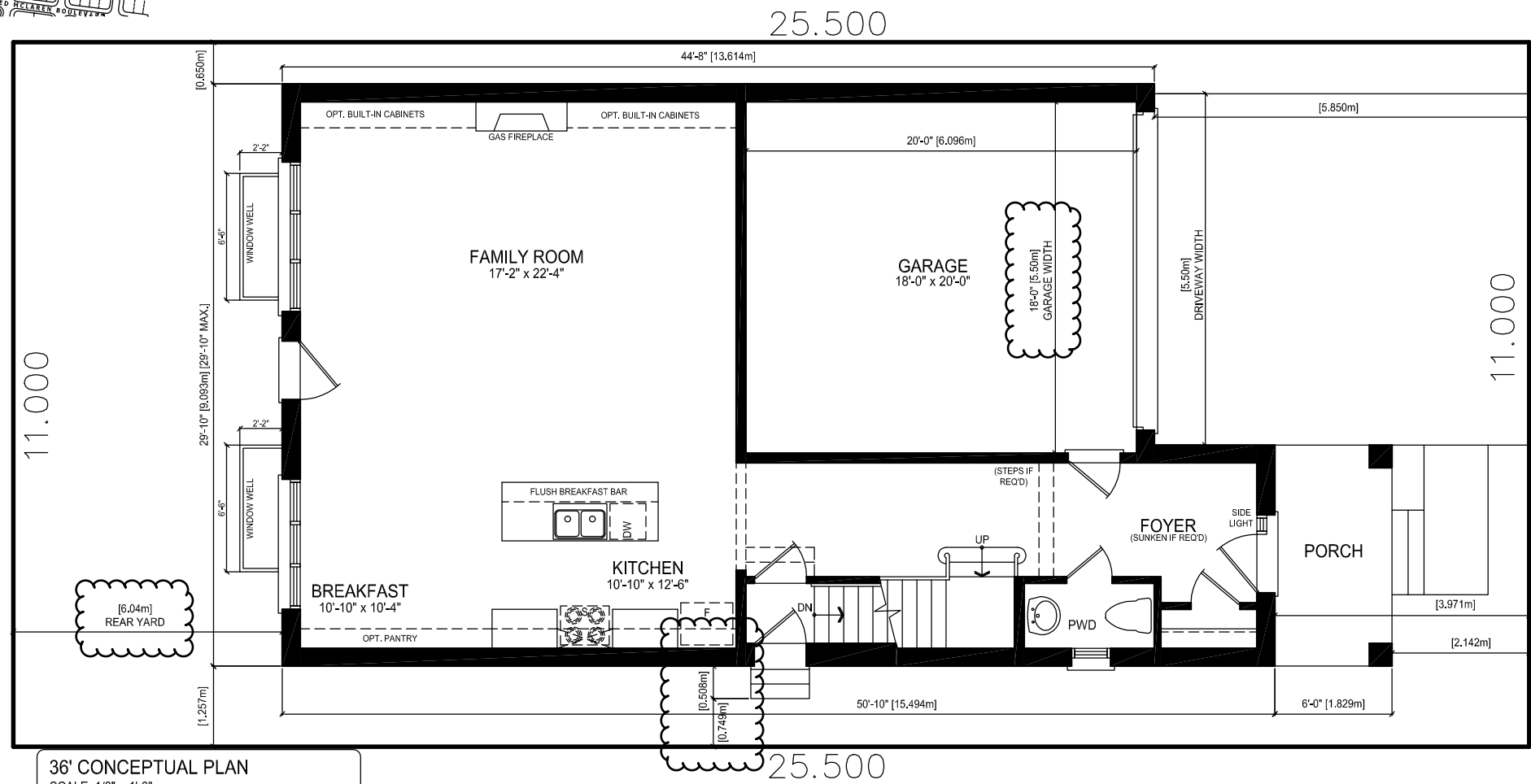
**LOCATION MAP**  
 35' (10.700m) Lots  
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## Appendix D

File: 20.111164.000.00.MNV

Date: 07/24/20

MM/DD/YY



**36' CONCEPTUAL PLAN**  
 SCALE: 1/8" = 1'-0"

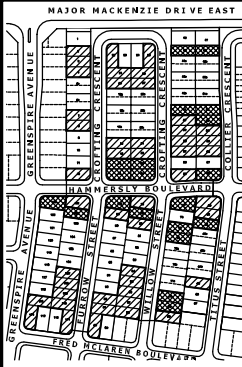
**GROUND FLOOR PLAN**

GROUND FLOOR AREA	= 998 sq. ft.
OPEN TO BELOW	= 0 sq. ft.
COVERAGE	= 1400 sq. ft.
COVERAGE (w/ covered porch)	= 1466 sq. ft.

**TOTAL AREA = 2398 sq. ft.**

FRONT YARD AREA = 49.56 sq. m.  
 SOFT LANDSCAPE AREA = 17.32 sq. m. (35%)

 1681 LANDSTAFF ROAD, UNIT 1 VAUGHAN, ONTARIO L4K 3T3 PHONE: (416) 307-6500 FAX: 1 (905) 320-9600 WWW.TREASUREHILL.COM	 20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3W3 PHONE: (905) 668-2111 FAX: 1 (866) 802-1163 WWW.ONERISER.CA	PROJECT NAME: 5901 MAJOR MACKENZIE DRIVE EAST RIVERS COMMONS COMMUNITY CITY OF MARKHAM	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR SUBMISSION</td> <td>MAR. 2020</td> <td>KR</td> </tr> <tr> <td>2</td> <td>REVISED APPROVAL STAMP LOCATION</td> <td>MAR. 31/20</td> <td>KR</td> </tr> </tbody> </table>	#	Description	Date	By	1	ISSUED FOR SUBMISSION	MAR. 2020	KR	2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR	SHEET TITLE: <b>CONCEPTUAL GROUND FLOOR PLAN (36' LOT)</b>
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ARCHITECT: KAYLENE RIDDELL, 105 EM: KAYLENE@ONERISER.CA		DRAWING NO.: 20-03	SCALE: AS NOTED	DRAWN BY: KR												



LOCATION MAP

- 35' (10.700m) Lots
- 36' (11.000m) Lots

## Appendix D

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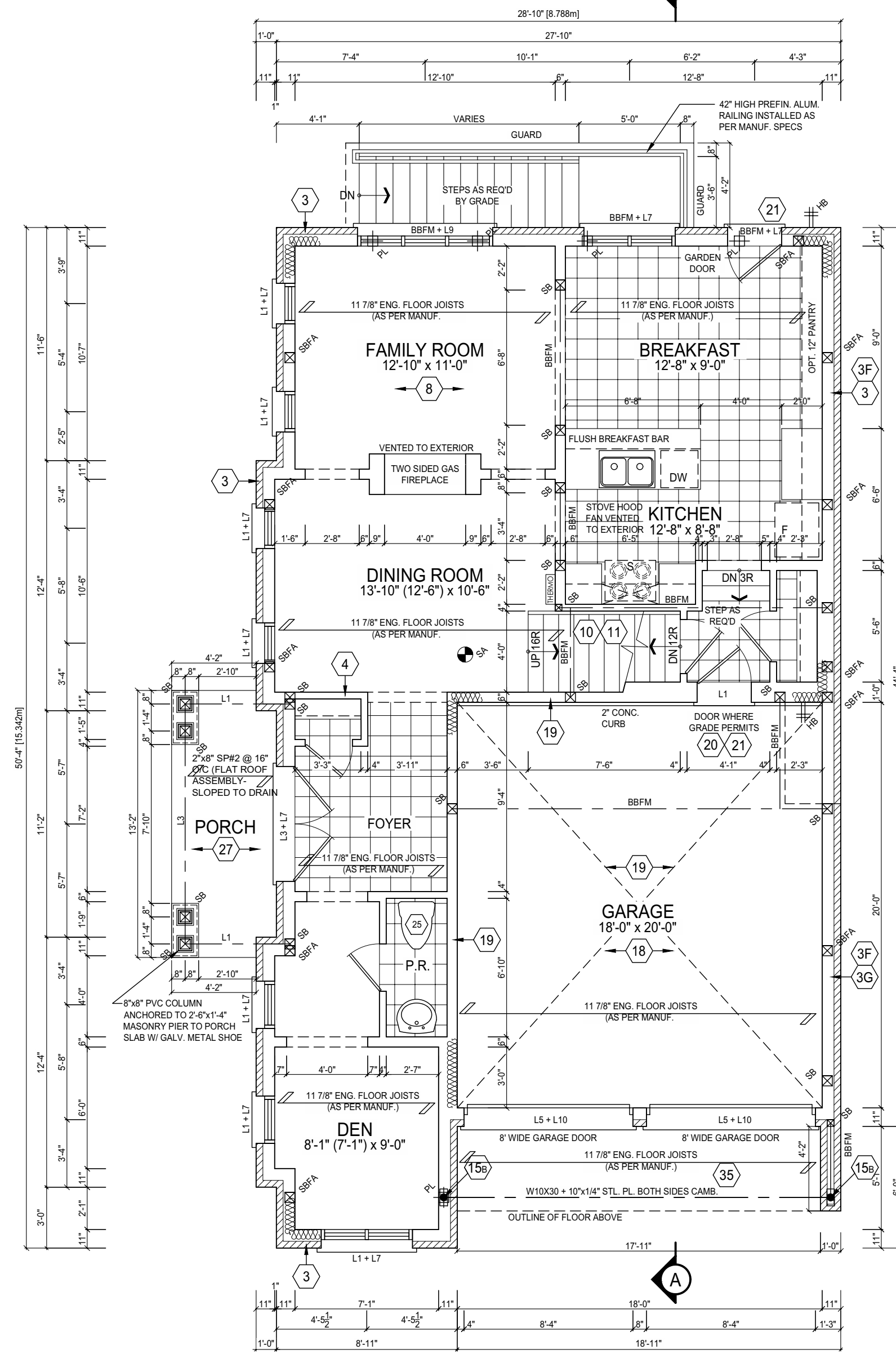
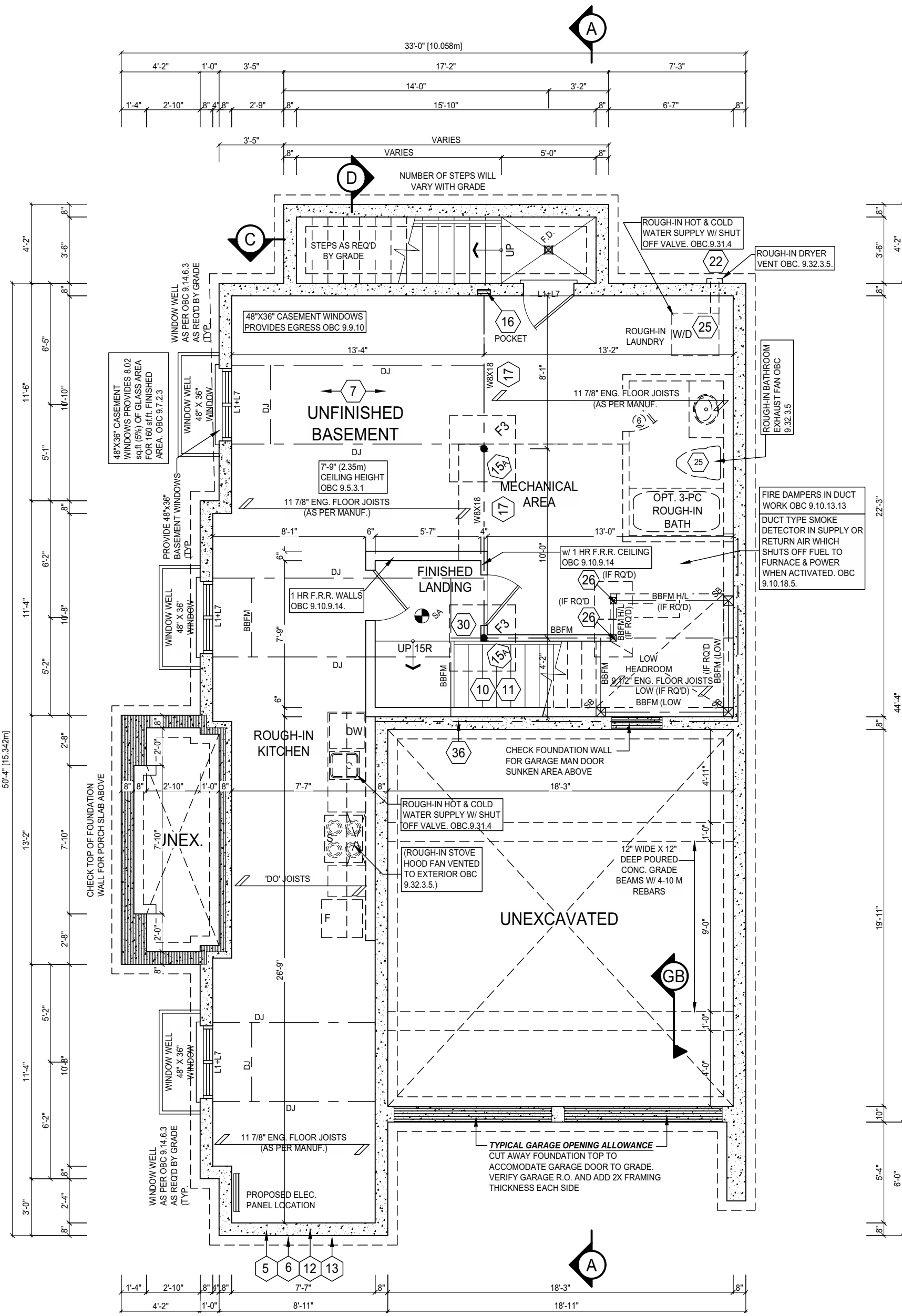
Date: 07/24/20  
MM/DDYY



**36' CONCEPTUAL FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

	<b>Treasure Hill</b> 1681 LANDSTAFF ROAD, UNIT 1 VAUGHAN, ONTARIO L4K 3T3 PHONE: (416) 307-8500 FAX: (416) 320-9600 WWW.TREASUREHILL.COM		<b>ONE RISER</b> 20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3W3 PHONE: (905) 669-2111 FAX: (905) 625-1163 WWW.ONERISER.CA	PROJECT NAME: 5001 MAJOR MACKENZIE DRIVE EAST WILKER COMMONS COMMUNITY CITY OF MARKHAM ARCHITECT FIRM NAME: 	<b>REVISIONS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> <th>By</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>ISSUED FOR SUBMISSION</td> <td>MAR. 2020</td> <td>KR</td> </tr> <tr> <td>2</td> <td>REVISED APPROVAL STAMP LOCATION</td> <td>MAR. 31/20</td> <td>KR</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	Description	Date	By	1	ISSUED FOR SUBMISSION	MAR. 2020	KR	2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR													SHEET NO: <b>CONCEPTUAL FRONT ELEVATION (36' LOT)</b> DRAWING NO: <b>A1.6_36 CONCEPTUAL FRONT ELEVATION</b> DRAWN BY: <b>KR</b> PROJECT NO: <b>20-03</b> CHECKED BY: <b>AS NOTED</b>
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2	REVISED APPROVAL STAMP LOCATION	MAR. 31/20	KR																											
COMPANY: 	ARCHITECT: <b>KAYLENE RIDDELL, EXT. 105</b> EM: KAYLENE@ONERISER.CA	PROJECT NO: 	DRAWING NO: 	SHEET NO: 	SCALE: 																									





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 28, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
	REVISIONS		

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**BASEMENT  
GROUND FLOOR PLAN  
ELEVATION A**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set forth in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
L1CEN 50  
PROFESSIONAL ENGINEER  
STRUCTURAL  
SOS/CA  
90229592  
NOV 16 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**35'-D5  
THE PALMERTON 5**

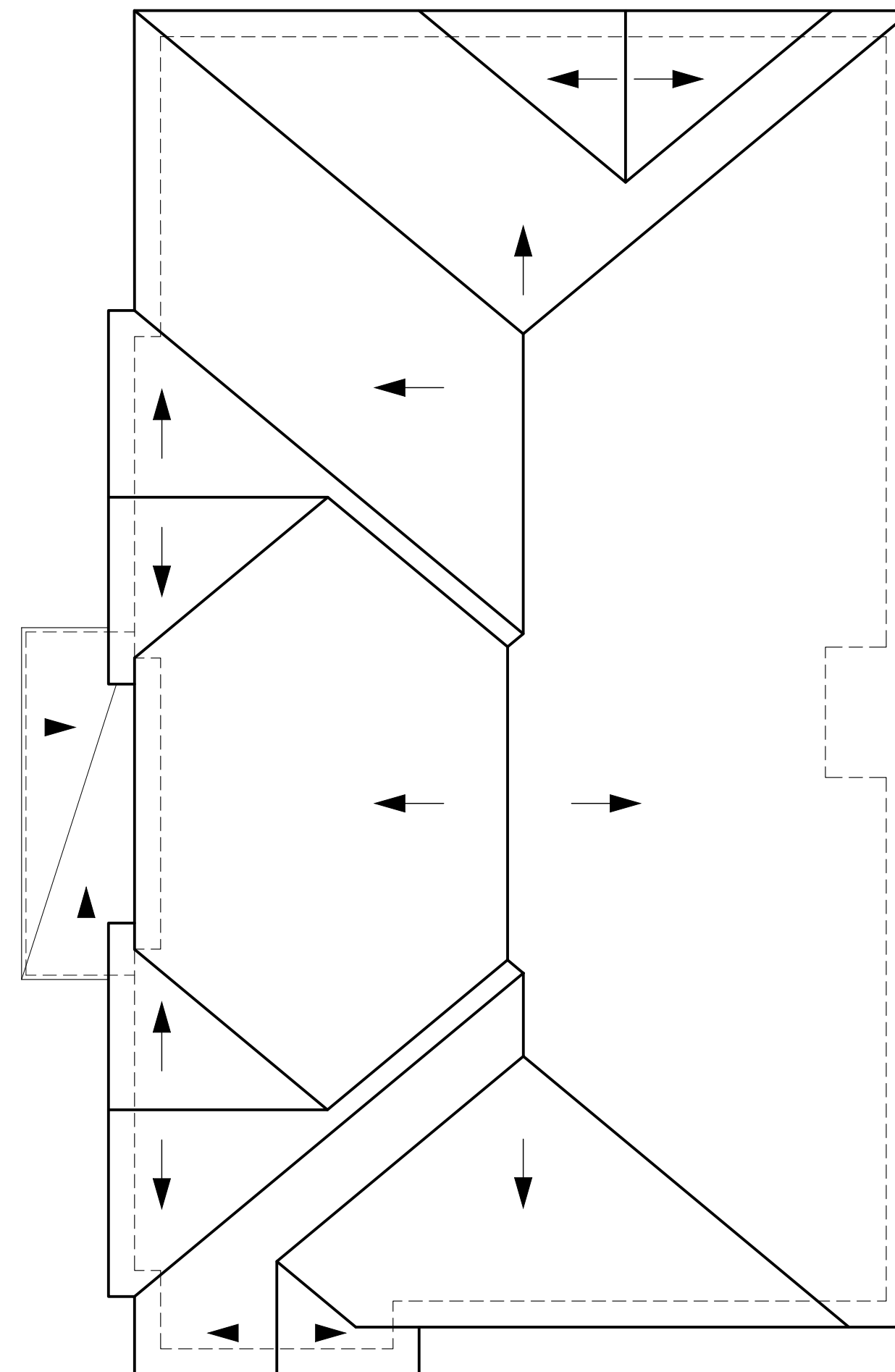
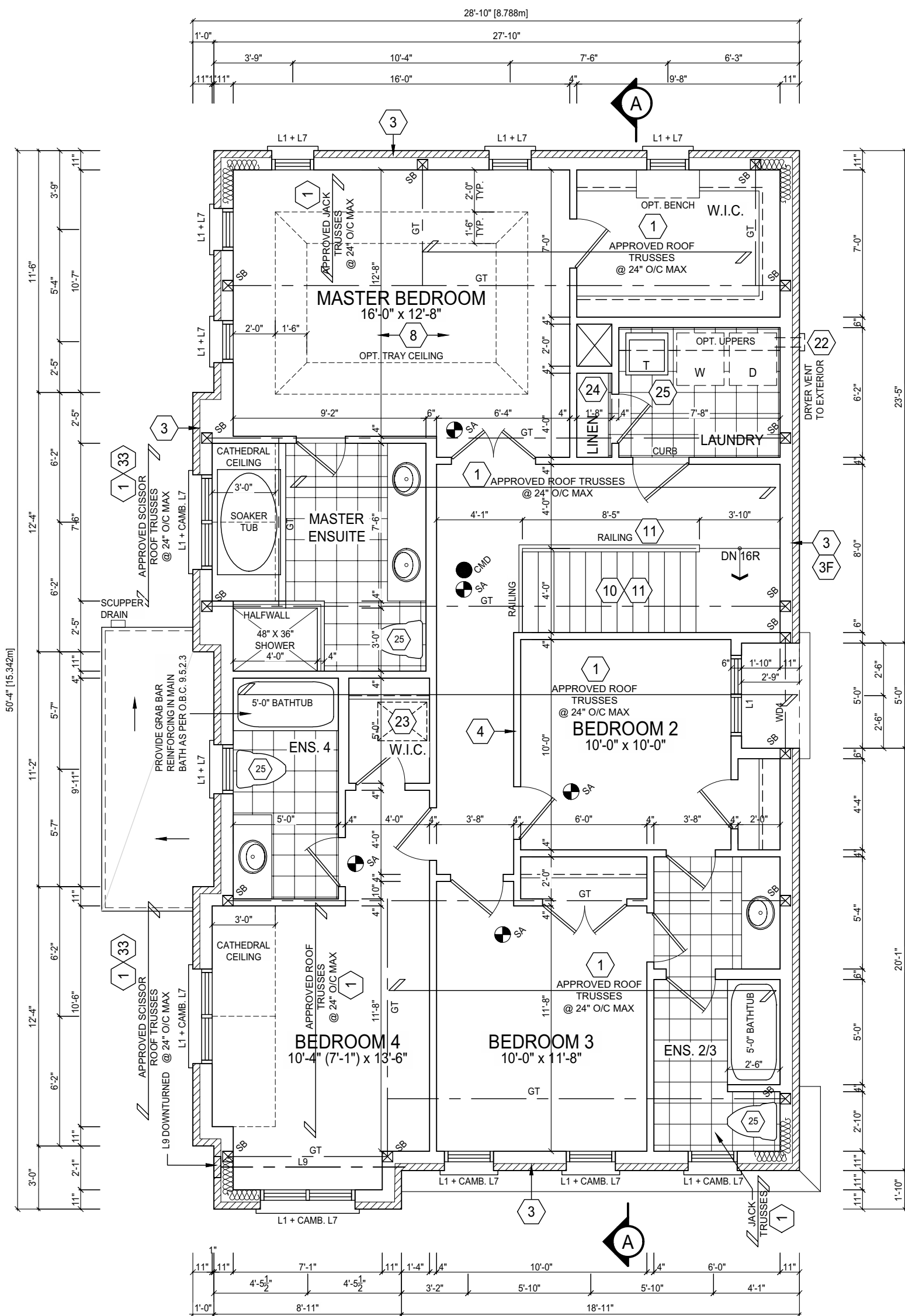
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: A Page No: A-2  
Checked By: NP Scale: 3/16" 1"0"



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 16, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
REVISIONS			

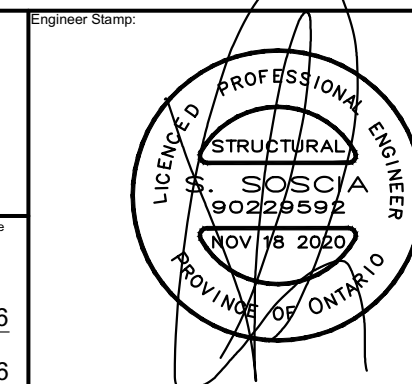
**ONERISER**  
DESIGNS

30 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**SECOND FLOOR  
ROOF PLAN  
ELEVATION A**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER DESIGNER REGULATION 2.2.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER DESIGNER REGULATION 2.2.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**35'-D5  
THE PALMERTON 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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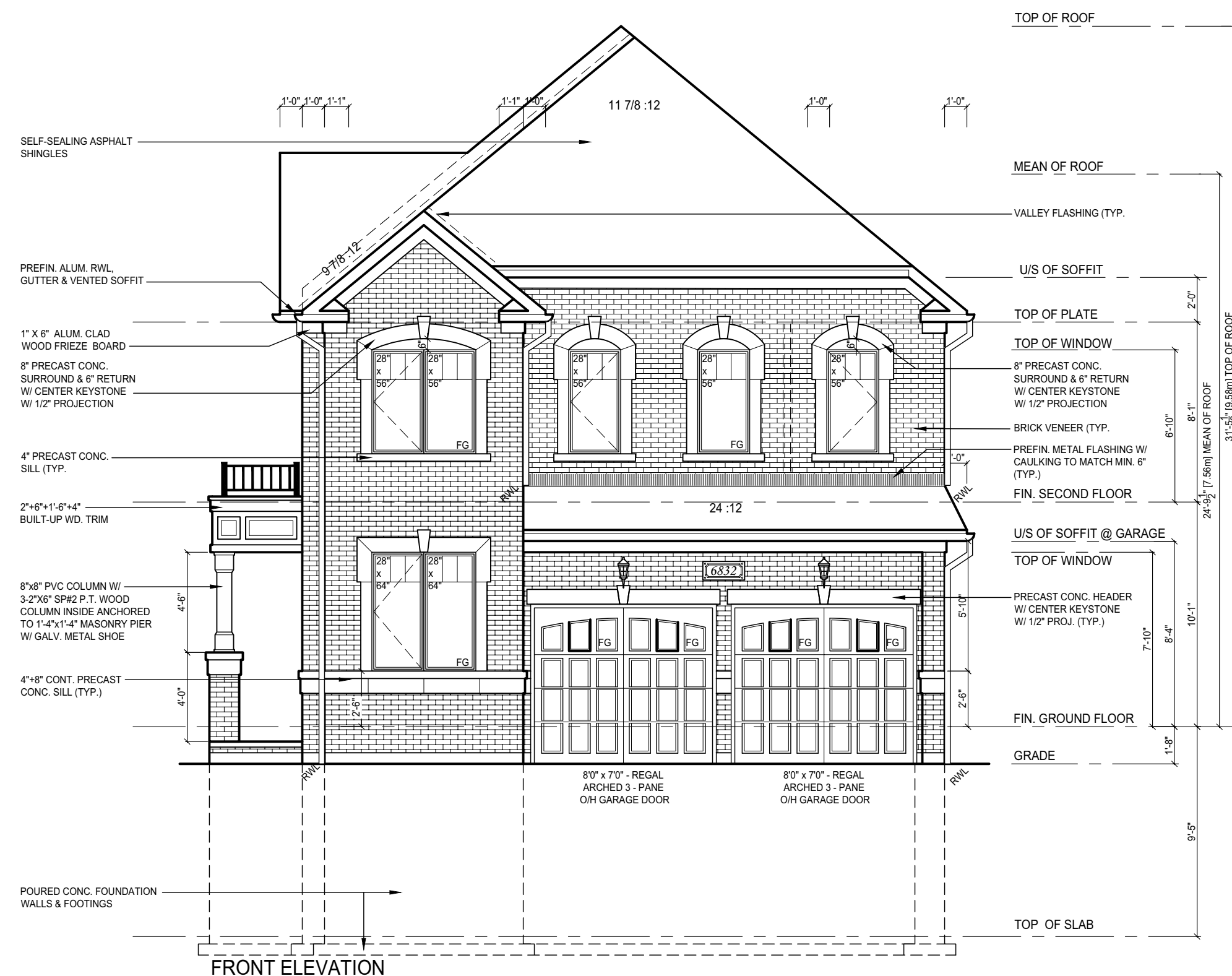
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Checked By: NP Scale: 3/16" 1'0"

# Appendix C

File: 20.135912.000.00.MNV

Date: 01/20/21

M.M.D.P.Y.Y.



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FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: FRONT ELEVATION A

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816

REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.2.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:

Client: TREASURE HILL

Project: ARANCIA  
CITY OF MARKHAM

Model: 35'-D5  
THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

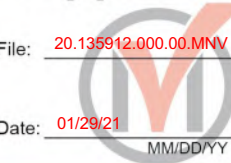
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THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

DO NOT SCALE DRAWINGS.

Drawn By: NP	Project No: 20-03	Elevation: A	Page No: A-4
Checked By: NP	Scale: 3/16" 1'0"		





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FOR LOTS:  
CITY OF MARKHAM

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REVISIONS			

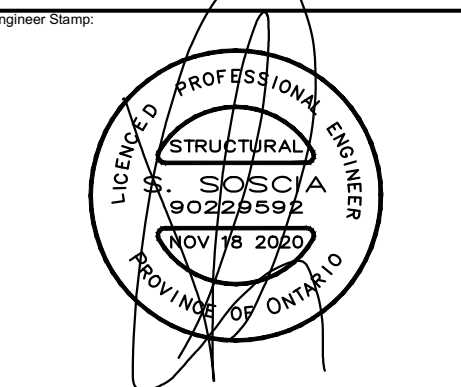
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DESIGNS

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CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: LEFT SIDE ELEVATION A

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client: TREASURE HILL

Project: ARANCIA  
CITY OF MARKHAM

Model: 35'-D5  
THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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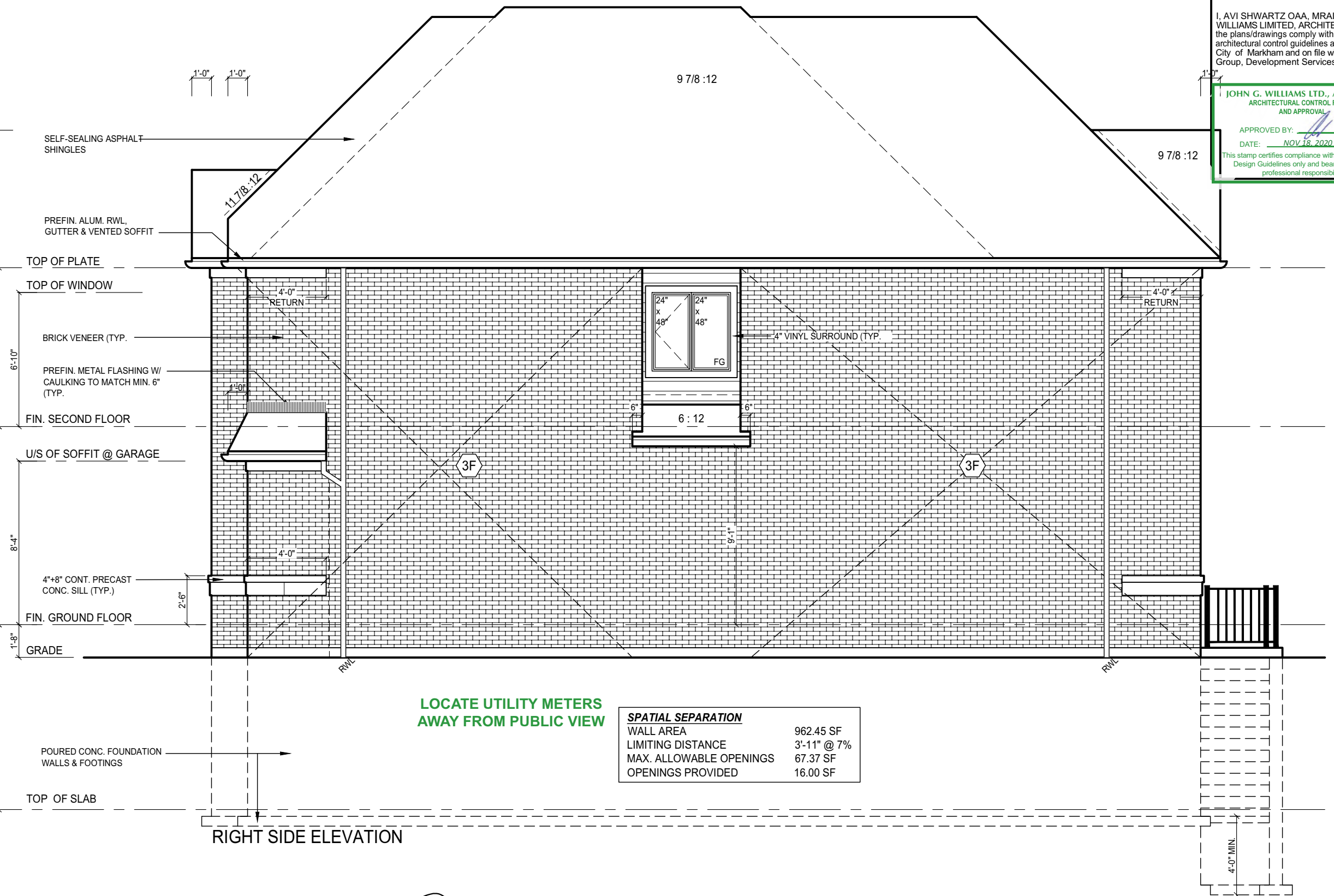
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DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: A Page No: A-5  
Checked By: NP Scale: 3/16" 1'0"



REAR ELEVATION



RIGHT SIDE ELEVATION

SPATIAL SEPARATION	
WALL AREA	962.45 SF
LIMITING DISTANCE	3'-11" @ 7%
MAX. ALLOWABLE OPENINGS	67.37 SF
OPENINGS PROVIDED	16.00 SF

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

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1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
	REVISIONS		

**ONERISER**  
DESIGNS  
30 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
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Sheet Title: REAR & RIGHT SIDE ELEVATION A  
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the drawings.  
QUALIFICATION INFORMATION  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOS/CA  
90228592  
NOV 18 2020  
PROVINCE OF ONTARIO

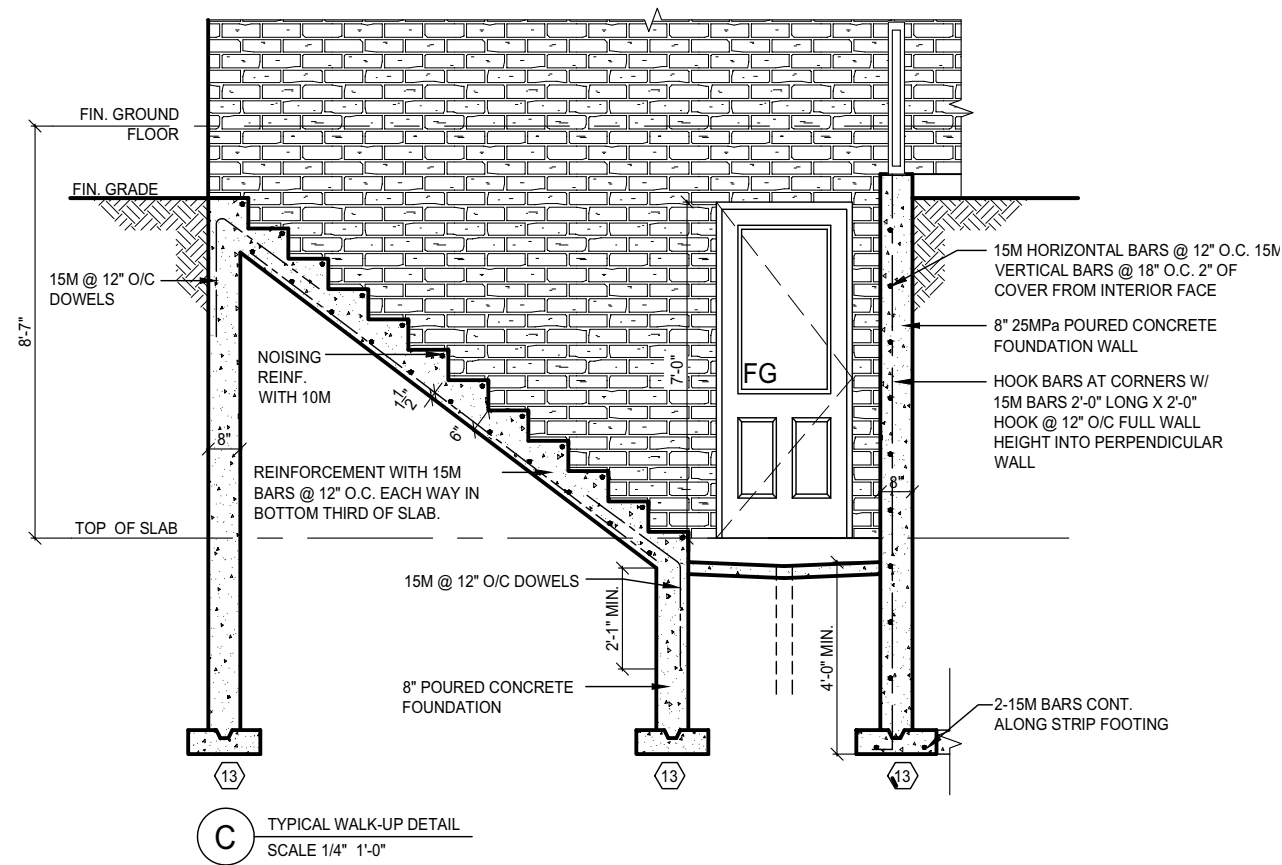
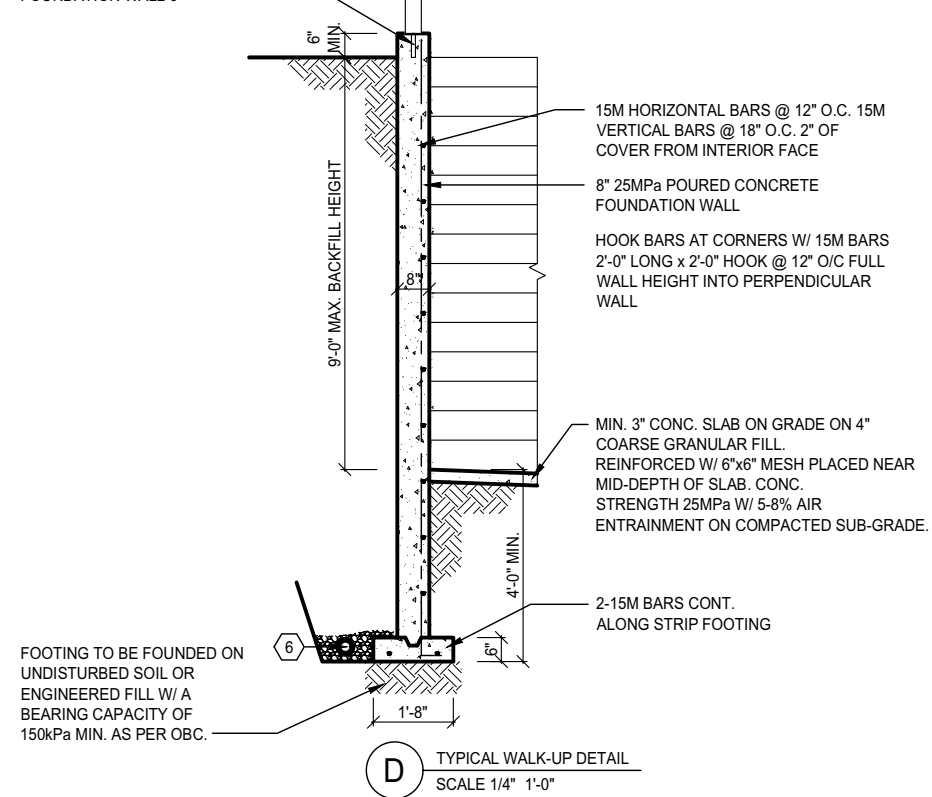
Client: TREASURE HILL  
Project: ARANCIA CITY OF MARKHAM  
Model: 35'-D5 THE PALMERTON 5

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Drawn By: NP Project No: 20-03 Elevation: A Page No: A-6  
Checked By: NP Scale: 3/16" 1'0"

42" HIGH PREFIN. ALUM. RAILING INSTALLED AS PER MANUF. SPECS

ALUM. POST ANCHORED TO POURED CONC. FOUNDATION WALL WITH METAL DOWELS AND WATER RESISTANT EPOXY ADHESIVE EMBEDDED INTO FOUNDATION WALL 6"

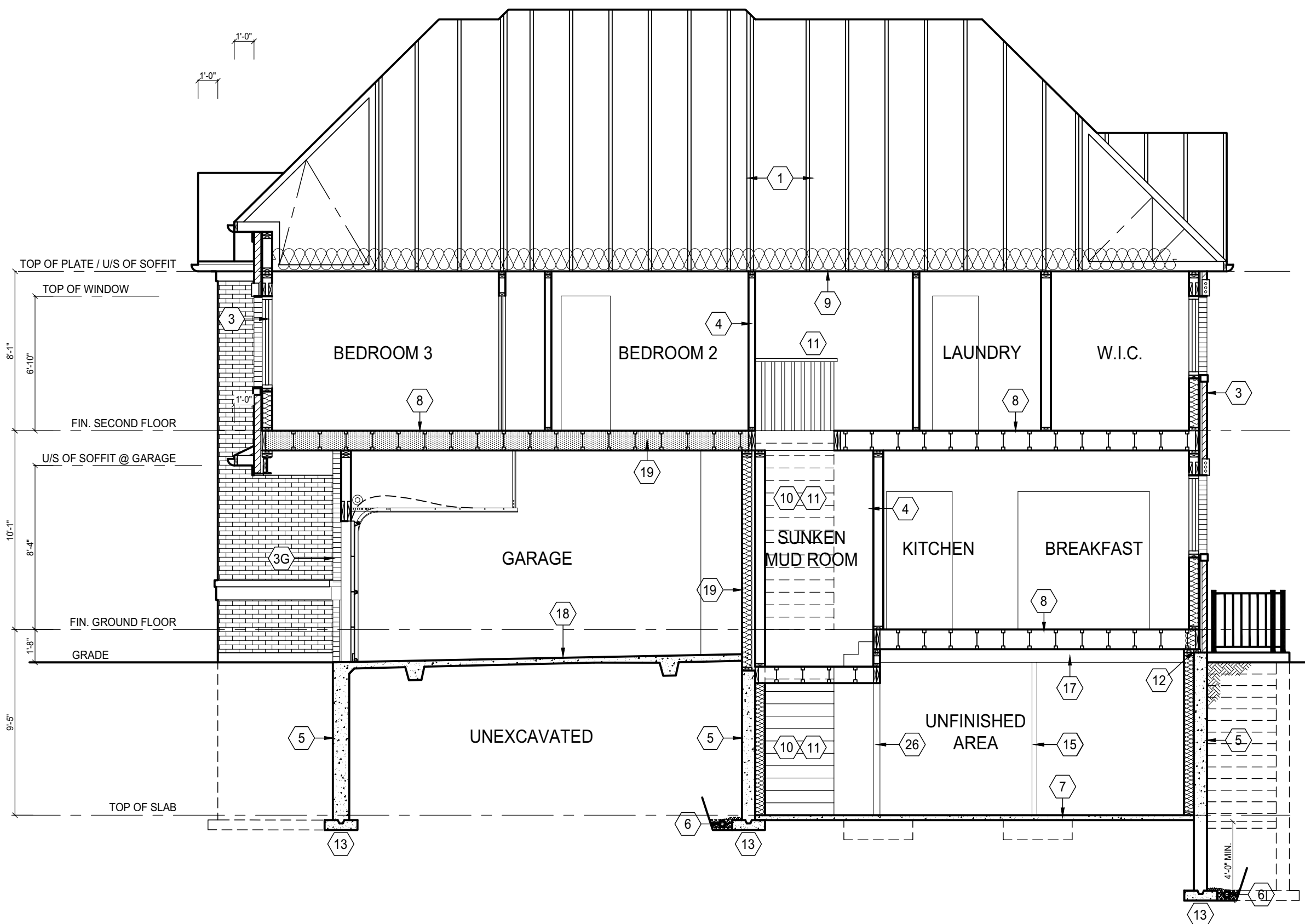
NOTE:  
 1. CONCRETE STRENGTH TO BE 15MPa @ 28 DAYS FOR STRIP FOOTING AND 25 MPa @ 28 DAYS FOR FOUNDATION WALL AND EXTERIOR SLAB.  
 2. REINFORCING STEEL SHALL CONFORM TO CSA G30-18M GRADE 40R.  
 3. MAXIMUM LENGTH OF WALL 18'-0"



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FOR LOTS:  
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Section Title: SECTION 'A'-A' AND DETAILS

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 IAN ROBERTSON 27816  
 REGISTRATION INFORMATION  
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 1 RISER DESIGNS INC. 32026

Engineer Stamp:

Client: TREASURE HILL

Project: ARANCIA  
 CITY OF MARKHAM

Model: 35'-D5  
 THE PALMERTON 5

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Drawn By: NP Project No: 20-03 Elevation: A Page No: A-6  
 Checked By: NP Scale: 3/16" 1'0"

NOTES (UNLESS OTHERWISE NOTED) PERSCRIPTIVE PACKAGE 4 SB-12 (TABLE 3.1.1.2.A) A1

1 TYPICAL ROOF CONSTRUCTION

2 TYPICAL EXTERIOR SIDING WALL

2S TYPICAL EXTERIOR STUCCO WALL

2F EXTERIOR SIDING FIREWALL

2C GARAGE WALLS

3 TYPICAL EXTERIOR BRICK / STONE VENEER WALL

3F EXTERIOR BRICK / STONE VENEER FIREWALL

WITH THE FOLLOWING EXCEPTIONS:
-2'x4" (38mm x 89mm) STUDS @ 16" (400mm) O.C.
-1/2" (12.7mm) TYPE 'X' GYPSUM BOARD
-DELETE INSULATION & 6 MIL AIR/VAPOUR BARRIER

5 FOUNDATION WALL
-NOT EXCEEDING 9'-10" (3000mm) IN LATERSALLY SUPPORTED HEIGHT
-8" (200mm) SOLID 2200psi (20MPa) CONCRETE
-MAX. UNSUPPORTED HEIGHT OF 3'-11" (1200mm) MAX. SUPPORTED HEIGHT OF 6'-11" (2100mm) MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR

6 WEeping Tile

7 BASEMENT SLAB / SLAB ON GRADE
-7" (75mm) SOLID 3600psi (32MPa) CONCRETE
SLAB-DAMP-PROOF BELOW SLAB W/ MIN. 0.006" (0.15mm) POLYETHYLENE OR TYPE S ROLL ROOFING

8 FLOOR ASSEMBLY

9 CEILING

10 STAIRS INTERIOR & EXTERIOR

11 RAILINGS / GUARDS

12 SILL PLATE

CONTINUOUS KEY RESTING ON UNDISTURBED SOIL.
ROCK OR COMPACTED GRANULAR LIF W/ MIN. 21.76psi (150KPa) BEARING CAPACITY

14 BEARING STUD WALL (BASEMENT)
-2'x4" (38mm x 89mm) WOOD STUDS OR 2'x6" (38mm x 140mm) WOOD STUDS @ 12" (300mm) O.C.
-DOUBLE 2'x4" OR 2'x6" TOP PLATE

15 STEEL PIPE COLUMN (see O.B.C. 9.15.3.3)
-3/12" (89mm) DIA. X 0.118 (4.78mm) SINGLE WALL TUBE
-TYPE 2 ADJUSTABLE STEEL COLUMN W/ MIN. ALLOWABLE LOAD OF 16000 LBS (712 kN) AT A MIN. EXTENSION OF 7-7 1/2" (231mm) CONFORMING TO CAN/CSG-2.94 AND W/ 6"X8"X3/8" (150X150X9.5) STEEL PLATE TOP & BOTTOM.

16 PILASTERS / BEAM POCKETS

17 STEEL BEAM WOOD PLATE / STRAPPING

18 GARAGE SLAB

19 GARAGE WALL & CEILING

20 GARAGE MAN DOOR

21 PRECAST CONC. STEP

22 CAPPED DRYER VENT OBC 9.32.1.3/3

23 ATTIC ACCESS HATCH

24 LINEN CLOSET

25 EXHAUST FAN

26 WOOD COLUMN

29 BLOCK VENEER WALL
-1" (25mm) CONCRETE BLOCK TO SUPPORT BRICK ABOVE. WALL AS PER NOTE (3) EXCEPT NO WEEP HOLES

30 WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6mil POLYETHYLENE OR 6 MIL ROLL ROOFING

31 DOUBLE VOLUME WALL
-FOR A MAXIMUM 5480mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2'x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRK-AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1200mm (4'-0") o.c. VERT. FOR HORIZ. DISTANCES NOT EXCEEDING 2900mm (9'-7") PROVIDE 38x140 (2'x6") STUDS @400mm (16") o.c. WITH A CONTINUOUS HEADER AT THE GROUND FLOOR CEILING LEVEL TOE NAILED AND GLUED TO THE TOP PLATES. 1/2" EXT. PLYWOOD.

32 CONVENTIONAL ROOF & CEILING FRAMING
-2' x 6" (38mm x 140mm) RAFTERS @ 16" (400mm) O.C.
-2'x4" (38mm x 89mm) COLLAR TIES AT MIDSPANS
-CEILING JOISTS TO BE 2" X 6" (38mm x 140mm) @ 16" (400mm) O.C. UNLESS OTHERWISE NOTED

33 VAULTED OR CATHEDRAL CEILING
-APPROVED SCISSOR TRUSSES OR 2" X 10" (38mm X 235mm) W/ 2" (38mm) CROSS PURLINS
-R31 (RSI 5.46) INSULATION, 3" (75mm) MIN. CLEARANCE FROM UPS OF ROOF SHEATHING TO INSULATION

34 WALLS ADJACENT TO ATTIC SPACE
-1/2" (13mm) GYPSUM BOARD
-6 MIL POLY AIR/VAPOUR BARRIER
-2' X 6" (38mm X 140mm) WOOD STUDS @ 16" (400mm) O.C.

35 EXPOSED CANTILEVERED FLOOR
-FLOOR ASSEMBLY AS PER NOTE (2)
-6 MIL POLY AIR/VAPOUR BARRIER
-R31 (RSI 5.46) SPRAY FOAM INSULATION
-VENTED ALUMINUM SOFFIT

36 UNSUPPORTED FDTN. WALLS @ OPENINGS & SUNKEN AREAS

38 PROPOSED ELECTRICAL PANEL LOCATION

39 ABOVE COOKTOP FIRE PROTECTION

SMOKE ALARM (O.B.C. 9.10.19.
-PROVIDE 1 ON EACH FLOOR INCLUDING BASEMENTS
-PROVIDE 1 IN EACH BEDROOM

SE
-MINIMUM 3-2'x6" OR 3-2'x4" BUILT UP COLUMN TO MATCH WALL THICKNESS. SQUASH BLOCKS TO BE PROVIDED TO TRANSFER POINT LOADS THROUGH FLOOR SYSTEM

BUILT UP COLUMNS TO BE NAILED WITH 1 ROW FOR 2'x4" COLUMNS AND 2 ROWS, STAGGERED FOR 2'x6" COLUMNS, AT 8 1/2" O.C. NAIL LENGTH TO MATCH BUILT UP COLUMN WIDTH.

BASEMENT GENERAL NOTES
-ALL CONCRETE FOOTINGS SHALL REST ON UNDISTURBED SOIL WITH ALLOWABLE BEARING CAPACITY OF 150 KPA. (3135 PSF). (TO BE SITE VERIFIED) AND SHALL BE A MIN. OF 4" BELOW FINISHED GRADE.

GROUND FLOOR GENERAL NOTES
-ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN TO BE A MIN. OF 2'x8" SFF#2

SECOND FLOOR GENERAL NOTES
-ALL INTERIOR DOOR AND OPENING LINTEL NOT SHOWN TO BE A MIN. OF 2'x8" SFF#2

PAD FOOTING SCHEDULE: F1 24"x24"x12" POURED CONC. PAD, F2 36"x36"x16" POURED CONC. PAD, F3 42"x42"x19" POURED CONC. PAD, F4 48"x48"x22" POURED CONC. PAD, F5 54"x54"x25" POURED CONC. PAD, F6 60"x60"x28" POURED CONC. PAD

STEEL COLUMN SCHEDULE: C1 4"X4"X1/4" H.S.S. W/ 6"X10"X1/2" BASE PLATE & 2-3/4" DIA ANCHOR BOLTS W/ 4 BOLTS, C2 3/4" DIA. 1/4" THICK W/ 10"X10"X1/2" BASE PL. W/ 2-3/4" DIA. DIA. ANCHOR BOLTS, C3 6" X 6" X 3/8" THICK W/ 12" X 12" X 1/2" BASE PLATE @ 4 - 3/4" DIA. ANCHOR BOLTS, C4 5" X 5" X 1/4" THICK W/ 10" X 10" X 1/2" BASE-PLATE @ 4 - 3/4" DIA. ANCHOR BOLTS, C5 4" X 4" X 1/4" THICK W/ 10" X 10" X 1/2" BASE-PLATE @ 4 - 3/4" DIA. ANCHOR BOLTS, W/ 25KN/m2 - USE 4 BOLTS FOR MOMENT CONNECTION

REBAR NOTES: B.L.L. BOTTOM LOWER LEVEL, T.U.L. BOTTOM UPPER LEVEL, T.U.U. TOP UPPER LEVEL, T.A.A. TOP ALL AROUND, B.E.W. BOTTOM EACH WAY

WALL LEGEND: VARYING WALL HEIGHT, DOUBLE VOLUME WALL, LOAD BEARING WALL

REBAR NOTES (continued): B.L.L. BOTTOM LOWER LEVEL, T.U.L. BOTTOM UPPER LEVEL, T.U.U. TOP UPPER LEVEL, T.A.A. TOP ALL AROUND, B.E.W. BOTTOM EACH WAY

WALL LEGEND (continued): VARYING WALL HEIGHT, DOUBLE VOLUME WALL, LOAD BEARING WALL

FLOOR AREA CALCULATIONS ELEV. A: GROUND FLOOR AREA 920 Sq. Ft., SECOND FLOOR AREA 1377 Sq. Ft., TOTAL FLOOR AREA 2297 Sq. Ft., 1st FLOOR OPEN AREA 0 Sq. Ft., 2nd FLOOR OPEN AREA 0 Sq. Ft., ADD TOTAL OPEN AREAS 0 Sq. Ft., ADD FIN. BASEMENT AREA 31 Sq. Ft., GROSS FLOOR AREA 2328.00 Sq. Ft., GROUND FLOOR COVERAGE 920 Sq. Ft., GARAGE AREA 471 Sq. Ft., PORCH AREA 66 Sq. Ft., TOTAL COVERAGE W/ PORCH 1457 Sq. Ft., TOTAL COVERAGE W/O PORCH 1391 Sq. Ft., 129.23 Sq. m.

FLOOR AREA CALCULATIONS ELEV. B: GROUND FLOOR AREA 920 Sq. Ft., SECOND FLOOR AREA 1378 Sq. Ft., TOTAL FLOOR AREA 2298 Sq. Ft., 1st FLOOR OPEN AREA 0 Sq. Ft., 2nd FLOOR OPEN AREA 0 Sq. Ft., ADD TOTAL OPEN AREAS 0 Sq. Ft., ADD FIN. BASEMENT AREA 31 Sq. Ft., GROSS FLOOR AREA 2329.00 Sq. Ft., GROUND FLOOR COVERAGE 920 Sq. Ft., GARAGE AREA 471 Sq. Ft., PORCH AREA 49 Sq. Ft., TOTAL COVERAGE W/ PORCH 1440 Sq. Ft., TOTAL COVERAGE W/O PORCH 133.78 Sq. m., 1391 Sq. Ft., 129.23 Sq. m.

FLOOR AREA CALCULATIONS ELEV. C: GROUND FLOOR AREA 920 Sq. Ft., SECOND FLOOR AREA 1365 Sq. Ft., TOTAL FLOOR AREA 2285 Sq. Ft., 1st FLOOR OPEN AREA 0 Sq. Ft., 2nd FLOOR OPEN AREA 0 Sq. Ft., ADD TOTAL OPEN AREAS 0 Sq. Ft., ADD FIN. BASEMENT AREA 31 Sq. Ft., GROSS FLOOR AREA 2316.00 Sq. Ft., GROUND FLOOR COVERAGE 920 Sq. Ft., GARAGE AREA 471 Sq. Ft., PORCH AREA 66 Sq. Ft., TOTAL COVERAGE W/ PORCH 1457 Sq. Ft., TOTAL COVERAGE W/O PORCH 135.36 Sq. m., 1391 Sq. Ft., 129.23 Sq. m.

GLAZING CALCULATION CHART EL. A: GRADE TO SECOND FLOOR 11.75 ft., SECOND FLOOR TO TOP OF PLATE 8.03 ft., GROUND FLOOR PERIMETER 160.33 ft., SECOND FLOOR PERIMETER 165.83 ft., TOTAL WALL AREA 3216.06 s.f., GLAZING FRONT ELEVATION 79.13 s.f., GLAZING LEFT SIDE ELEVATION 199.50 s.f., GLAZING RIGHT SIDE ELEVATION 16.00 s.f., GLAZING REAR ELEVATION 161.26 s.f., TOTAL GLAZING AREA 455.89 s.f., ALLOWABLE GLAZING AREA 17%, GLAZING AREA 14.18%

GLAZING CALCULATION CHART EL. B: GRADE TO SECOND FLOOR 11.75 ft., SECOND FLOOR TO TOP OF PLATE 8.03 ft., GROUND FLOOR PERIMETER 160.33 ft., SECOND FLOOR PERIMETER 165.83 ft., TOTAL WALL AREA 3216.10 s.f., GLAZING FRONT ELEVATION 101.16 s.f., GLAZING LEFT SIDE ELEVATION 249.50 s.f., GLAZING RIGHT SIDE ELEVATION 16.00 s.f., GLAZING REAR ELEVATION 118.70 s.f., TOTAL GLAZING AREA 485.36 s.f., ALLOWABLE GLAZING AREA 17%, GLAZING AREA 15.09%

GLAZING CALCULATION CHART EL. C: GRADE TO SECOND FLOOR 11.75 ft., SECOND FLOOR TO TOP OF PLATE 8.03 ft., GROUND FLOOR PERIMETER 160.33 ft., SECOND FLOOR PERIMETER 165.83 ft., TOTAL WALL AREA 3216.10 s.f., GLAZING FRONT ELEVATION 77.33 s.f., GLAZING LEFT SIDE ELEVATION 243.77 s.f., GLAZING RIGHT SIDE ELEVATION 16.00 s.f., GLAZING REAR ELEVATION 118.70 s.f., TOTAL GLAZING AREA 455.80 s.f., ALLOWABLE GLAZING AREA 17%, GLAZING AREA 14.17%

REVISIONS table with columns: #, Description, Date, By

ONERISER DESIGNS logo and contact information: 20 RIVERMEDE ROAD, UNIT 101 CONCORD, ONTARIO L4K 3N3. PHONE: (905) 669-2111 FAX: 1 (866) 602-1163 WWW.ONERISER.CA

CONSTRUCTION NOTES title block with qualification information for Ian Robertson, Registered Professional Engineer in Structural Engineering, No. 90229592, dated Nov 16 2020, Province of Ontario.

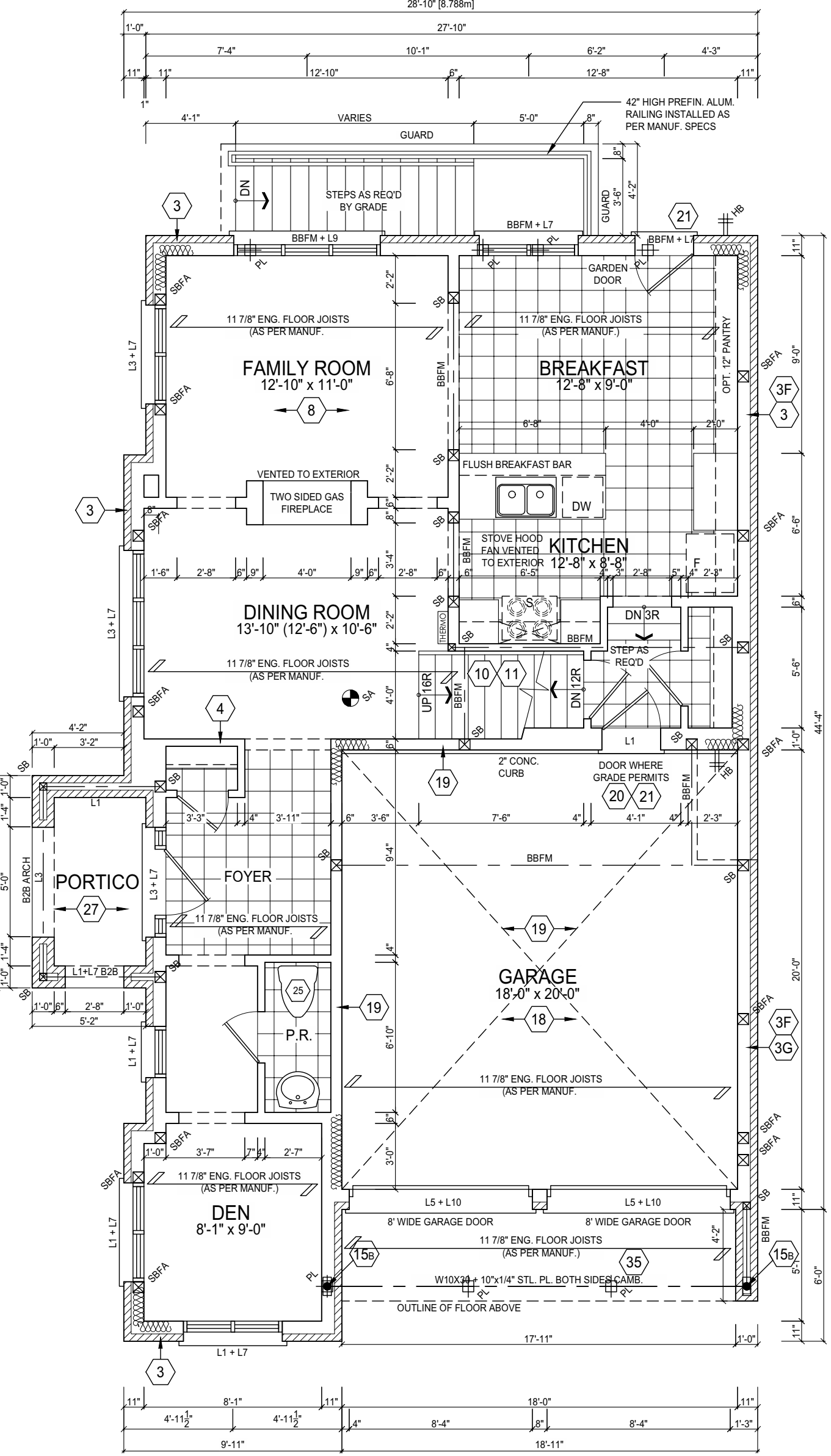
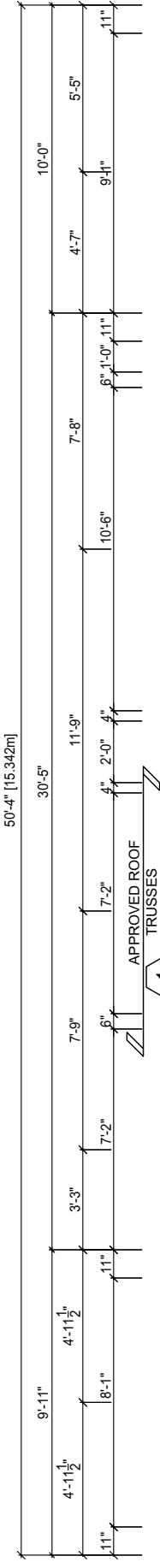
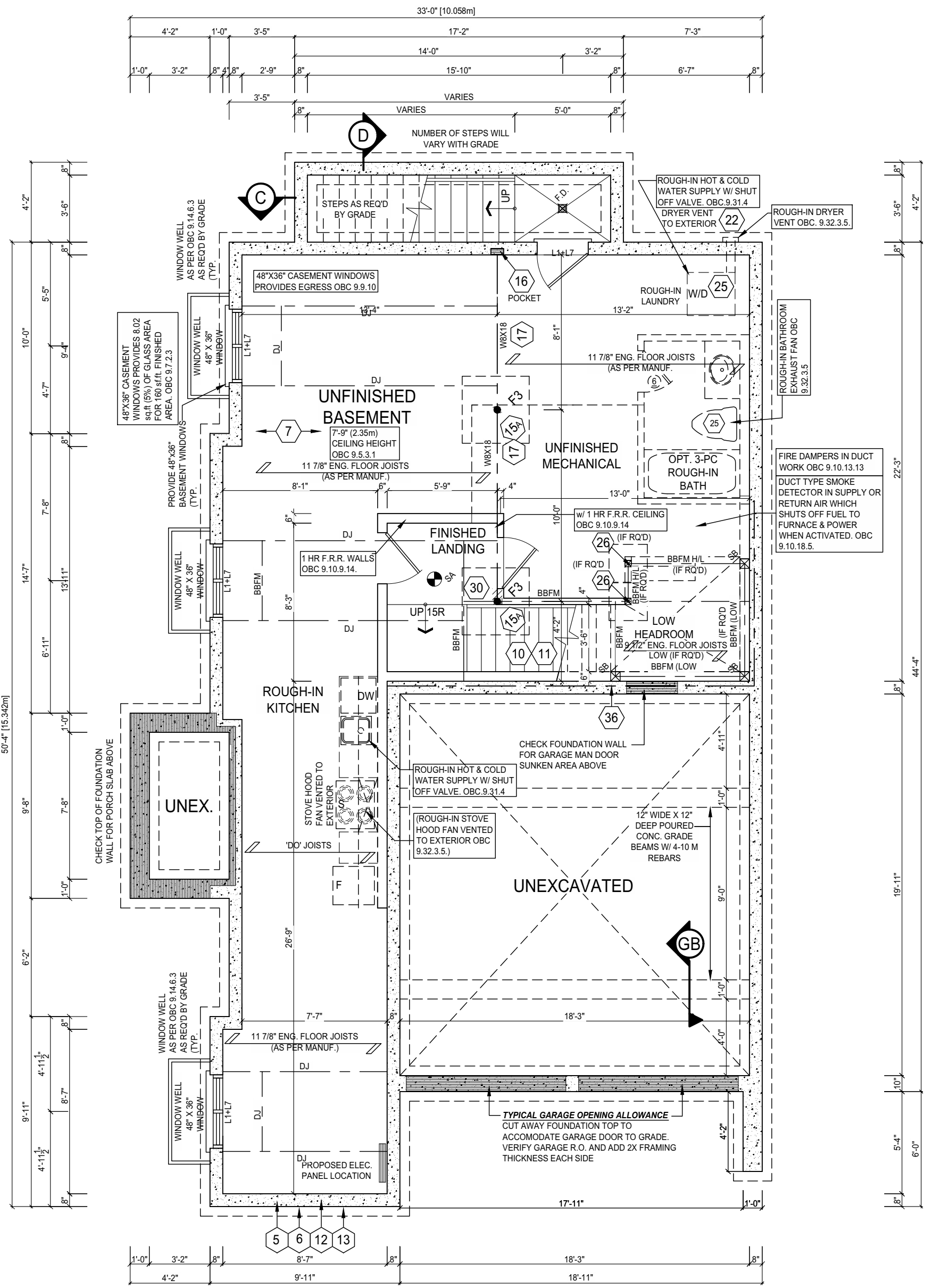
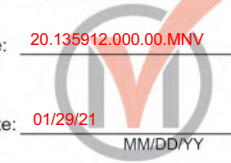
TREASURE HILL logo and client information: ARANCIA CITY OF MARKHAM, 35'-D5 THE PALMERTON 5

Project information table: Project No. 20-03, Scale: 3/16" 10", Elevation: A-1

Project information table: Model: NP, Checked By: NP

Appendix C logo and file information: File: 20-139912.000.00.MNV, Date: 01/29/21

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot. FOR LOTS: CITY OF MARKHAM. I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.



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FOR LOTS:  
CITY OF MARKHAM  
I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
REVISE	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**BASEMENT  
GROUND FLOOR PLAN  
ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90229592  
NOV 16 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**35'-D5  
THE PALMERTON 5**

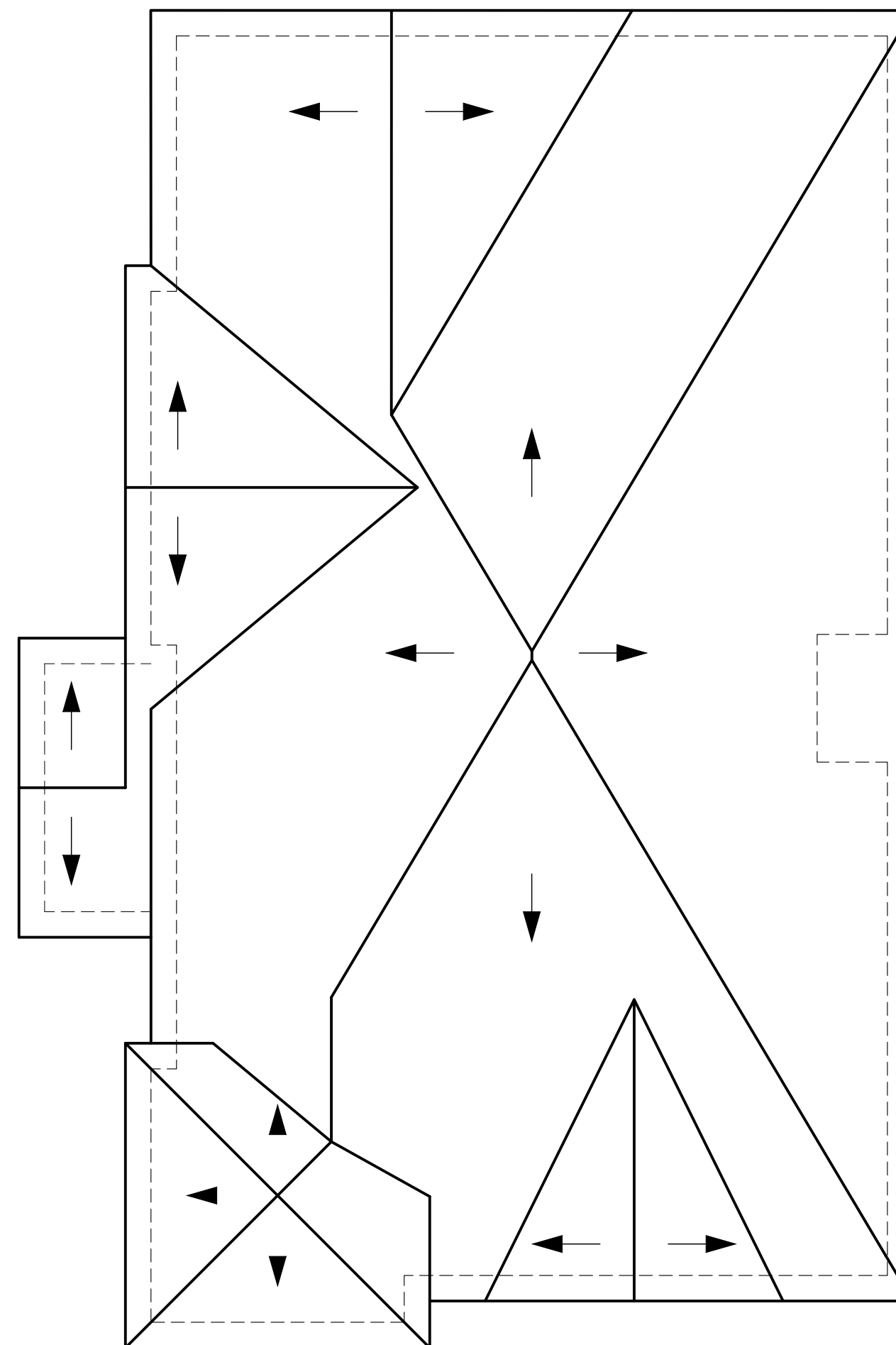
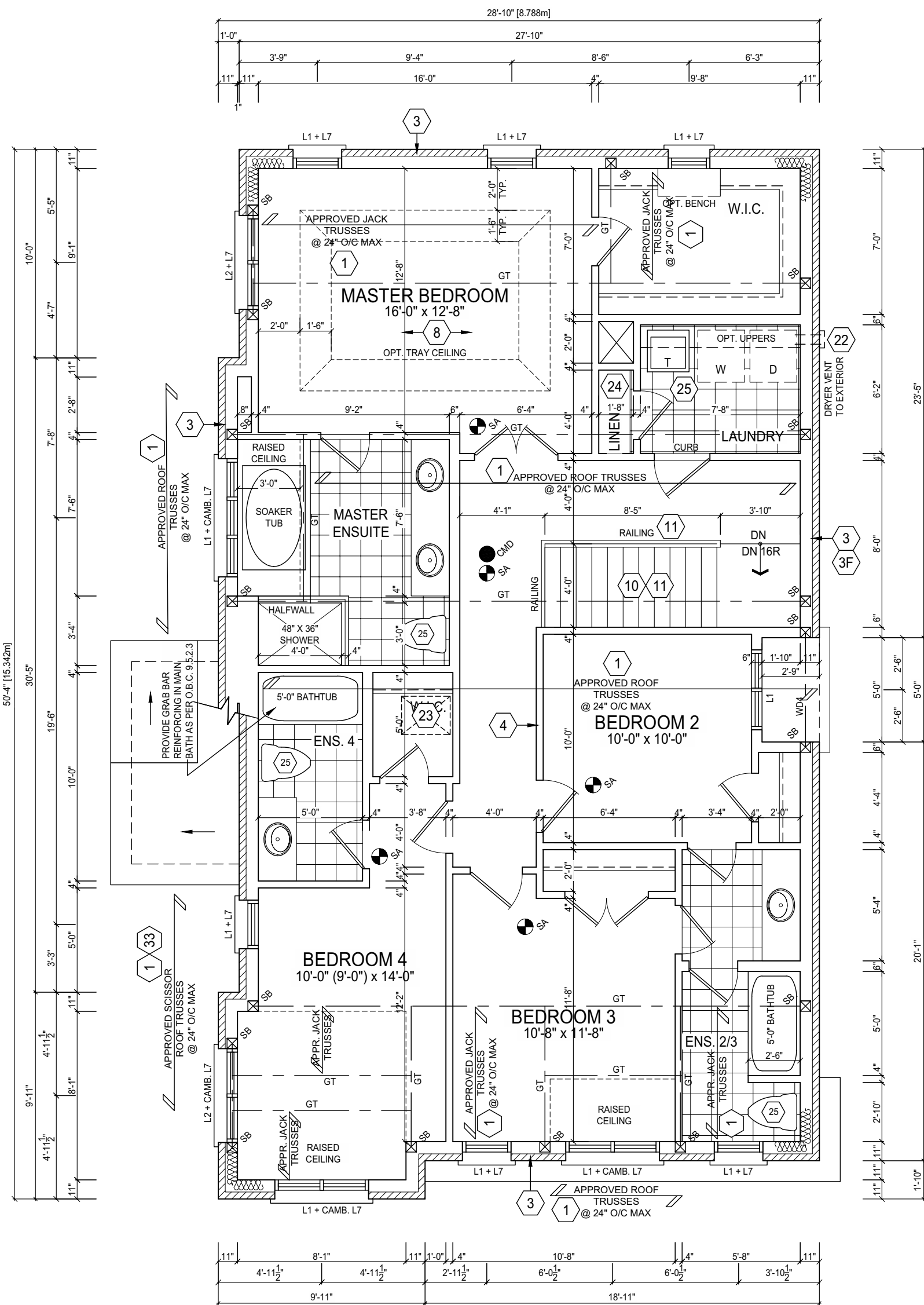
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: B Page No: A-8  
Checked By: NP Scale: 3/16" 1'0"



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**SECOND FLOOR ROOF PLAN ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOS/CA  
90228592  
NOV 16 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**35'-D5  
THE PALMERTON 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

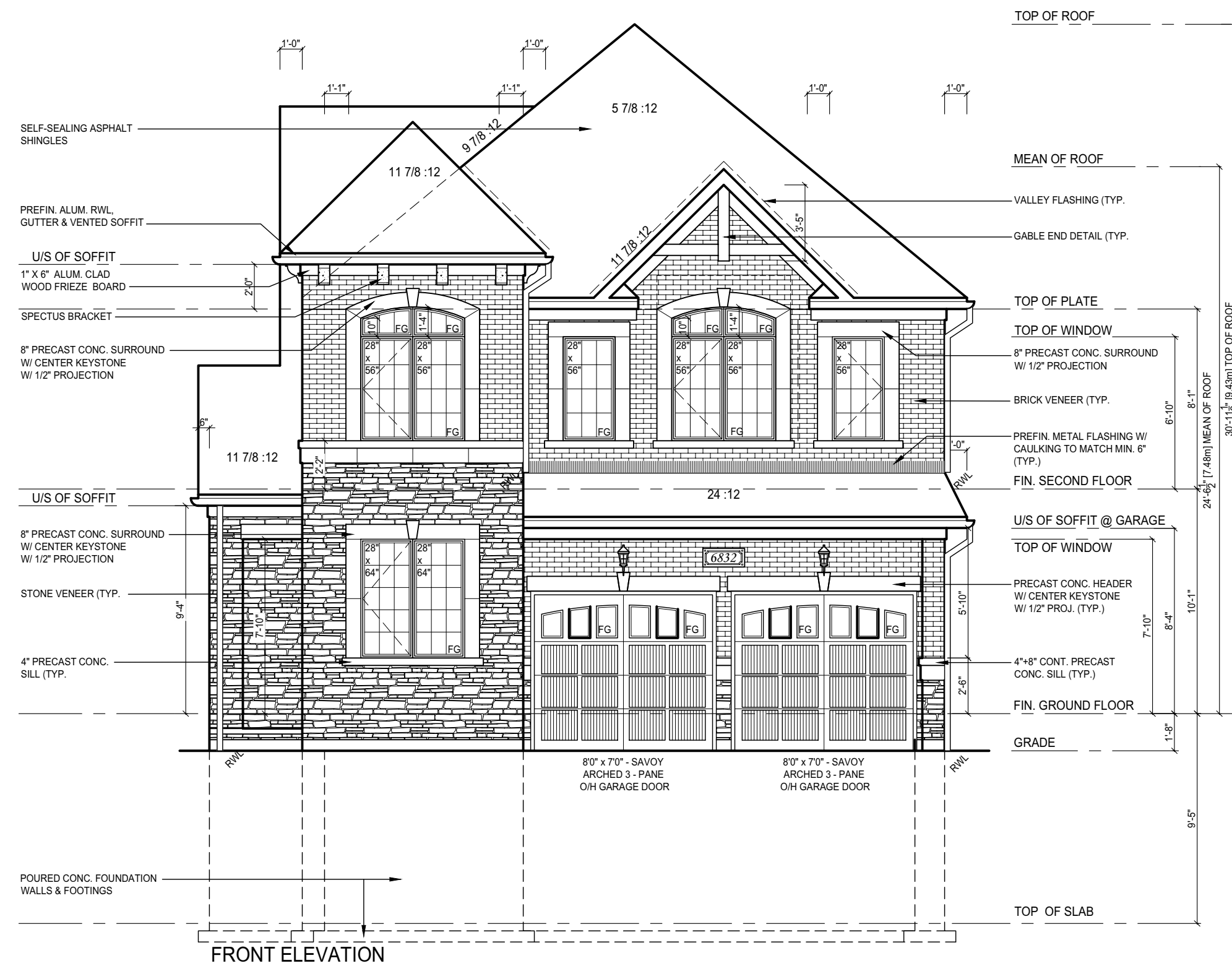
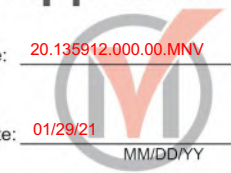
DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: B Page No: A-9  
Checked By: NP Scale: 3/16" 1'0"

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/20/21



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

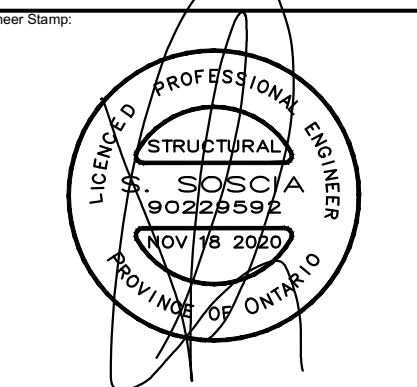
**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: **FRONT ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client: **TREASURE HILL**

Project: **ARANCIA CITY OF MARKHAM**

Model: **35'-D5 THE PALMERTON 5**

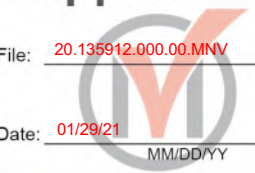
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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DO NOT SCALE DRAWINGS.

Drawn By: NP	Project No: 20-03	Elevation: B	Page No: A-10
Checked By: NP	Scale: 3/16" 1'0"		



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FOR LOTS:  
CITY OF MARKHAM

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: NOV 18 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LEFT SIDE ELEVATION

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**LEFT SIDE ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCI A  
90229592  
NOV 18 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**35'-D5  
THE PALMERTON 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

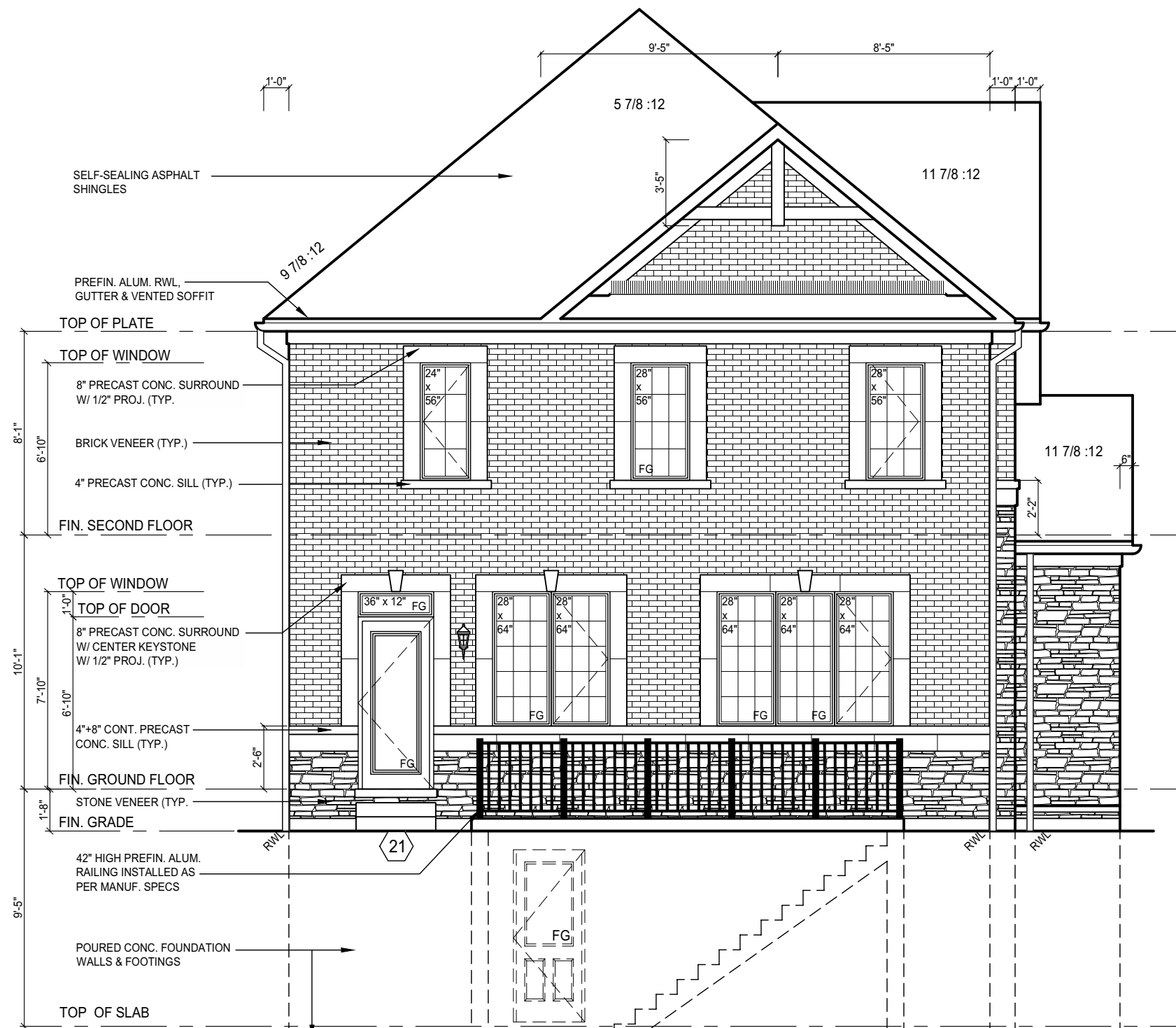
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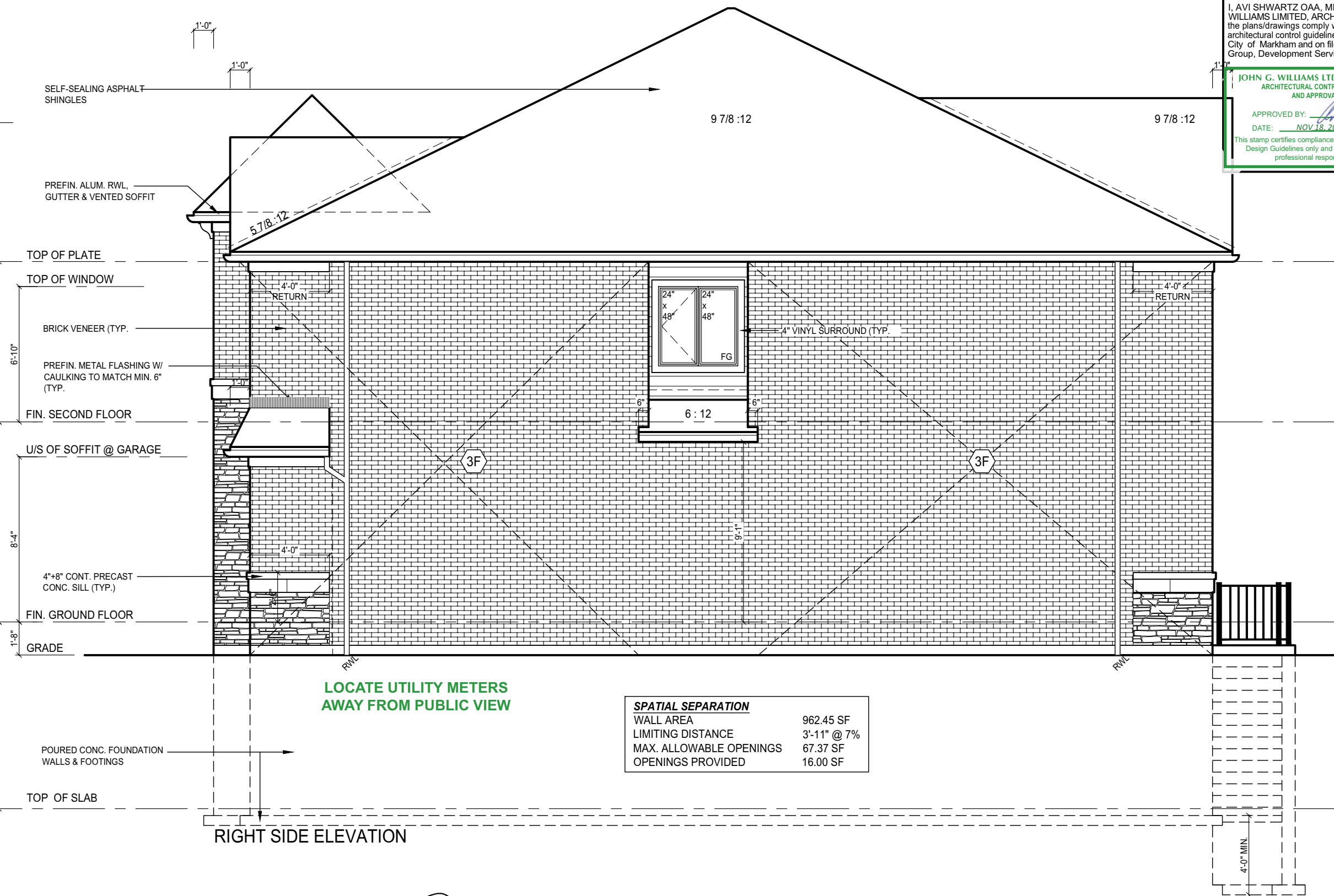
DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: B Page No: A-11  
Checked By: NP Scale: 3/16" 1'0"





REAR ELEVATION



RIGHT SIDE ELEVATION

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

SPATIAL SEPARATION	
WALL AREA	962.45 SF
LIMITING DISTANCE	3'-11" @ 7%
MAX. ALLOWABLE OPENINGS	67.37 SF
OPENINGS PROVIDED	16.00 SF

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS

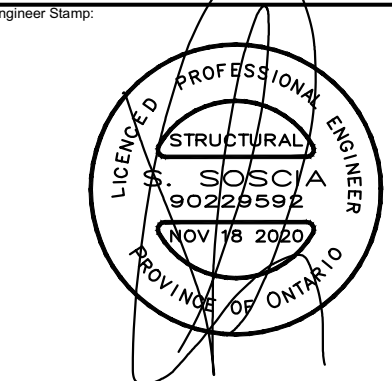
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: REAR & RIGHT SIDE ELEVATION B

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816

REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client: TREASURE HILL

Project: ARANCIA CITY OF MARKHAM

Model: 35'-D5 THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

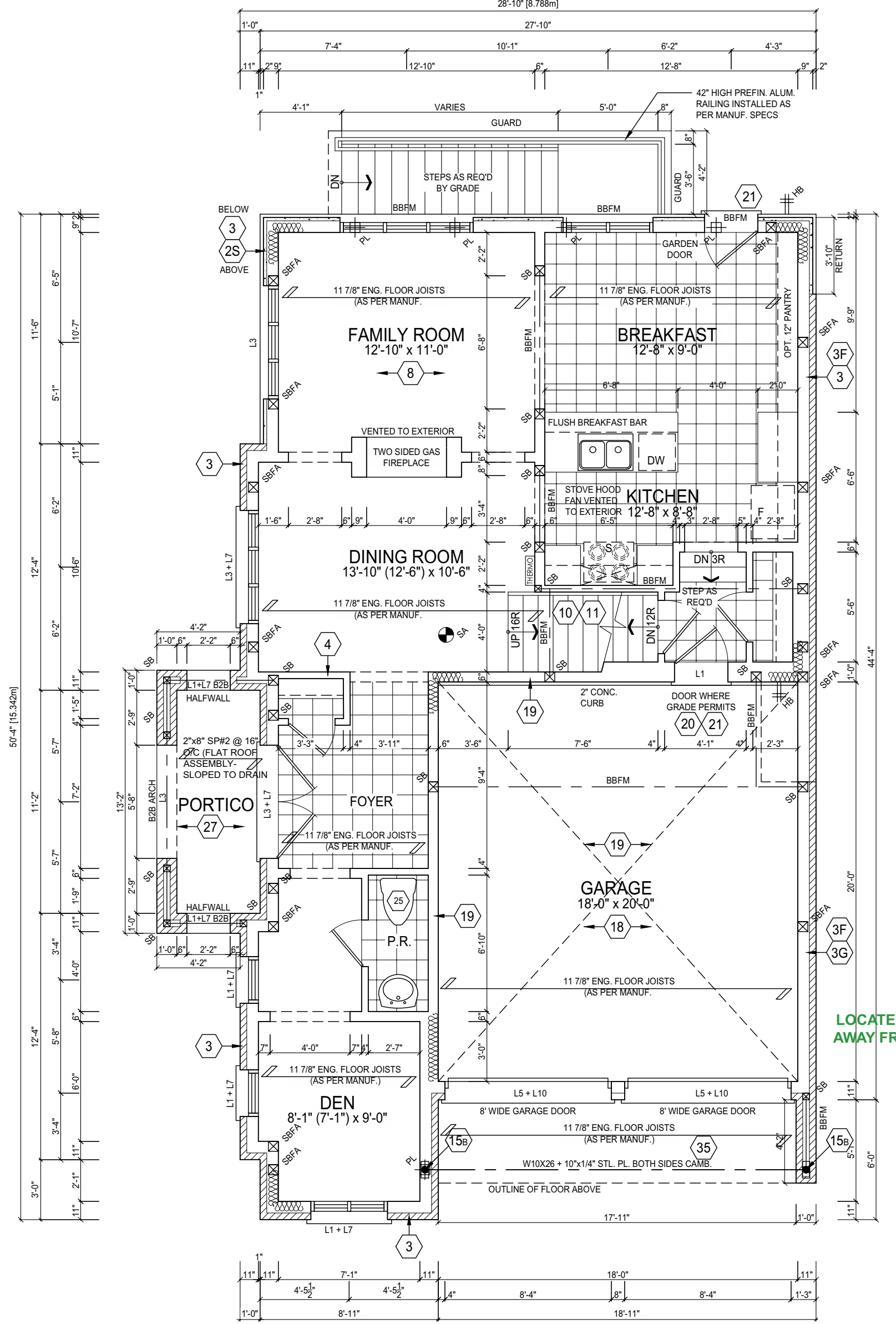
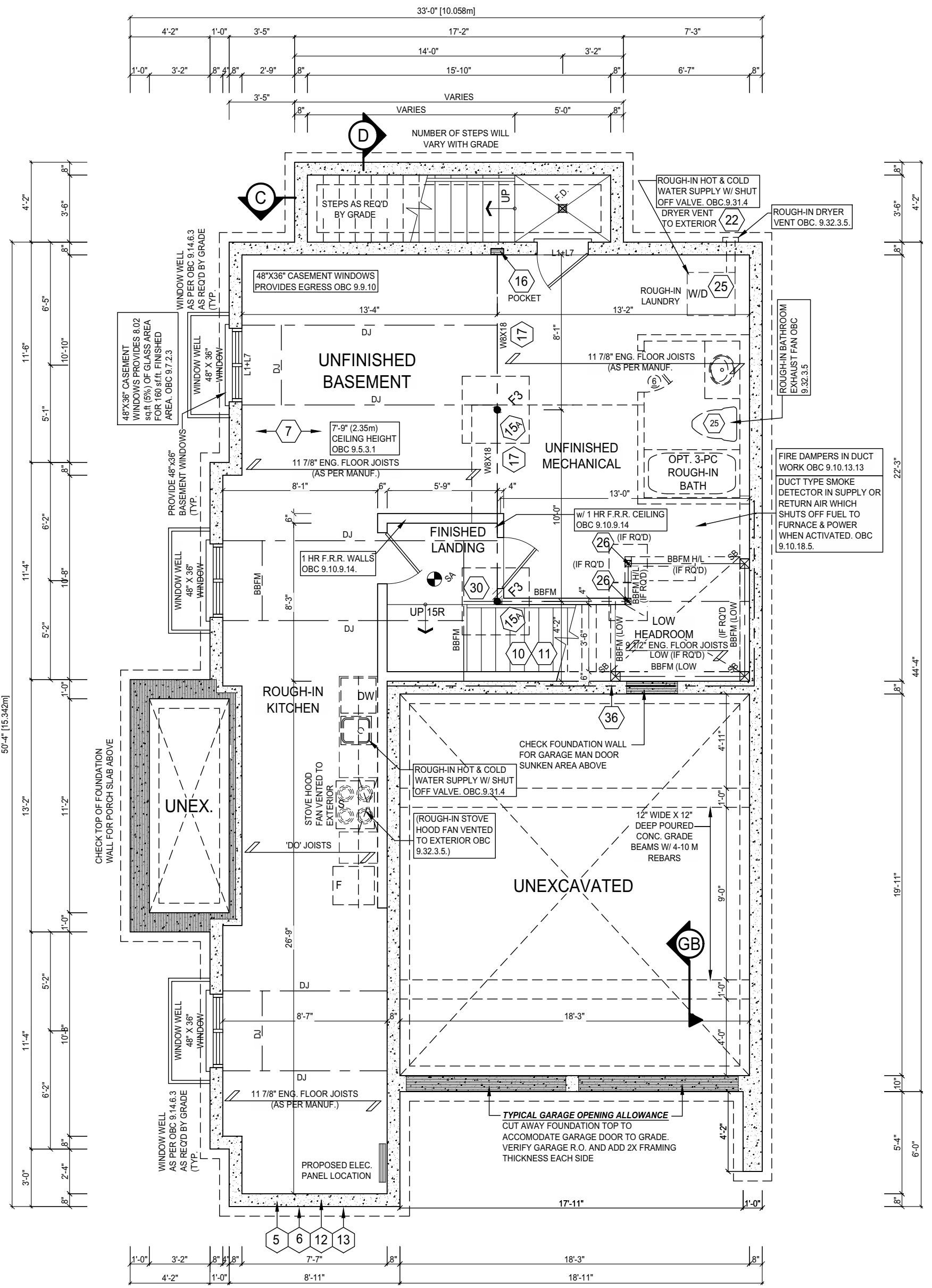
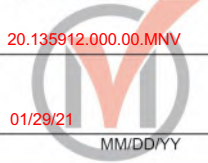
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DO NOT SCALE DRAWINGS.

Drawn By:	NP	Project No:	20-03	Elevation:	B	Page No:	A-12
Checked By:	NP	Scale:	3/16" 1'0"				





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FOR LOTS:  
CITY OF MARKHAM  
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
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2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
	REVISIONS		

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

**BASEMENT  
GROUND FLOOR PLAN  
ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

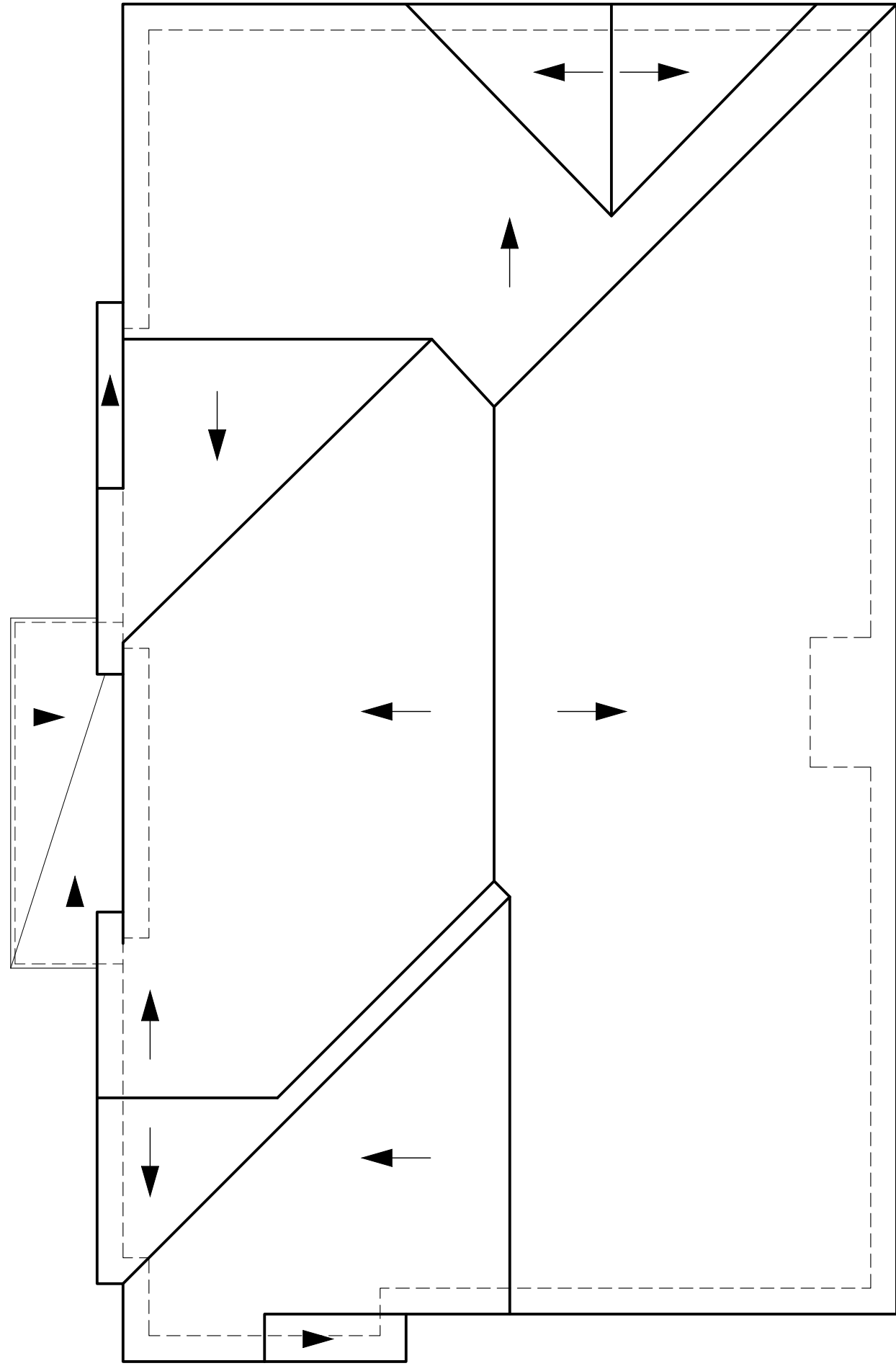
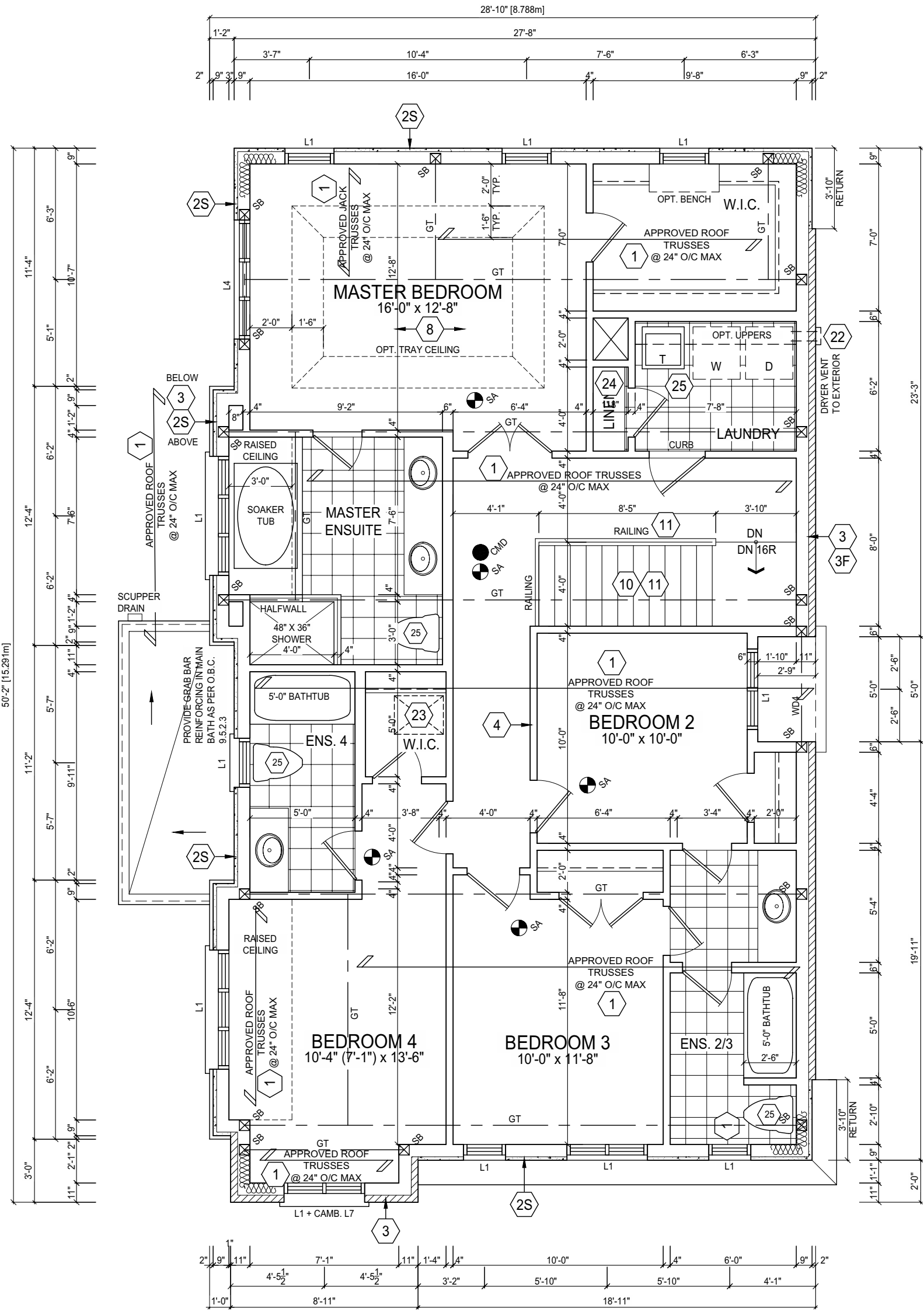
QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCA  
90229592  
NOV 16 2020  
PROVINCE OF ONTARIO

**TREASURE HILL**  
ARANCIA  
CITY OF MARKHAM  
35'-D5  
THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE  
THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.  
THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".  
DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: C Page No: A-13  
Checked By: NP Scale: 3/16" 1'0"



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM  
I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS

30 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**SECOND FLOOR  
ROOF PLAN  
ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REGISTERED UNDER DESIGNER REGULATION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REGISTERED UNDER DESIGNER REGULATION 2.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSC/A  
90228592  
NOV 16 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
ARANCIA  
CITY OF MARKHAM

Model:  
35'-D5  
THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

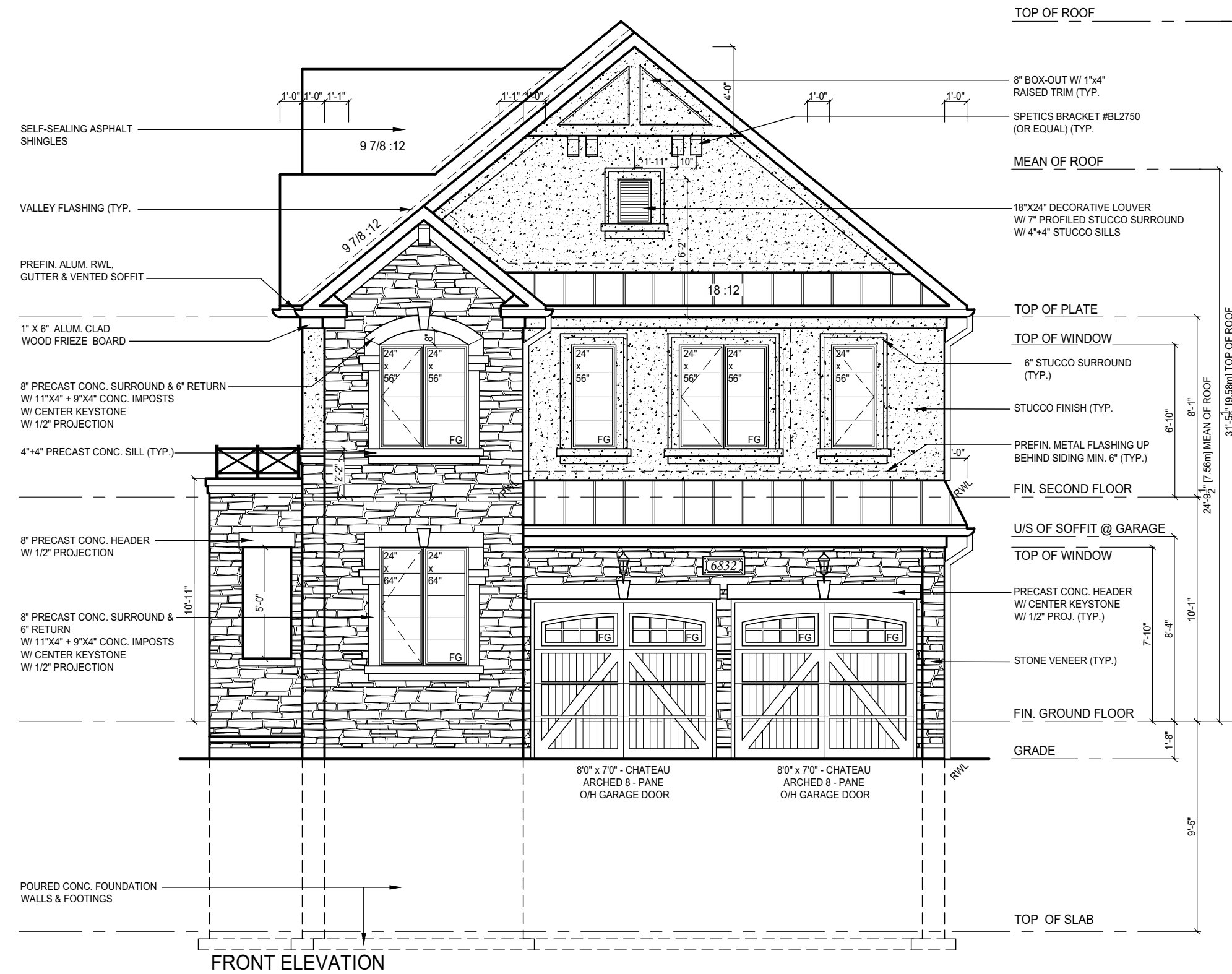
DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: C Page No: A-14  
Checked By: NP Scale: 3/16" 1'0"

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/20/21



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

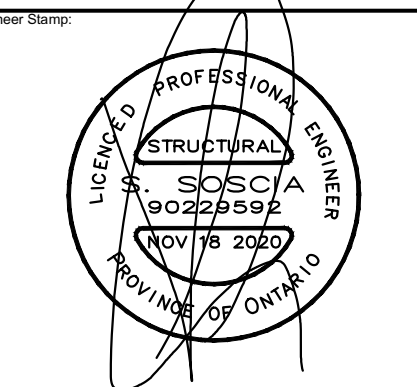
**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: **FRONT ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client: **TREASURE HILL**

Project: **ARANCIA CITY OF MARKHAM**

Model: **35'-D5 THE PALMERTON 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

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DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: C Page No: A-15  
Checked By: NP Scale: 3/16" 1'0"

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/23/21



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**LEFT SIDE ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the referenced documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCI A  
90229592  
NOV 16 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**35'-D5  
THE PALMERTON 5**

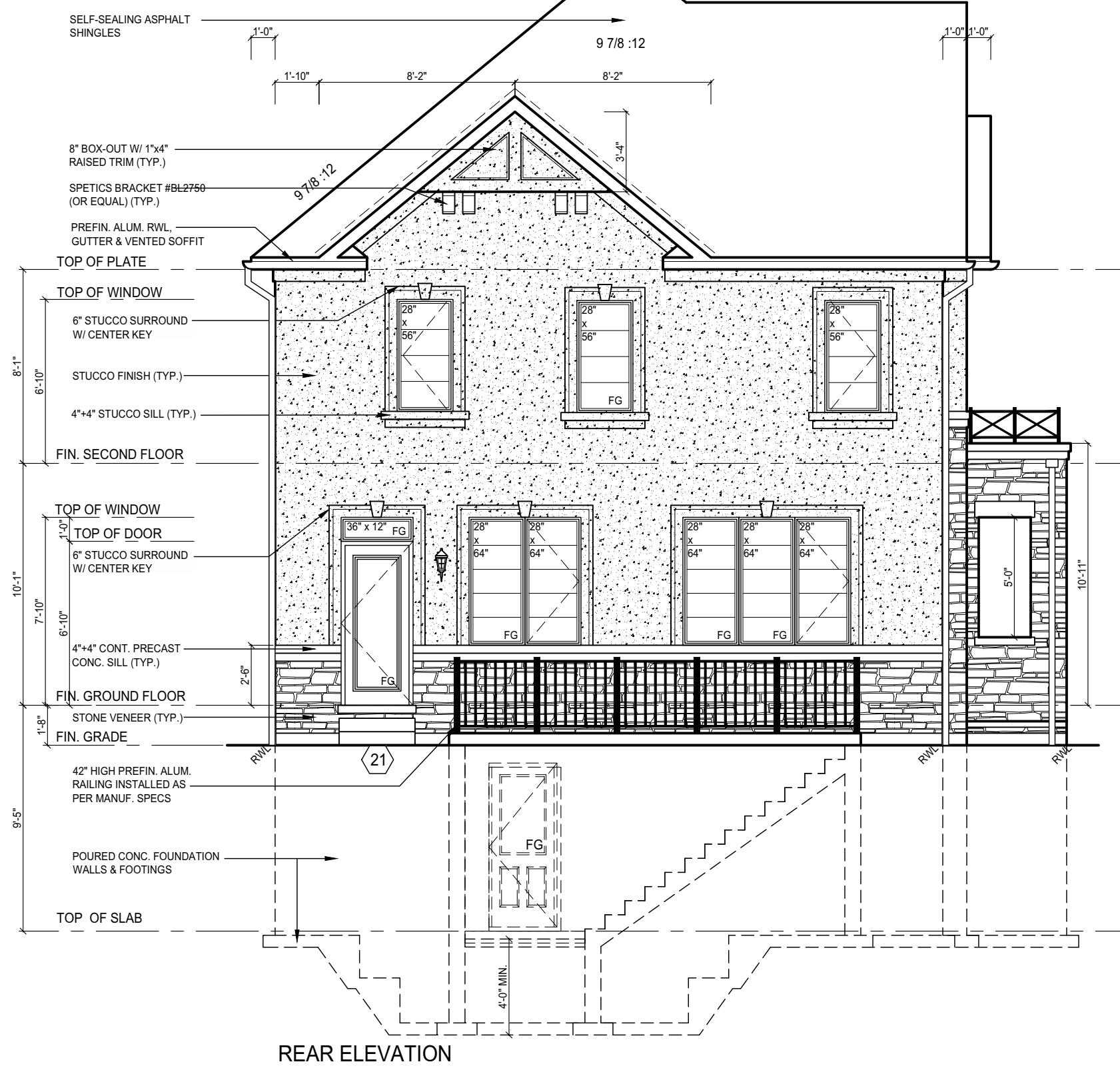
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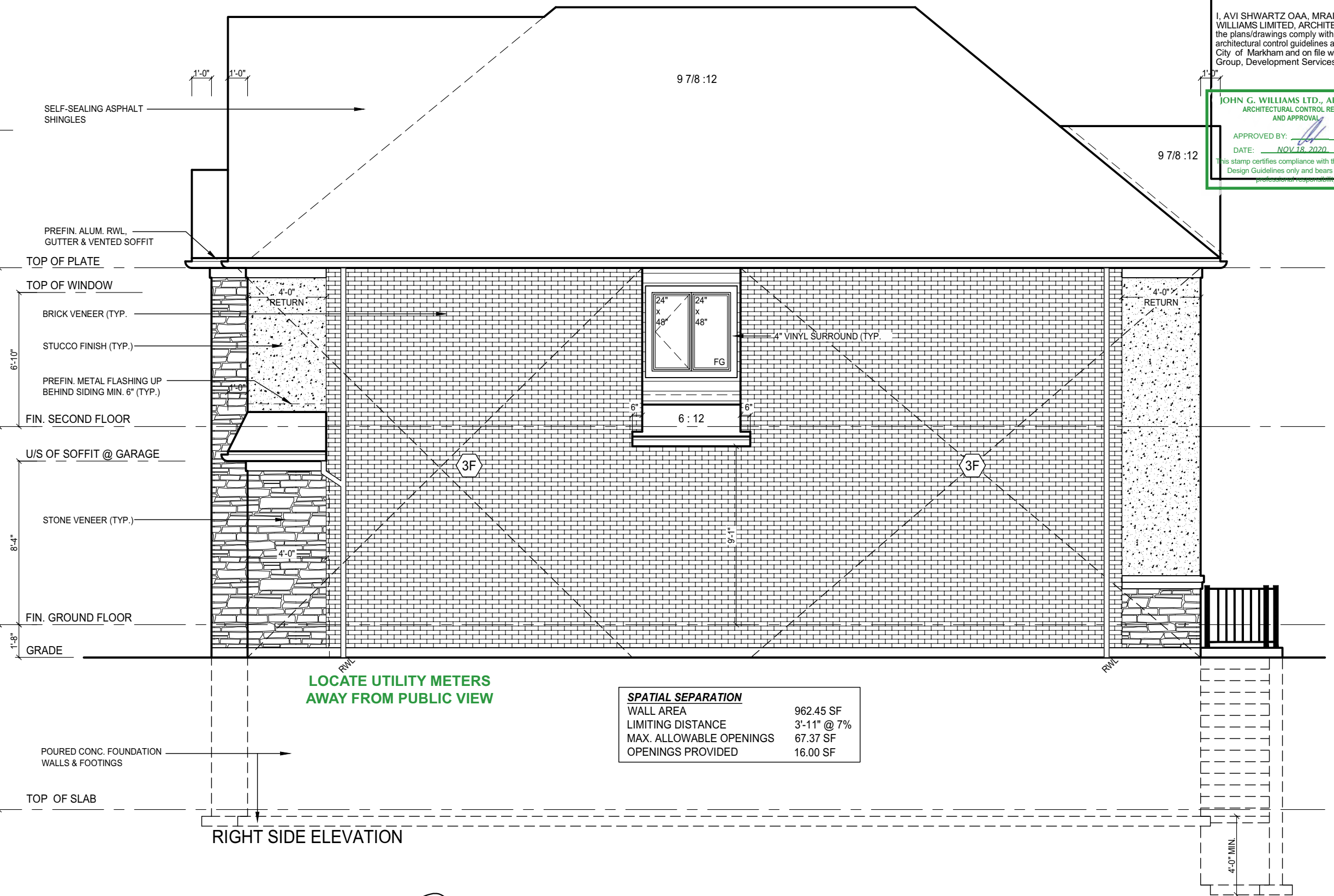
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DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: C Page No: A-16  
Checked By: NP Scale: 3/16" 1'0"



REAR ELEVATION



RIGHT SIDE ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 18 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further responsibility.

#	Description	Date	By
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4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

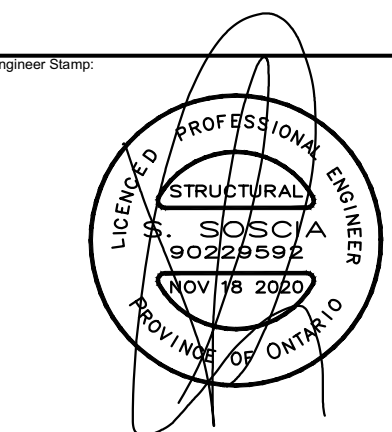
**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: REAR & RIGHT SIDE ELEVATION C

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client: TREASURE HILL

Project: ARANCIA  
CITY OF MARKHAM

Model: 35'-D5  
THE PALMERTON 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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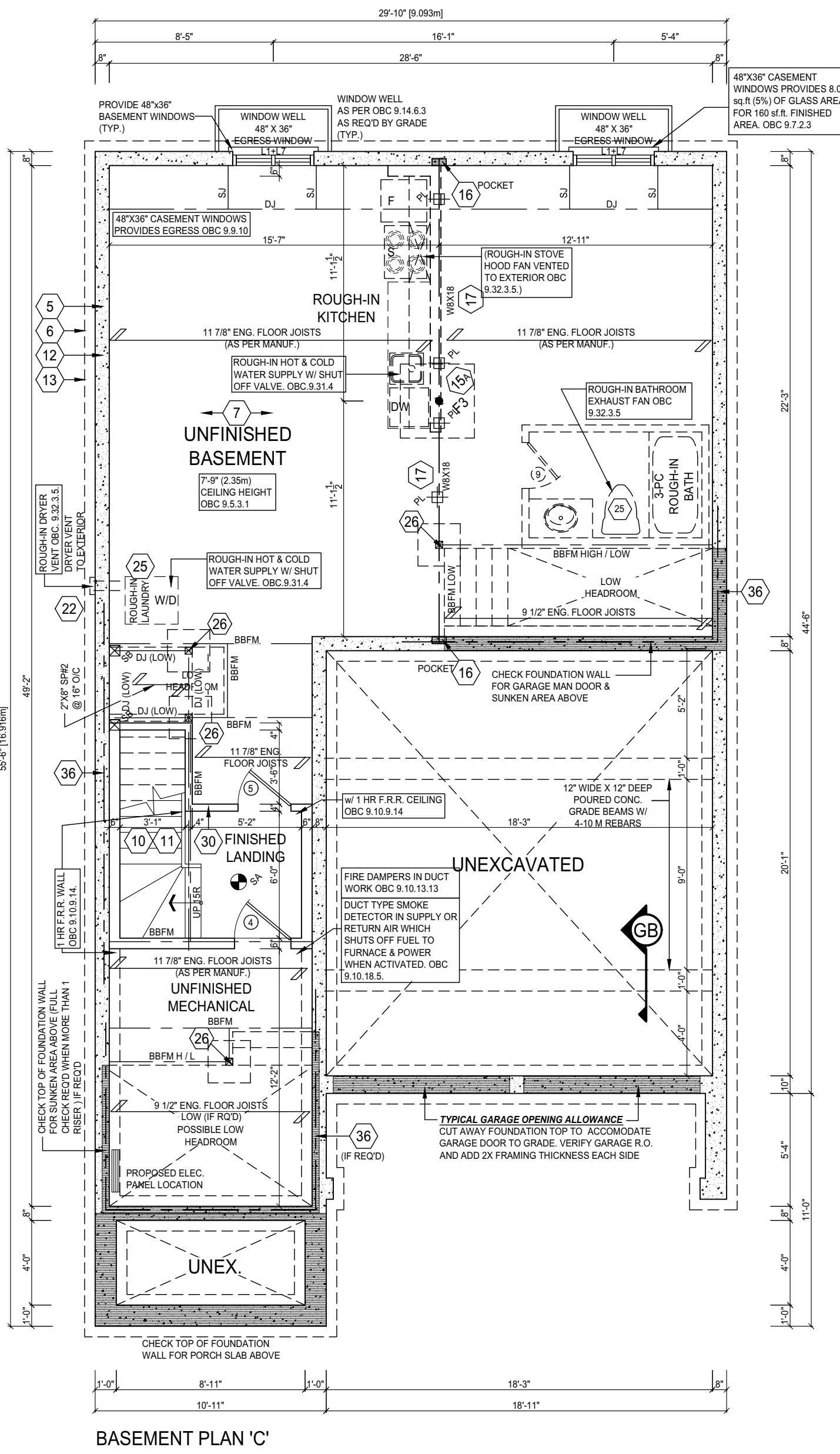
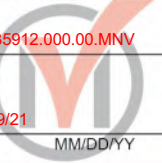
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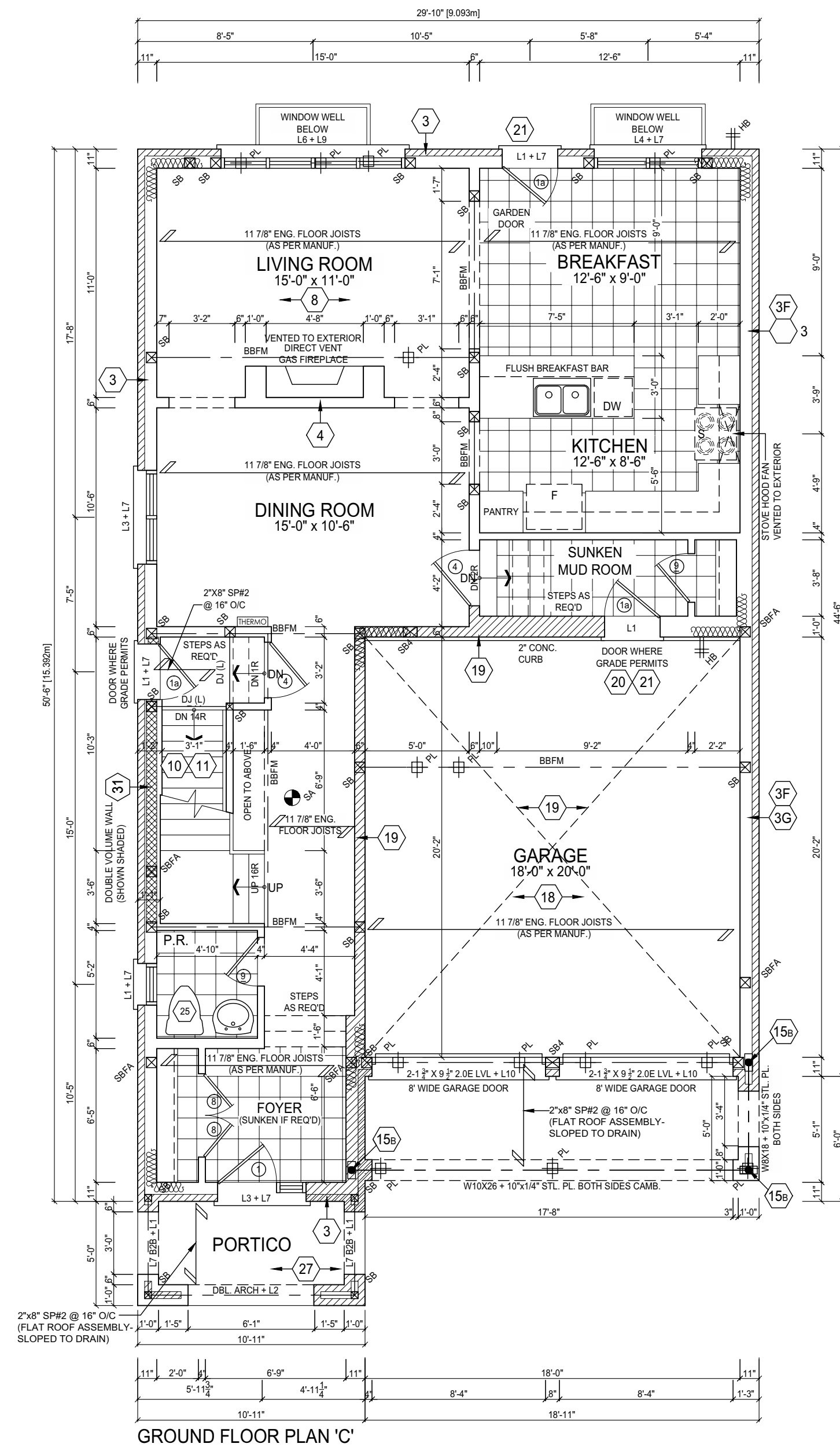
Drawn By: NP Project No: 20-03 Elevation: C Page No: A-17  
Checked By: NP Scale: 3/16" 1'0"







BASEMENT PLAN 'C'



GROUND FLOOR PLAN 'C'

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FOR LOTS:  
CITY OF MARKHAM

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 16, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS

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CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**BASEMENT & GROUND FLOOR PLAN ELEVATION 'C'**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached drawings.

QUALIFICATION INFORMATION  
REGISTRATION NUMBER: 27816  
REGISTRATION EXPIRES: 2026  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90229592  
NOV 06 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**36'-D4  
THE MONTCLAIRE 4**

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DO NOT SCALE DRAWINGS.

Drawn By:	Project No:	Elevation:	Page No:
NP	20-03	C	A-13
Checked By:	Scale:		
NP	3/16" = 1'0"		



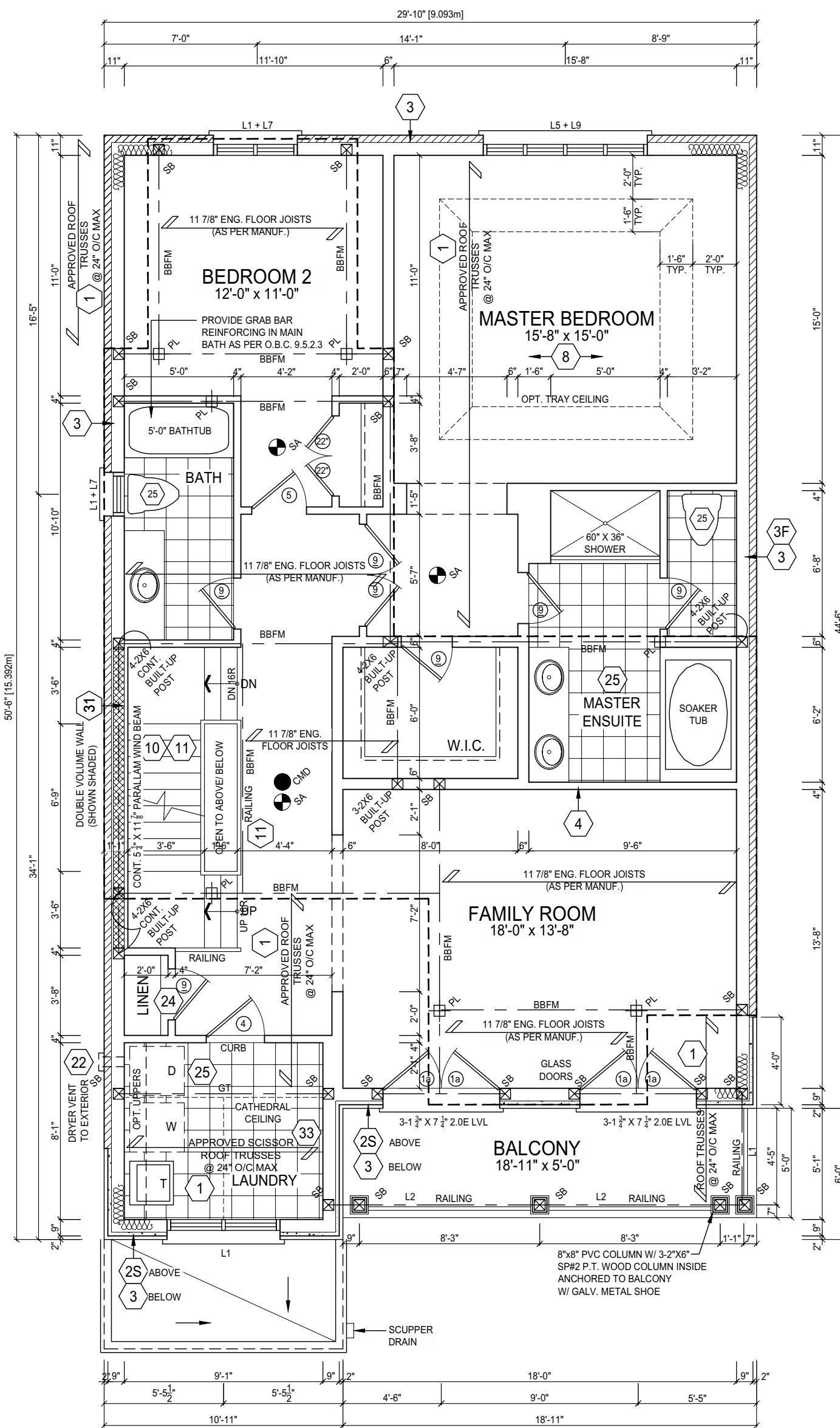
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FOR LOTS:  
CITY OF MARKHAM

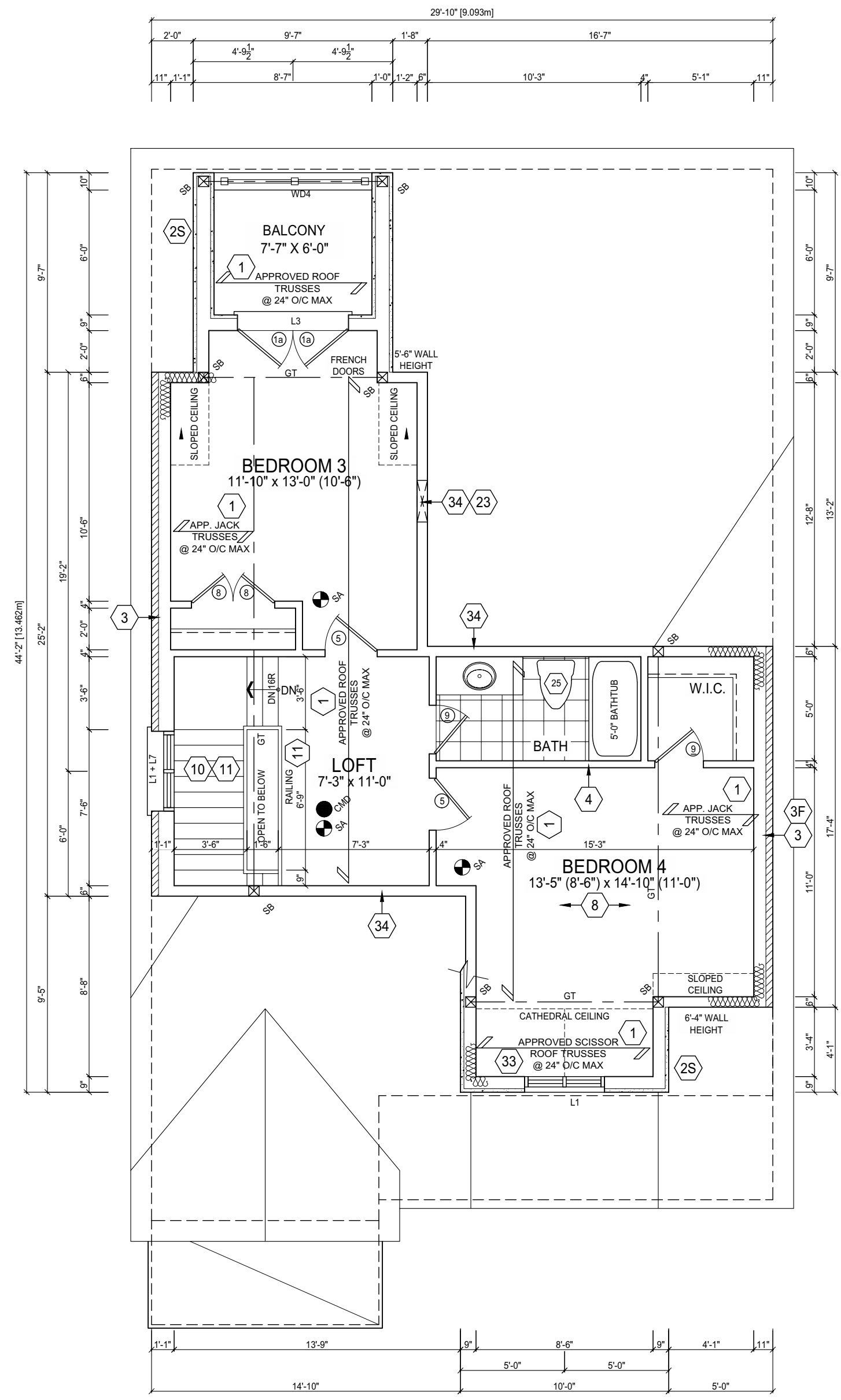
I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 16, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



SECOND FLOOR PLAN 'C'



LOFT FLOOR PLAN 'C'

#	Description	Date	By
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**SECOND & LOFT FLOOR PLAN ELEVATION 'C'**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REGISTRATION NO. 27816  
IAN ROBERTSON

REGISTRATION INFORMATION  
REGISTRATION NO. 32026  
1 RISER DESIGNS INC.

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90229592  
NOV 06 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA CITY OF MARKHAM**

Model:  
**36'-D4 THE MONTCLAIRE 4**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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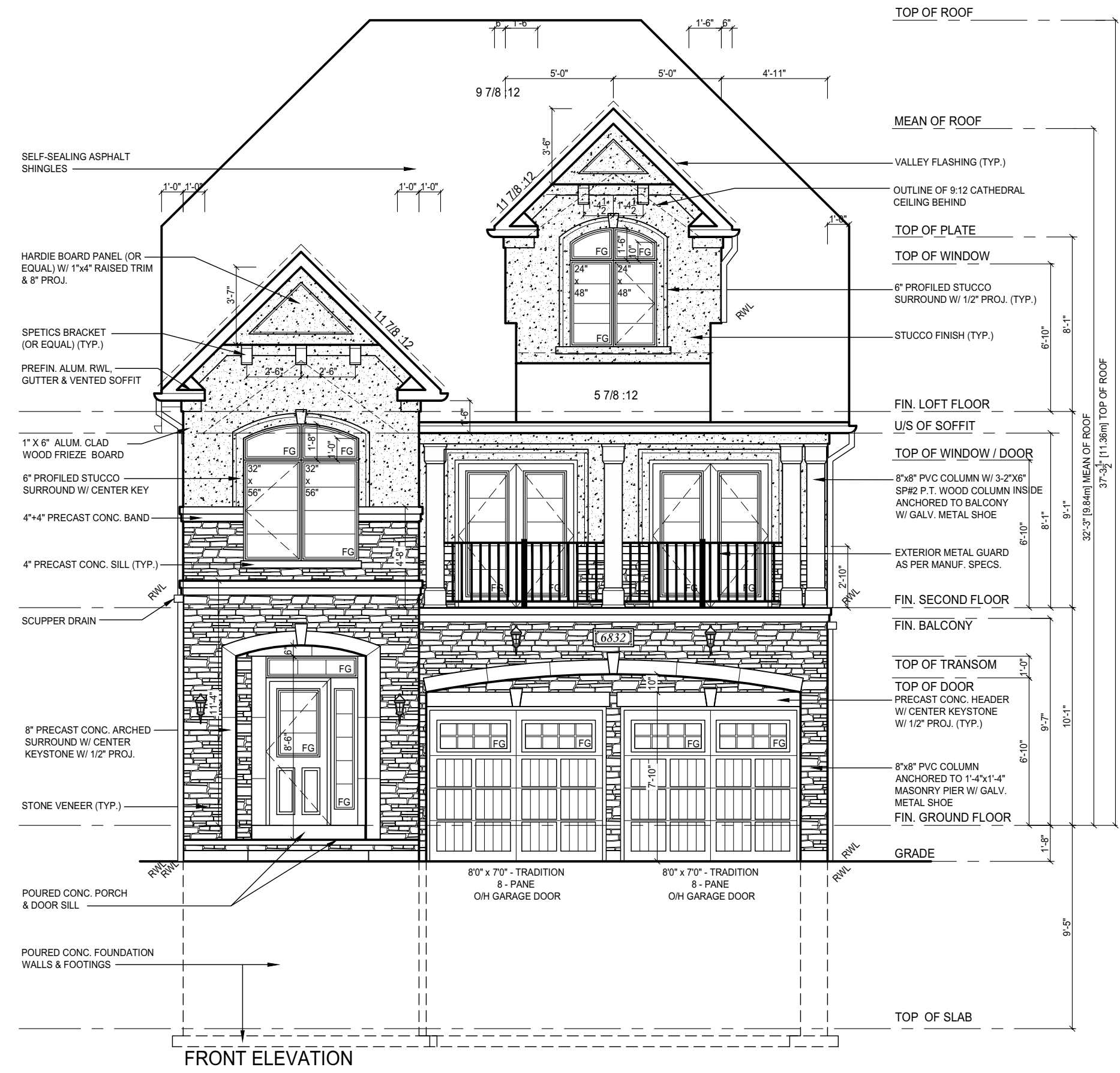
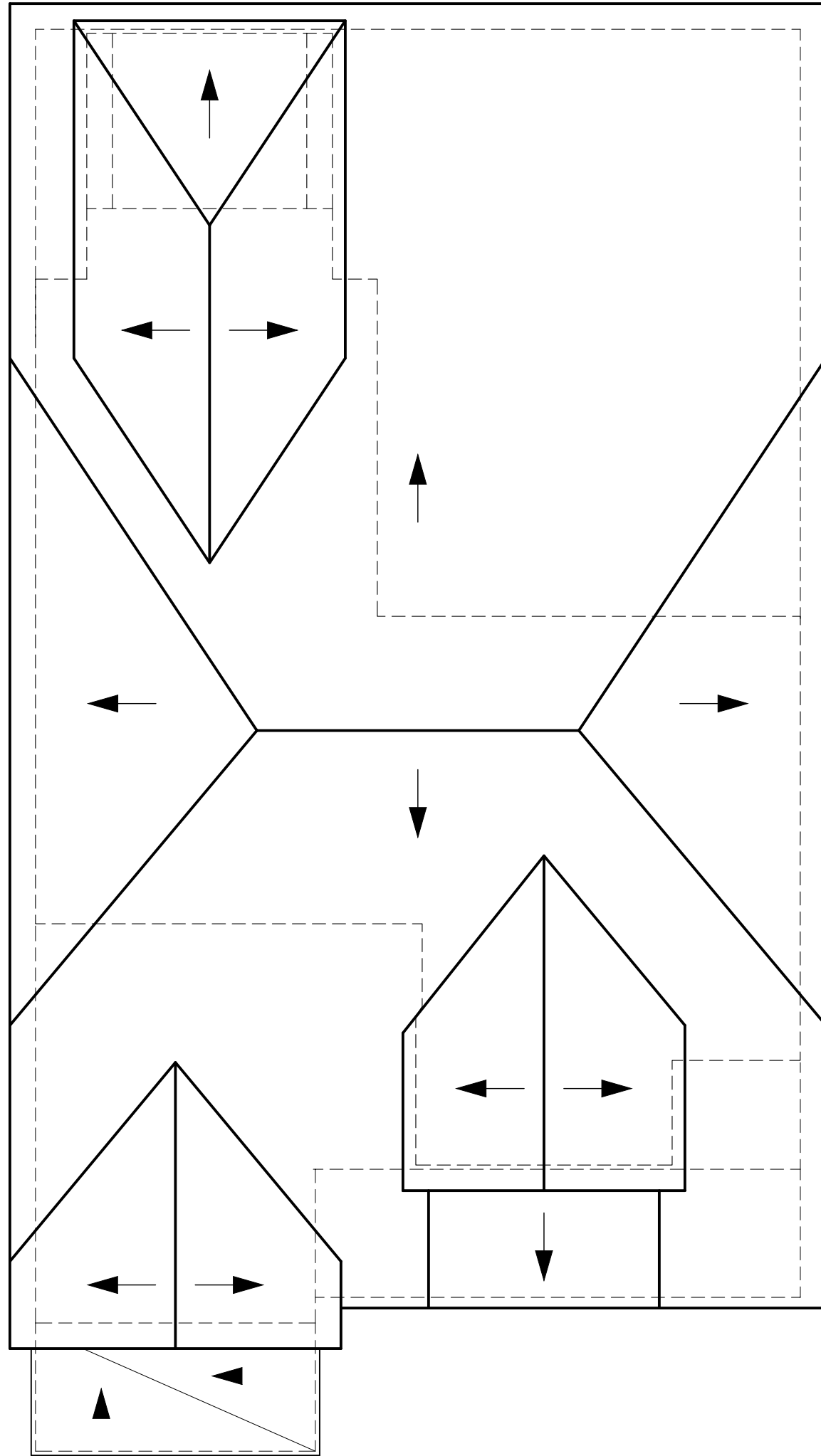
DO NOT SCALE DRAWINGS.

Drawn By:	Project No:	Elevation:	Page No:
NP	20-03	C	A-14
Checked By:	Scale:		
NP	3/16" = 1'0"		

**Appendix C**

File: 20.139912.000.00.MNV

Date: 01/20/21



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FOR LOTS:  
CITY OF MARKHAM  
I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 16, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
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3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS  
30 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**ROOF PLAN & FRONT ELEVATION 'C'**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCA  
90228592  
NOV 06 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**  
ARANCIA  
CITY OF MARKHAM  
Model:  
**36'-D4**  
THE MONTCLAIRE 4

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS 'ISSUED FOR CONSTRUCTION'.

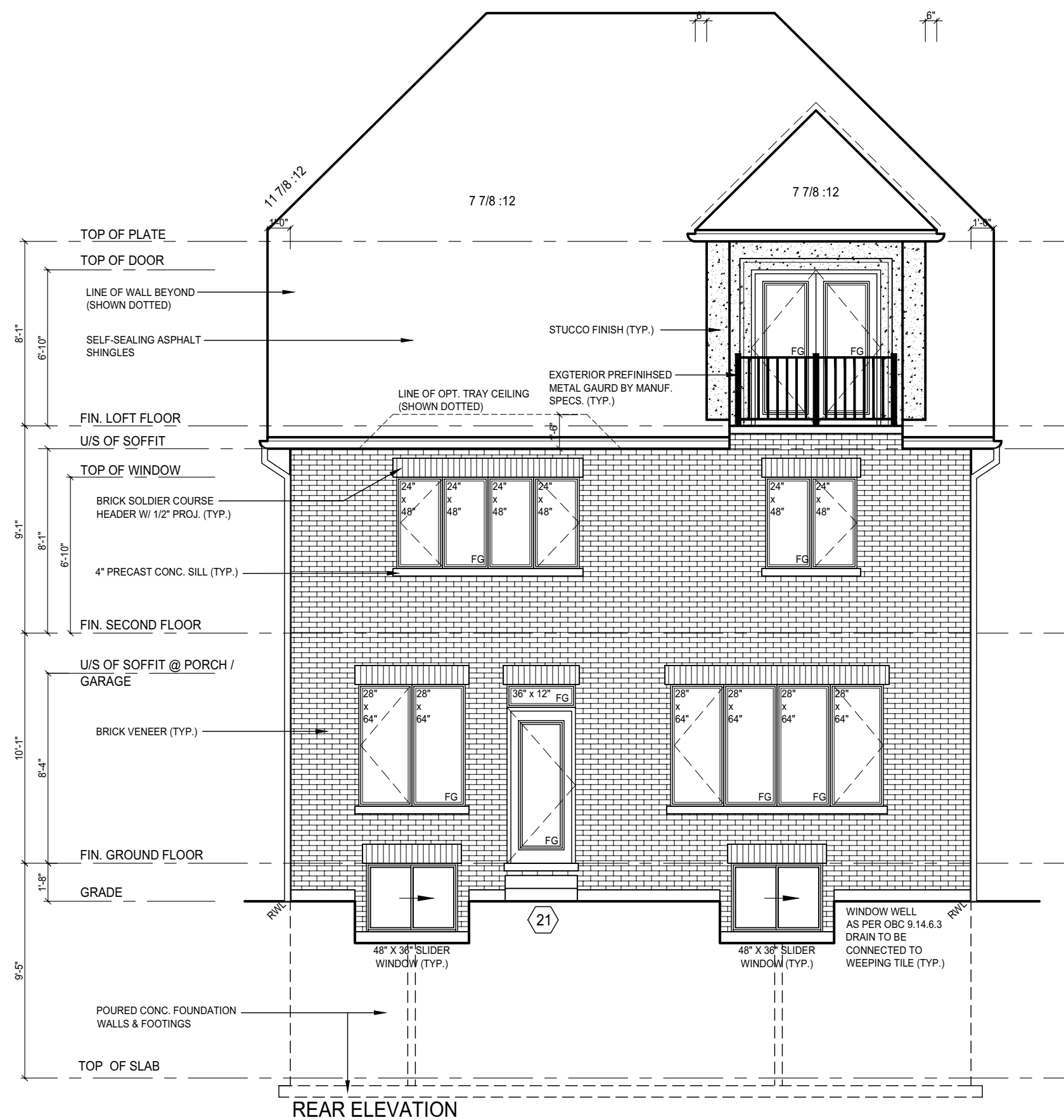
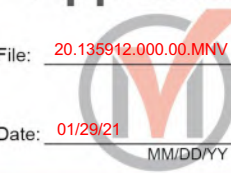
DO NOT SCALE DRAWINGS.

Drawn By:	NP	Project No:	20-03	Elevation:	C	Page No:	A-15
Checked By:	NP	Scale:	3/16" = 1'0"				

# Appendix C

File: 20.135912.000.00.MNV

Date: 01/20/21



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 16, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: REAR ELEVATION 'C'

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REGISTRATION INFORMATION  
REGISTRATION INFORMATION

IAN ROBERTSON 27816  
1 RISER DESIGNS INC. 32026

Engineer Stamp:

Client: TREASURE HILL

Project: ARANCIA  
CITY OF MARKHAM

Model: 36'-D4  
THE MONTCLAIRE 4

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

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DO NOT SCALE DRAWINGS.

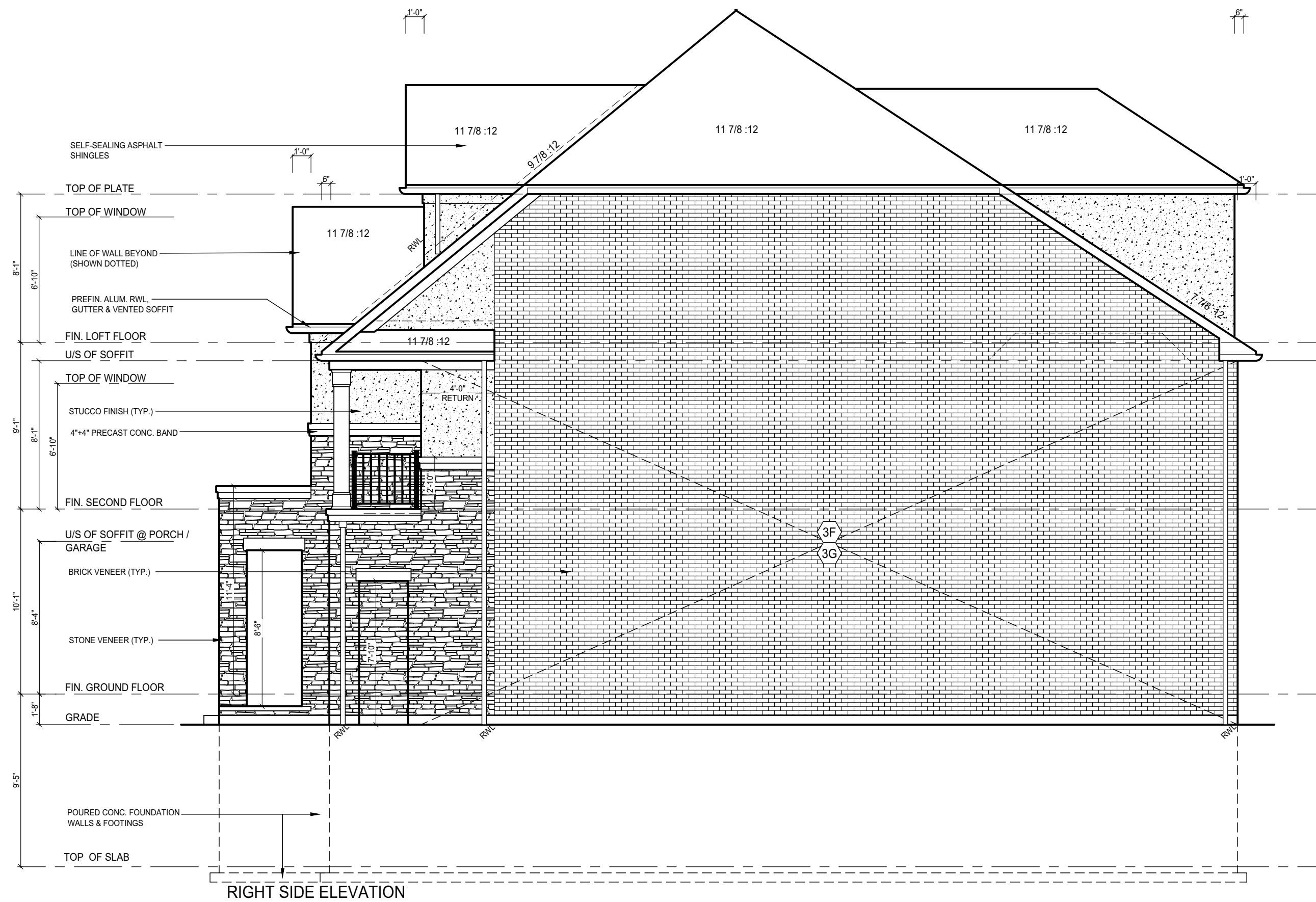
Drawn By: NP	Project No: 20-03	Elevation: C	Page No: A-16
Checked By: NP	Scale: 3/16" = 1'0"		

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/20/21

MM/DD/YY



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 16, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: **RIGHT SIDE ELEVATION 'C'**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REGISTRATION NO. 27816  
IAN ROBERTSON  
REGISTRATION NO. 32026  
1 RISER DESIGNS INC.

Engineer Stamp:

Client: **TREASURE HILL**

Project: **ARANCIA CITY OF MARKHAM**

Model: **36'-D4 THE MONTCLAIRE 4**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

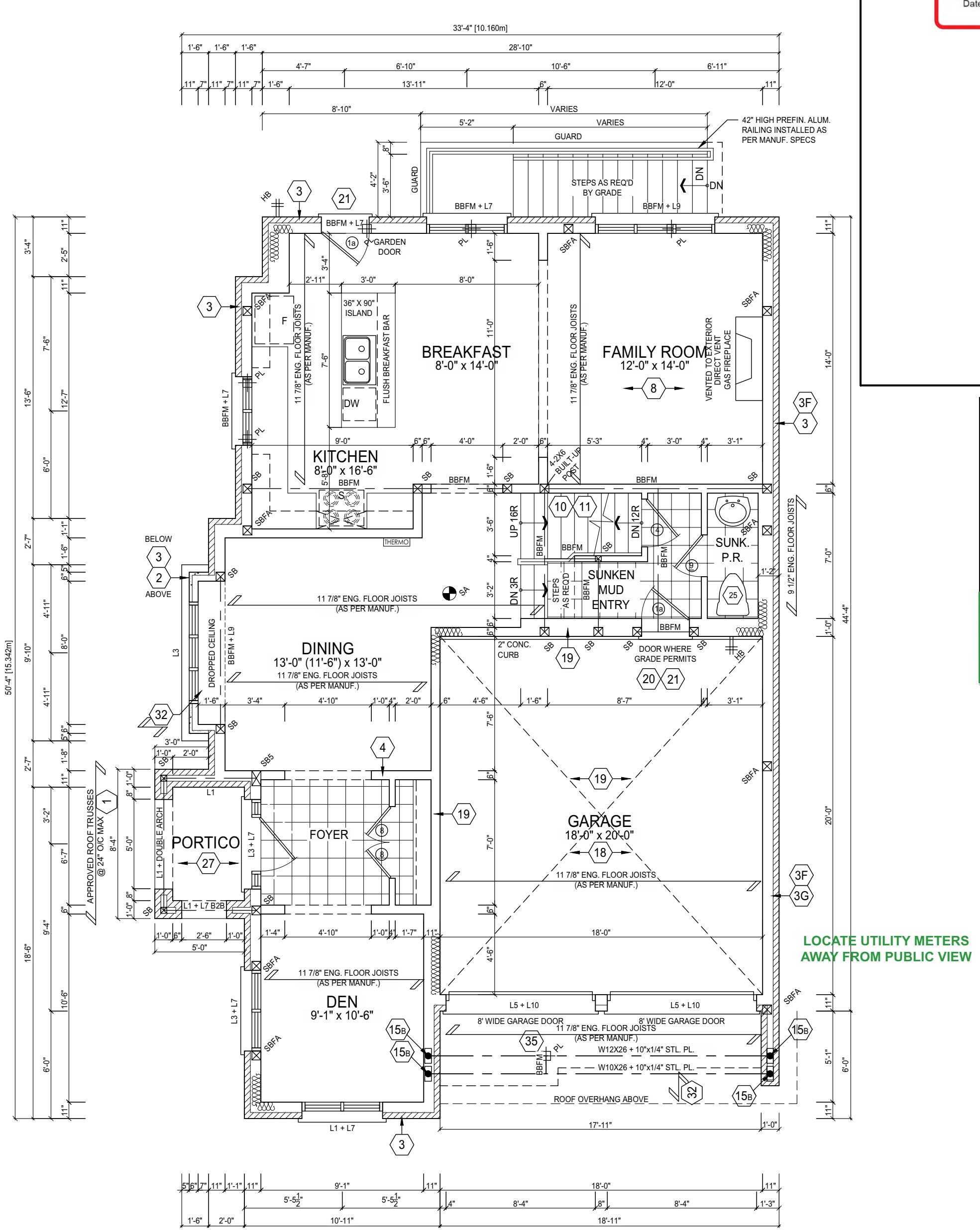
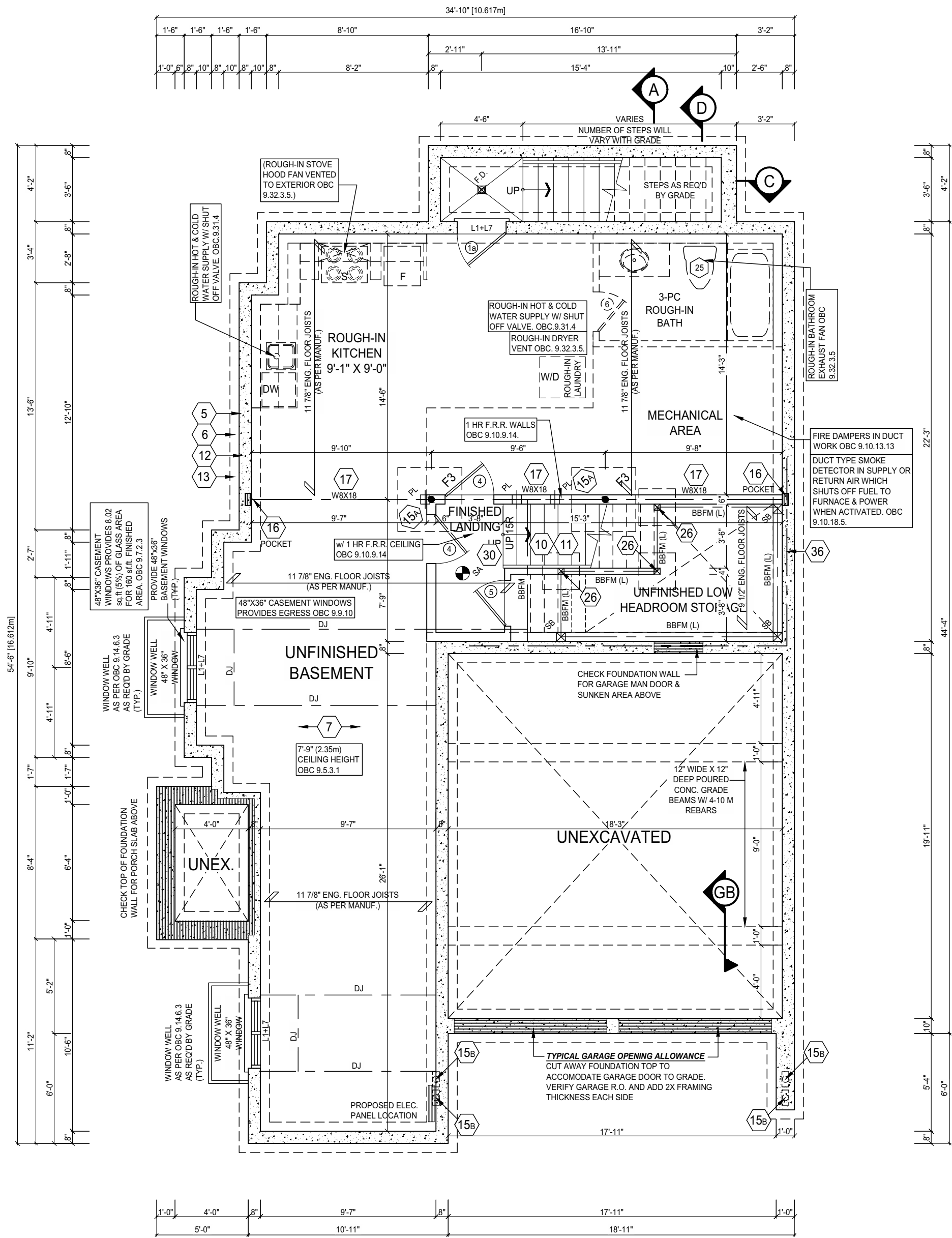
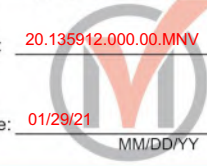
THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

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DO NOT SCALE DRAWINGS.

Drawn By: NP	Project No: 20-03	Elevation: C	Page No: A-17
Checked By: NP	Scale: 3/16" = 1'0"		





It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

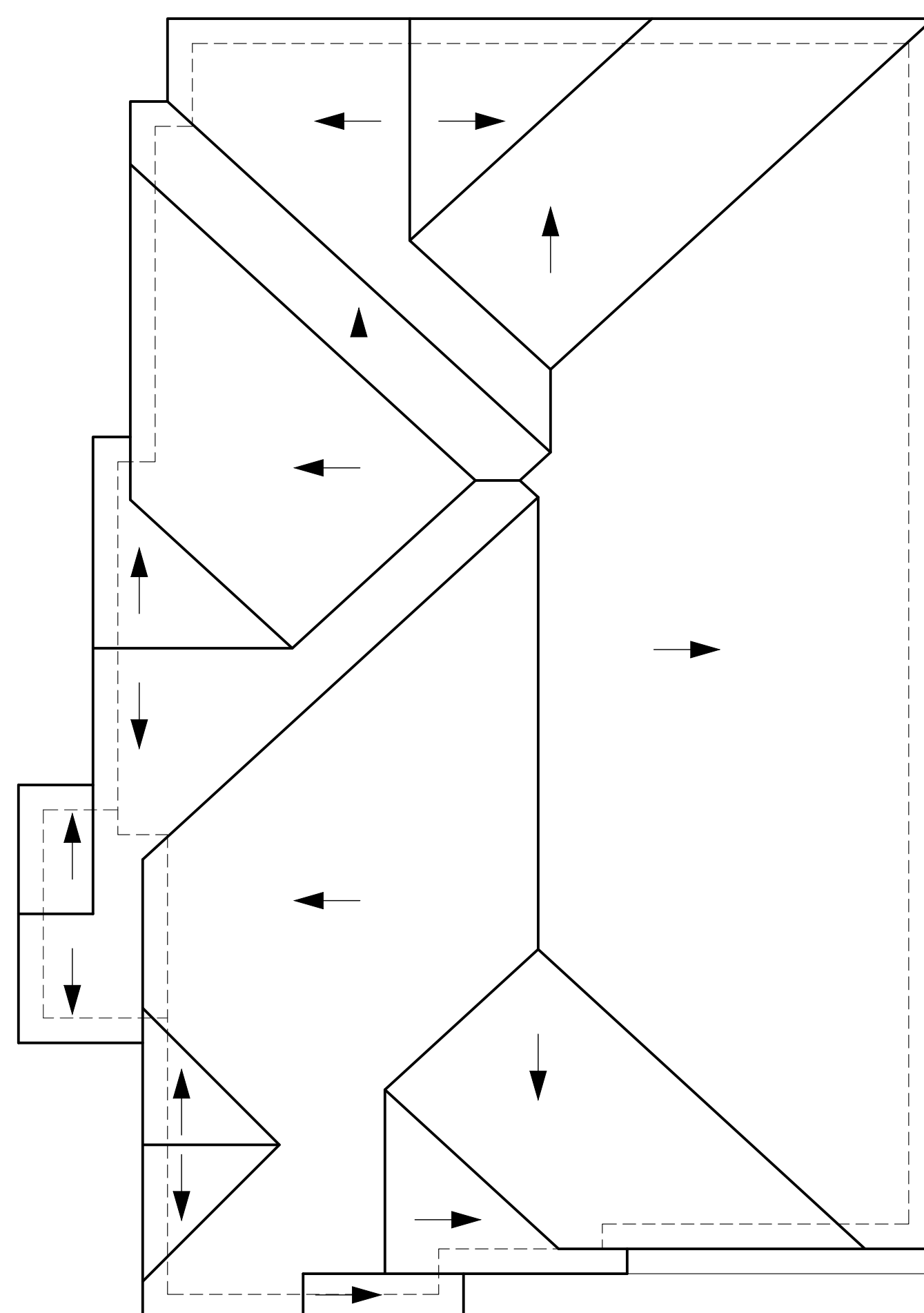
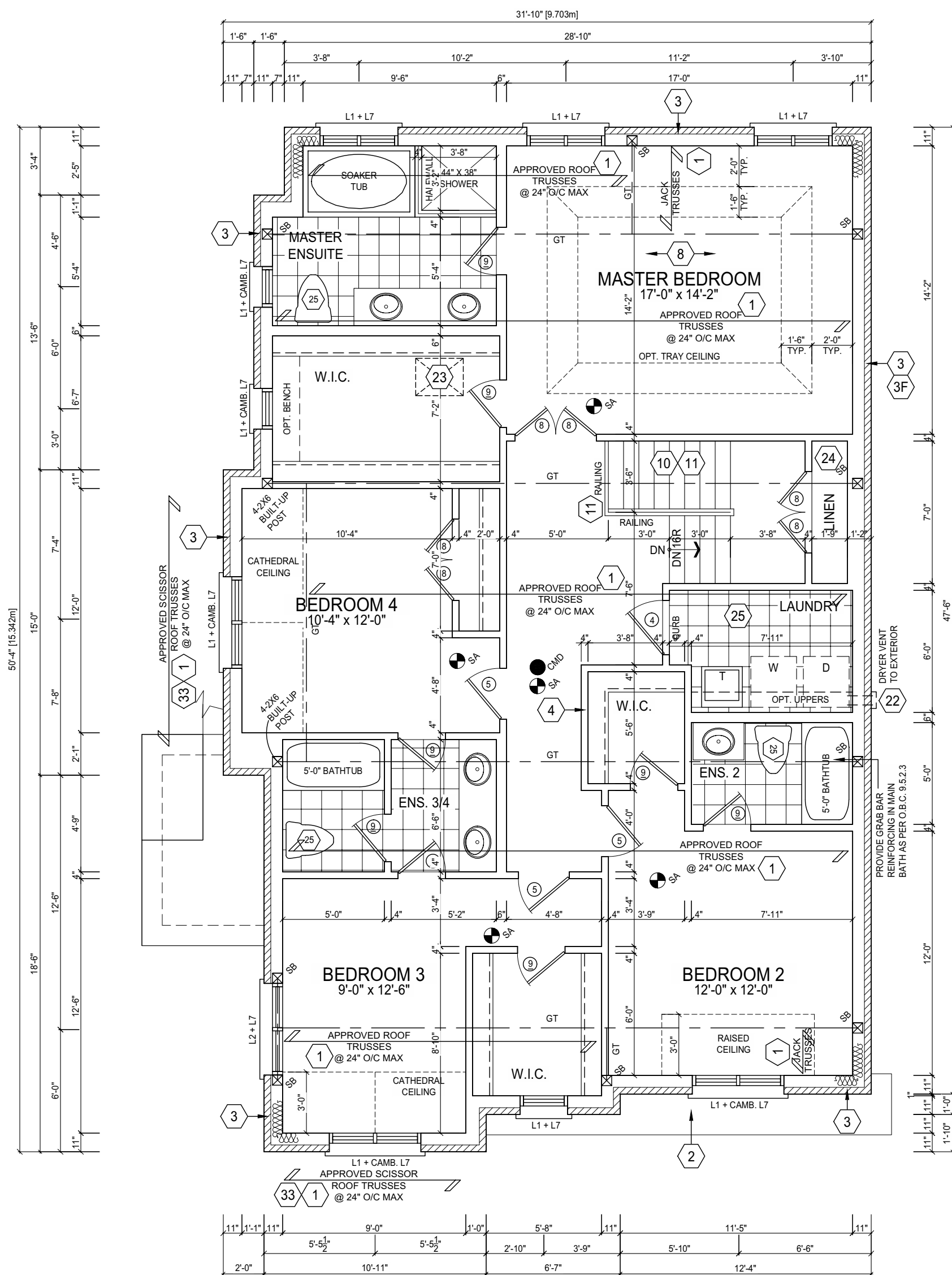
Sheet Title:  
**BASEMENT PLAN & GROUND FLOOR PLAN ELEVATION B**  
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.  
QUALIFICATION INFORMATION  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENSED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90229592  
NOV 18 2020  
PROVING OF ONTARIO

Client:  
**TREASURE HILL**  
Project:  
ARANCIA  
CITY OF MARKHAM  
Model:  
36'-D5  
THE MONTCLAIRE 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE  
THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.  
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DO NOT SCALE DRAWINGS.

Drawn By:	NP	Project No:	20-03	Elevation:		Page No:	
Checked By:	NP	Scale:	3/16" = 1'0"		<b>B</b>	<b>A-8</b>	



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**SECOND FLOOR & ROOF PLAN ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REGISTERED UNDER DESIGN SERVICES ACT AND REGULATION 213 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTERED UNDER DESIGN SERVICES ACT AND REGULATION 213 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90228592  
NOV 18 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**36'-D5  
THE MONTCLAIRE 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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DO NOT SCALE DRAWINGS.

Drawn By:	NP	Project No:	20-03	Elevation:	B	Page No:	A-9
Checked By:	NP	Scale:	3/16" = 1'0"				

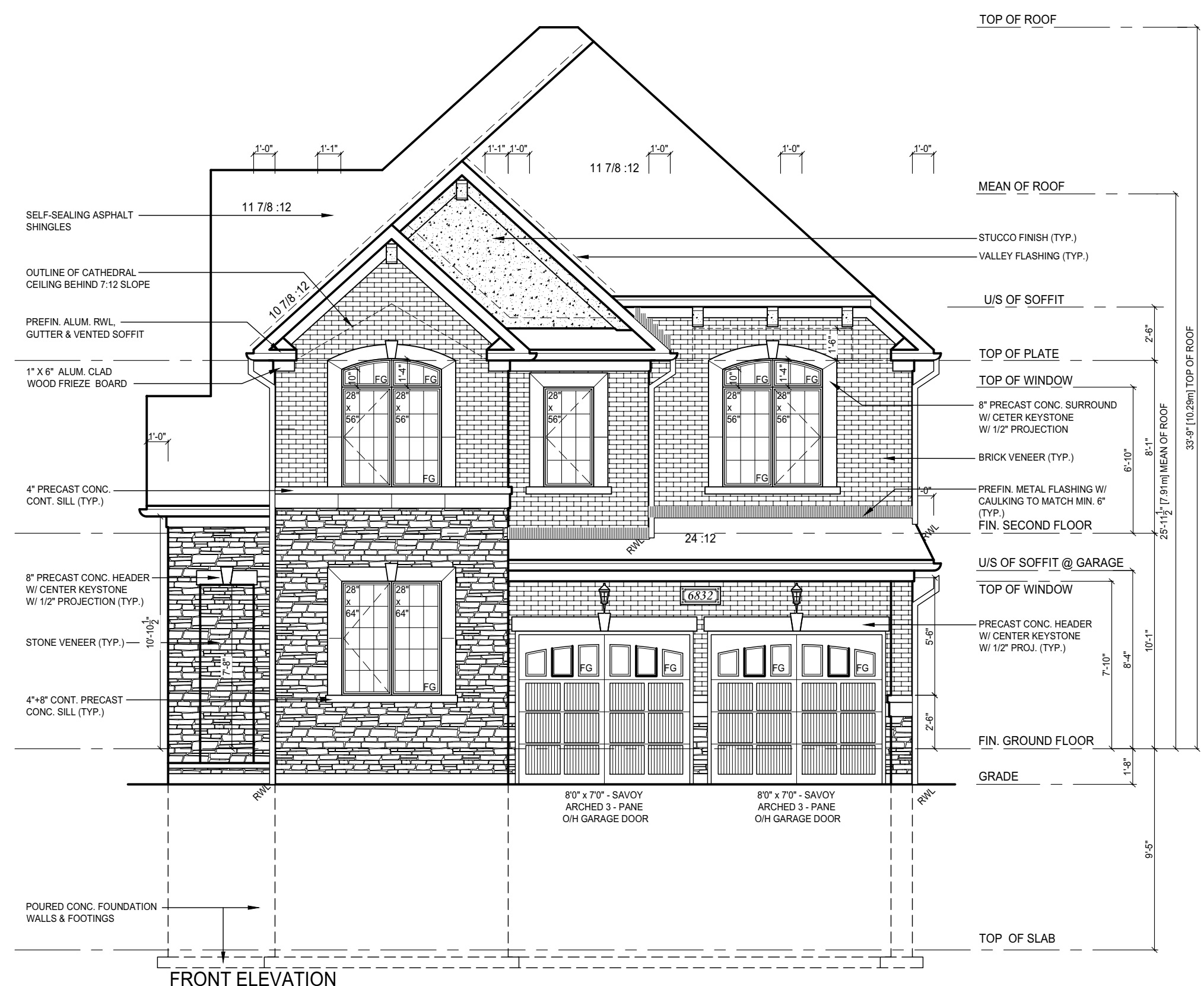


**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/20/21

MMDDYY



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM  
I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 12, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
	REVISIONS		

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: **FRONT ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REGISTERED UNDER DESIGNER REGISTRATION PROVISIONS 2.2 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTERED UNDER DESIGNER REGISTRATION PROVISIONS 2.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:

Client: **TREASURE HILL**

Project: **ARANCIA CITY OF MARKHAM**

Model: **36'-D5 THE MONTCLAIRE 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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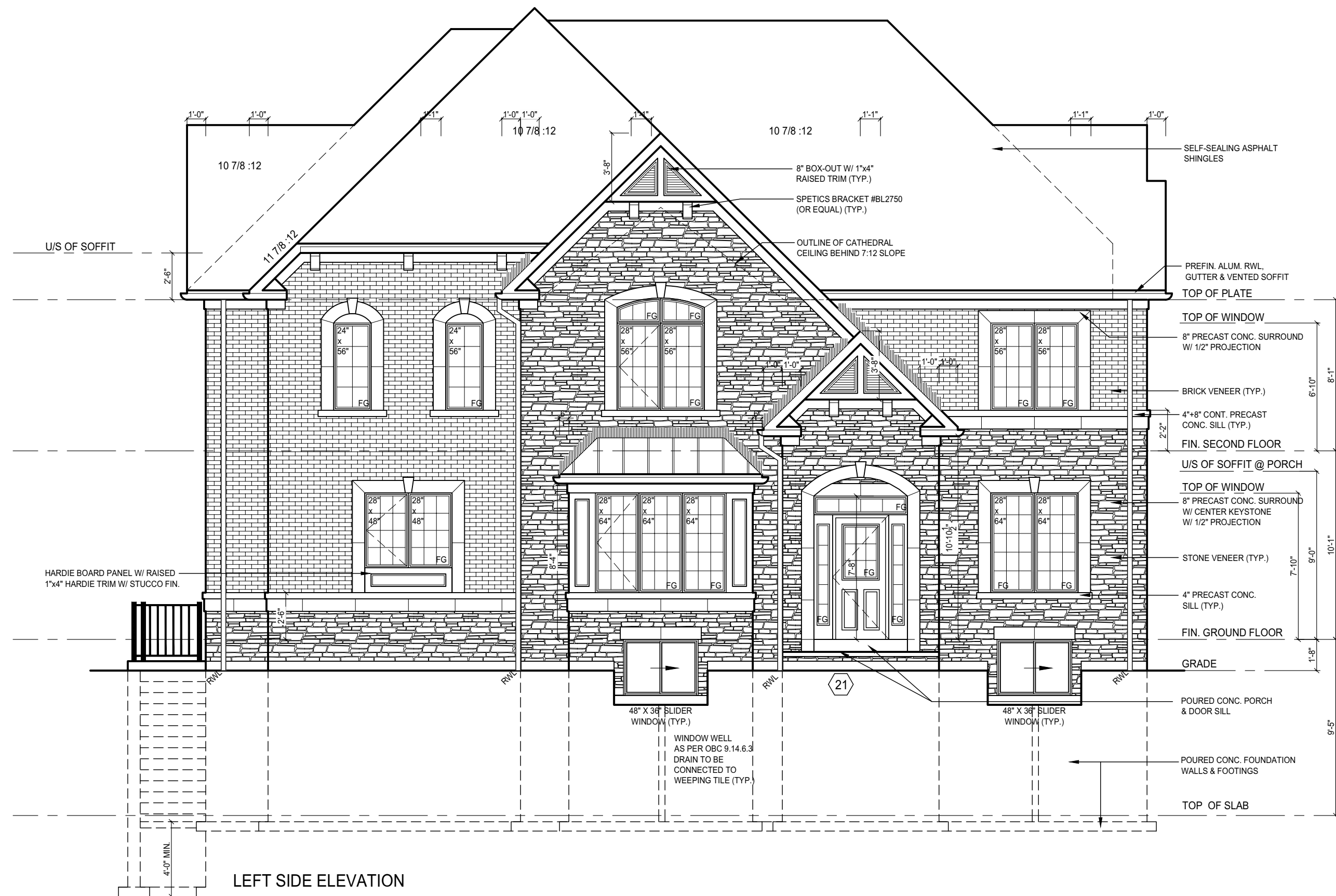
DO NOT SCALE DRAWINGS.

Drawn By:	NP	Project No:	20-03	Elevation:	B	Page No:	A-10
Checked By:	NP	Scale:	3/16" = 1'0"				

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/28/21



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: **LEFT SIDE ELEVATION B**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER DESIGN REGULATION 2.2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER DESIGN REGULATION 2.2.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:

Client: **TREASURE HILL**

Project: **ARANCIA CITY OF MARKHAM**

Model: **36'-D5 THE MONTCLAIRE 5**

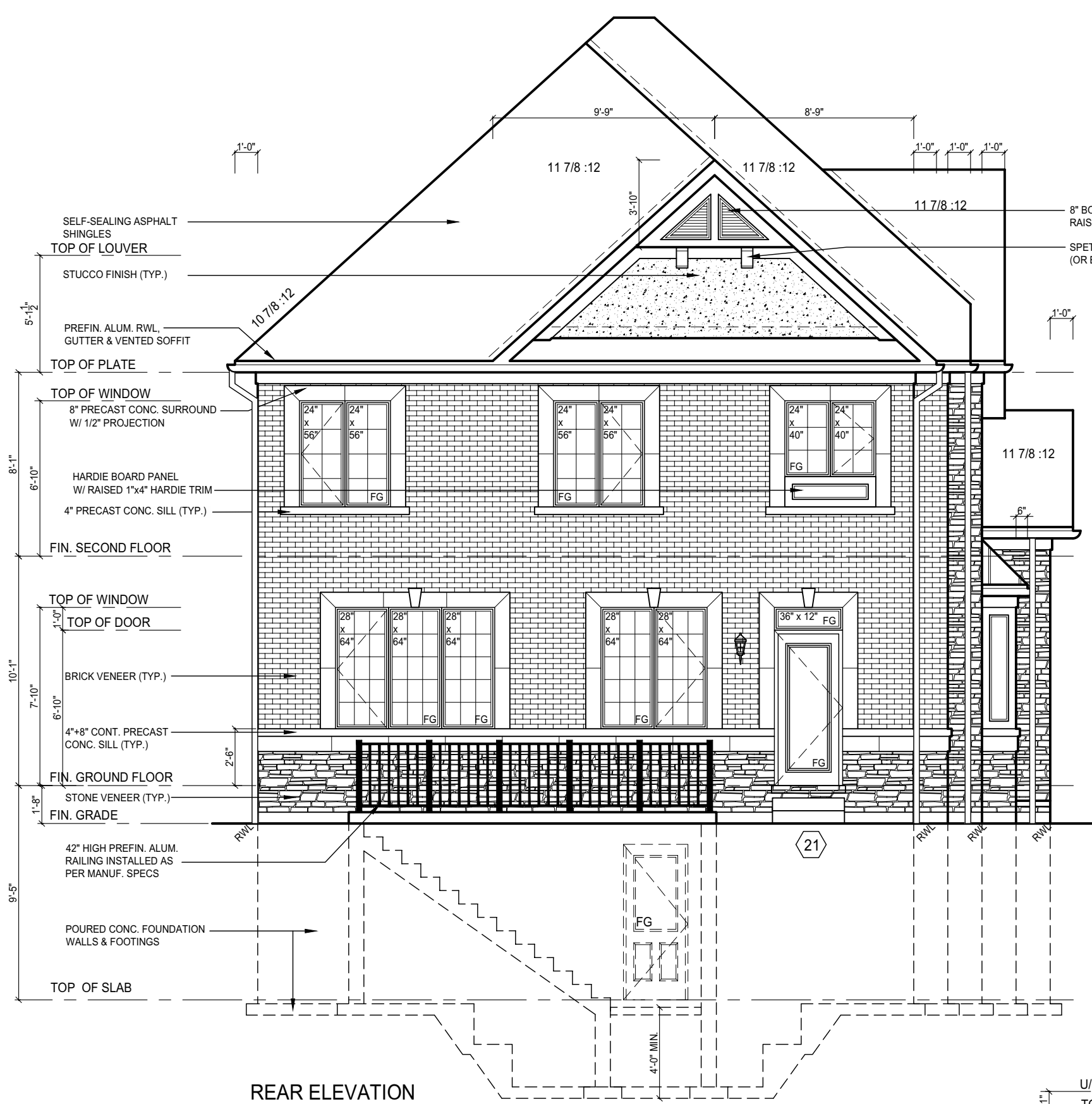
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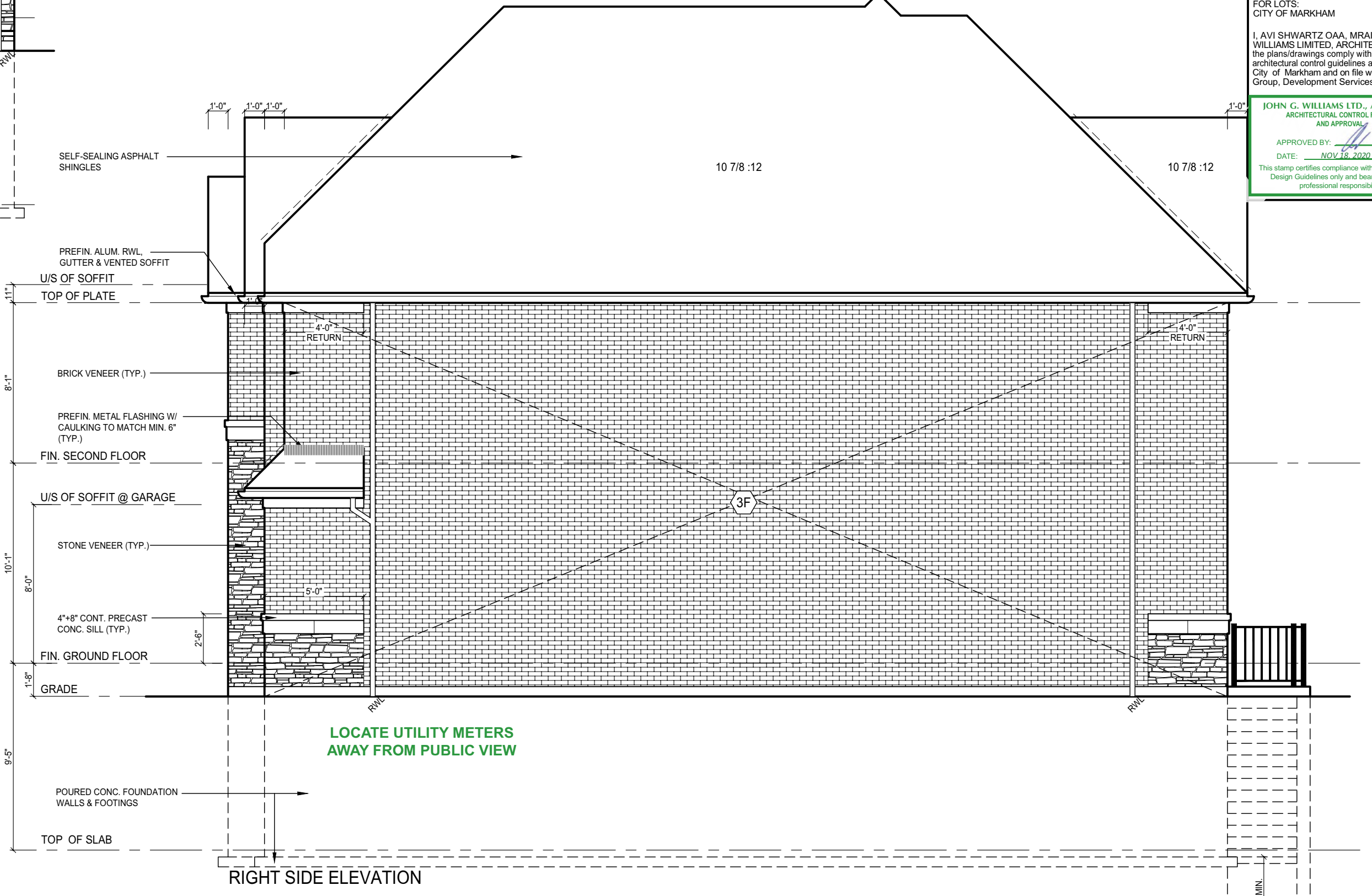
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DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: B Page No: A-11  
Checked By: NP Scale: 3/16" = 1'0"



REAR ELEVATION



RIGHT SIDE ELEVATION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 18, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
	REVISIONS		

**ONERISER**  
DESIGNS

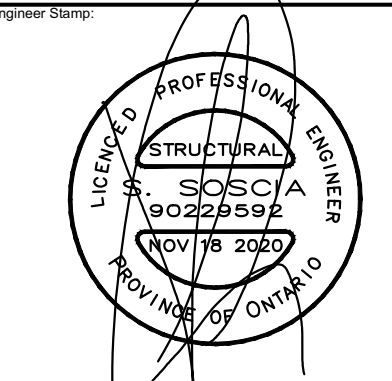
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: REAR & RIGHT SIDE ELEVATION B

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1.1 OF THE BUILDING CODE

IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1.1 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client: TREASURE HILL

Project: ARANCIA CITY OF MARKHAM

Model: 36'-D5 THE MONTCLAIRE 5

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: B Page No: A-12  
Checked By: NP Scale: 3/16" = 1'0"





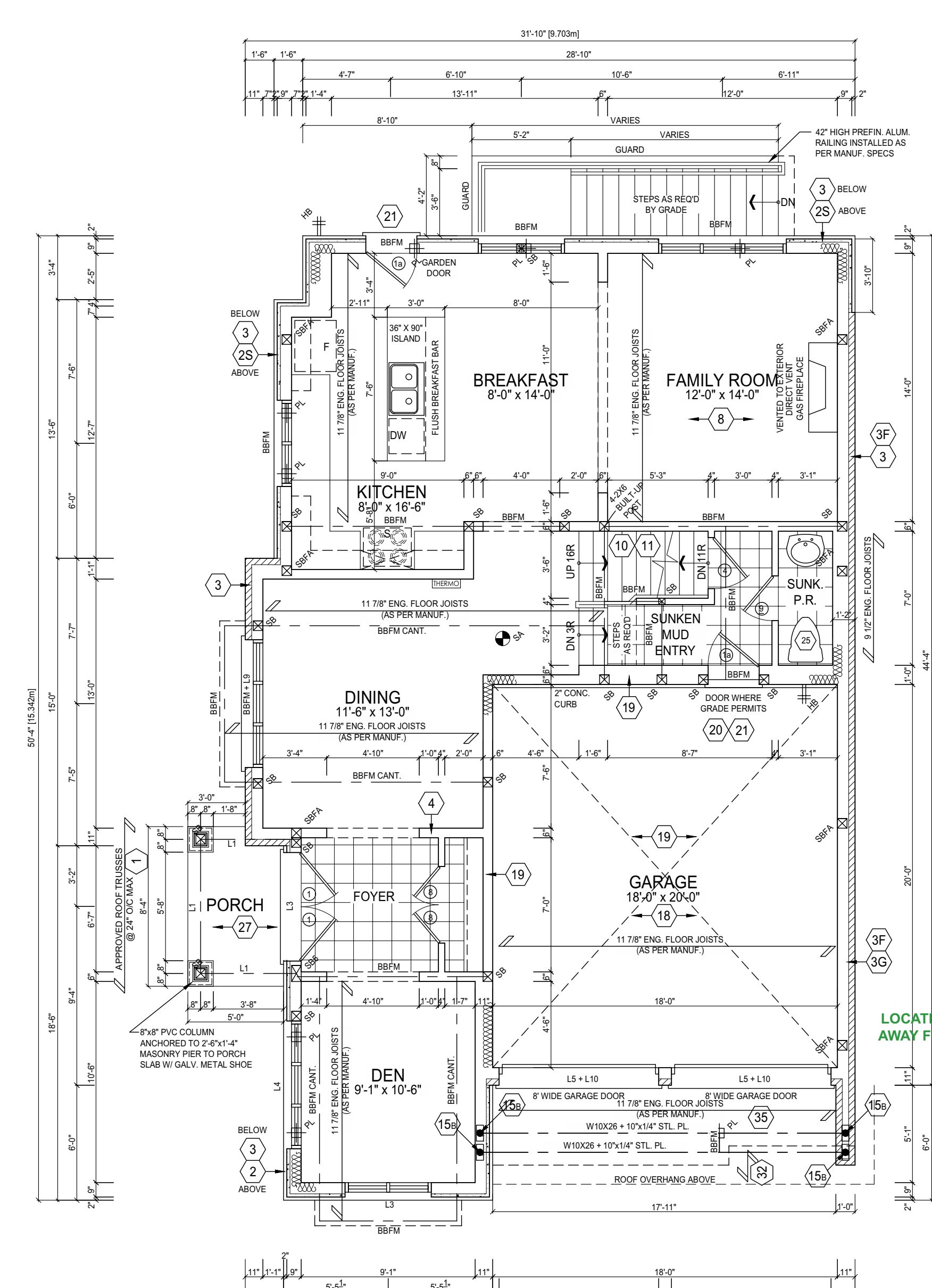
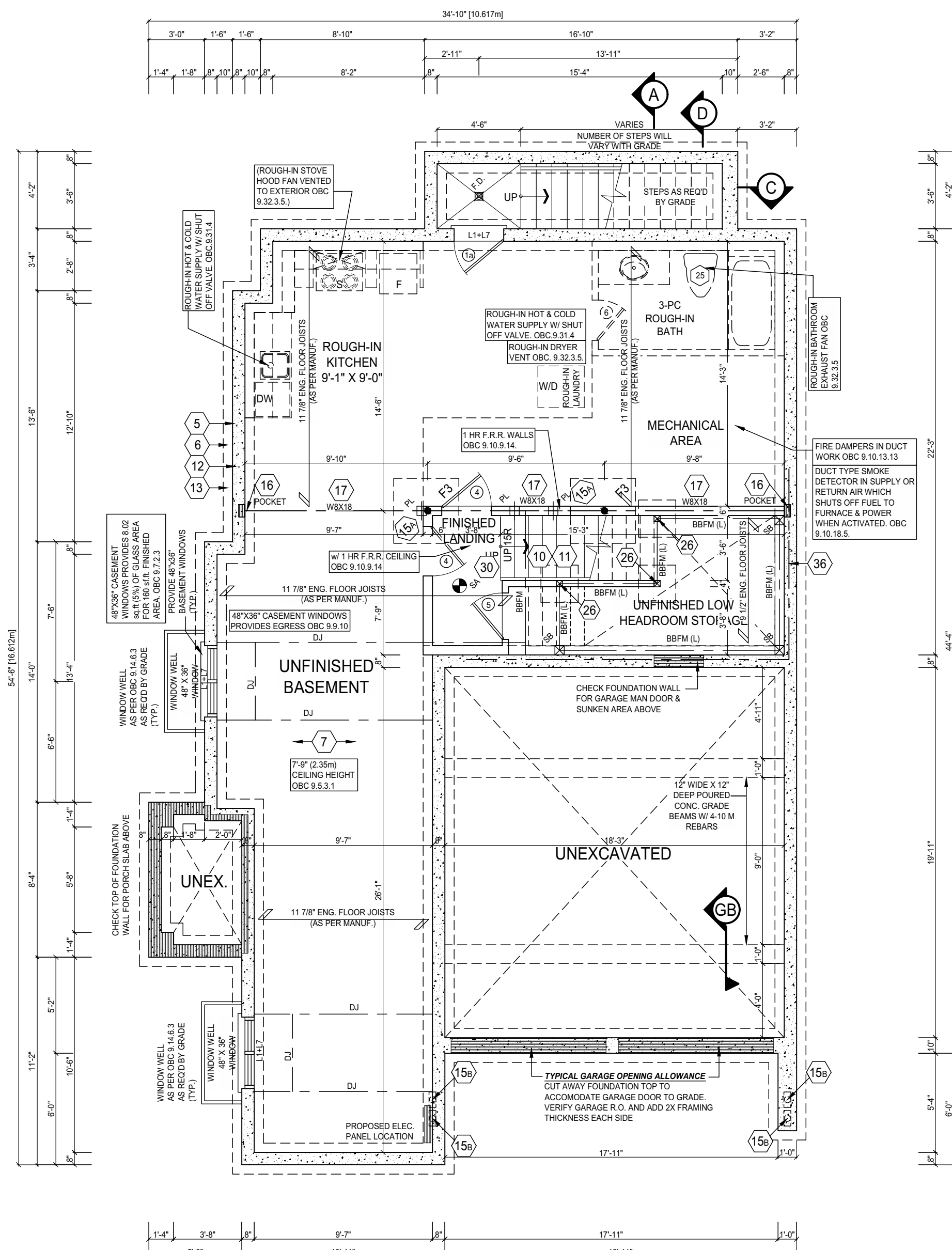
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FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: NOV 16 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

**BASEMENT PLAN & GROUND FLOOR PLAN ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 1.3.2.1.1 (PROFESSIONAL DESIGNER) OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 1.3.2.1.2 (PROFESSIONAL DESIGNER) OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp: [Professional Engineer Seal for Ian Robertson, No. 27816, Registered Professional Engineer, Structural, S.O.S.C.I.A. 90229592, Nov 18 2020, Province of Ontario]

Client: **TREASURE HILL**  
ARANCIA  
CITY OF MARKHAM

Project: **36'-D5**  
THE MONTCLAIRE 5

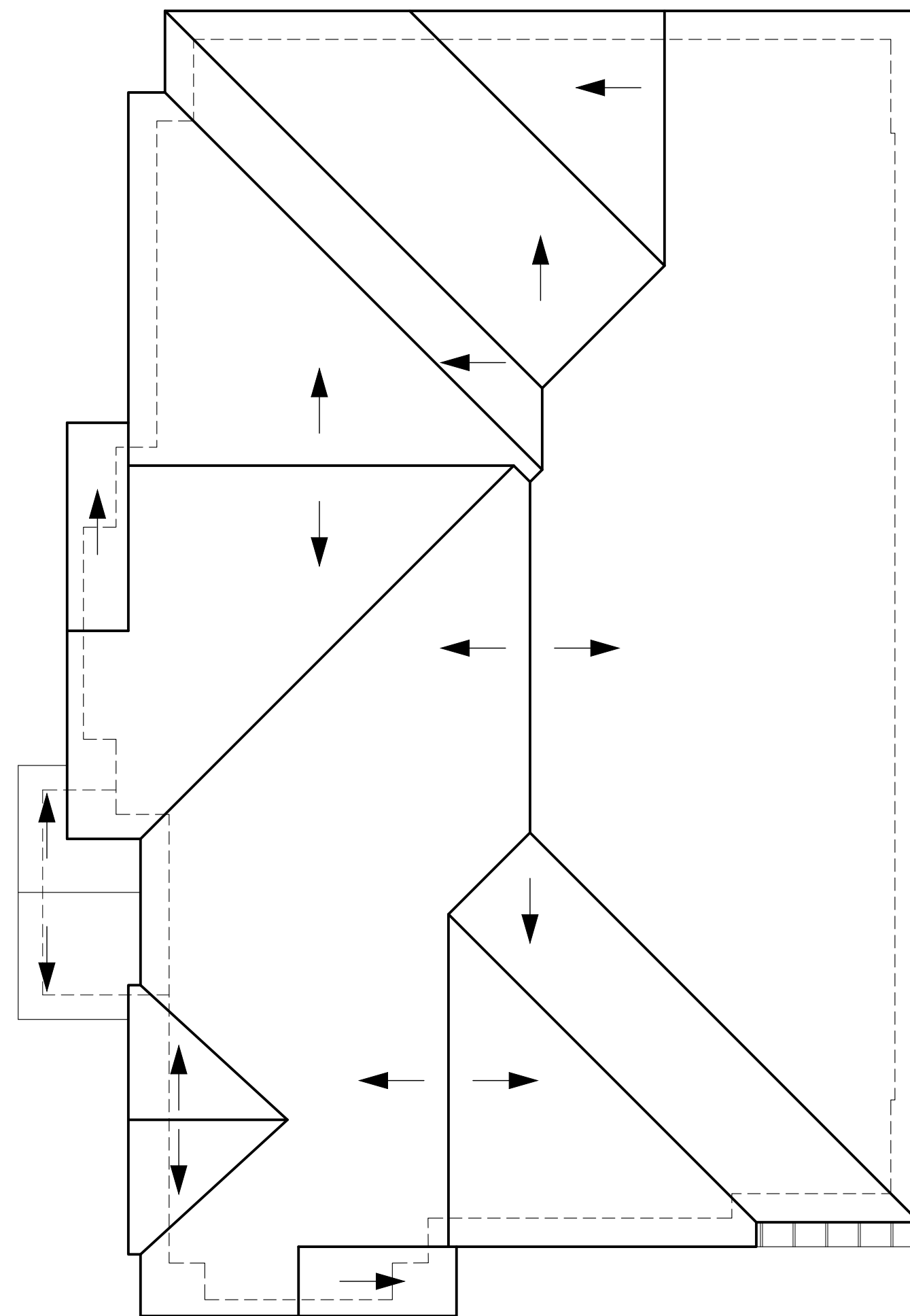
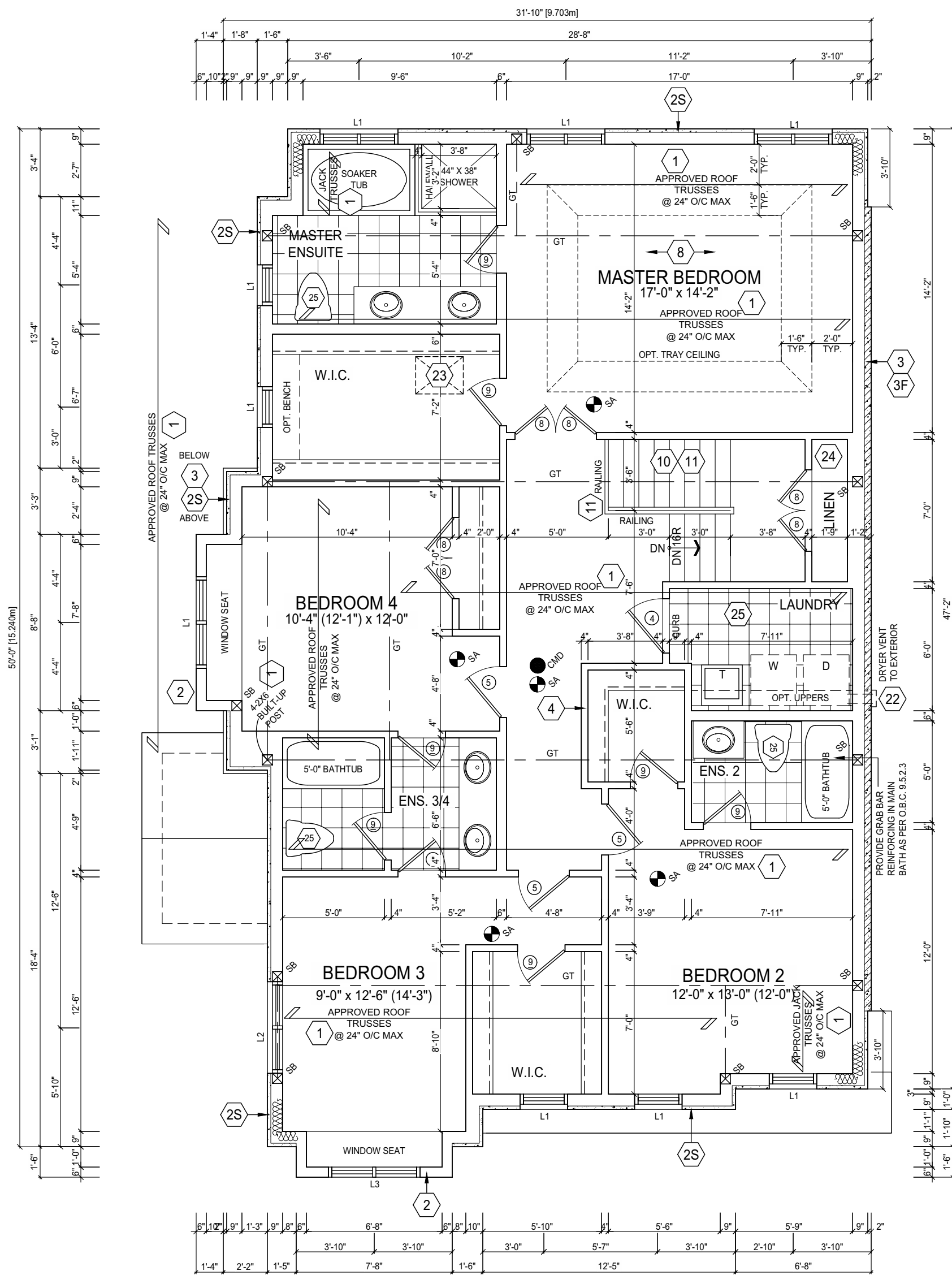
ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

THIS DRAWING IS OWNED BY ONE RISER DESIGNS (OR THEIR AFFILIATED OR RELATED COMPANIES) AND MAY NOT BE REPRODUCED, USED, DOWNLOADED, DISSEMINATED, PUBLISHED, OR TRANSFERRED IN ANY FORM OR BY ANY MEANS, EXCEPT WITH THE PRIOR WRITTEN CONSENT OF ONE RISER DESIGNS. COPYRIGHT INFRINGEMENT IS A VIOLATION OF FEDERAL LAW SUBJECT TO CRIMINAL AND CIVIL PENALTIES.

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING WORK. THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED BY THE DESIGNER AS "ISSUED FOR CONSTRUCTION".

DO NOT SCALE DRAWINGS.

Drawn By: NP	Project No: 20-03	Elevation: C	Page No: A-13
Checked By: NP	Scale: 3/16" = 1'0"		



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
REVISIONS			

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**SECOND FLOOR & ROOF PLAN ELEVATION C**  
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the related documents.  
QUALIFICATION INFORMATION  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENCED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90228592  
NOV 18 2020  
PROVINCE OF ONTARIO

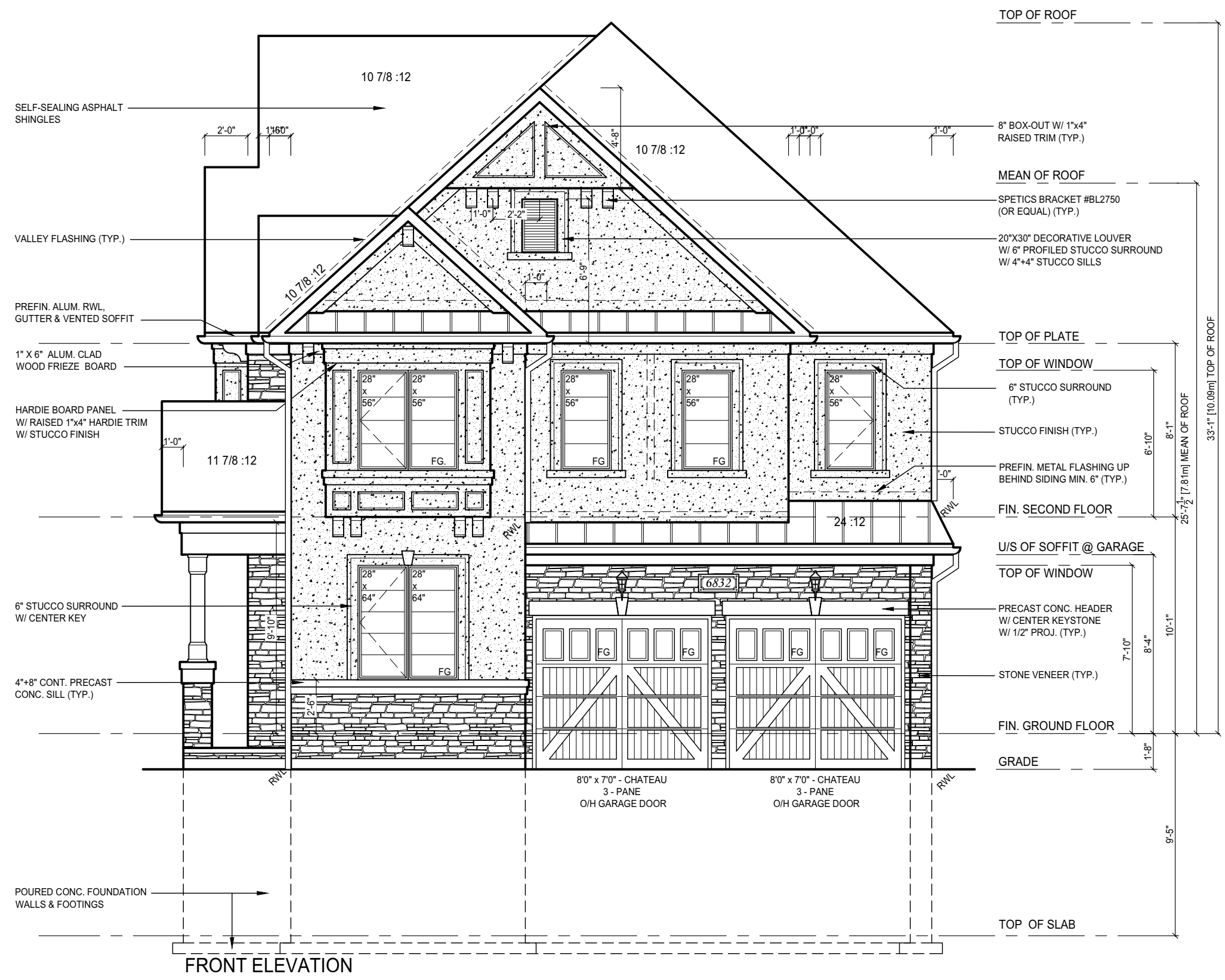
Client:  
**TREASURE HILL**  
Project:  
**ARANCIA**  
**CITY OF MARKHAM**  
Model:  
**36'-D5**  
**THE MONTCLAIRE 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE  
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DO NOT SCALE DRAWINGS.  
Drawn By: NP Project No: 20-03 Elevation: C Page No: A-14  
Checked By: NP Scale: 3/16" = 1'0"

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/20/21



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

FOR LOTS:  
CITY OF MARKHAM  
I, AVI SHWARTZ OAA, MRAIC of JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV.16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
REVISIONS			

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**FRONT ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.2.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816

REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.2.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp:  
LICENSED PROFESSIONAL ENGINEER  
STRUCTURAL  
SOSCIA  
90228592  
NOV 18 2020  
PROVINCE OF ONTARIO

Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**36'-D5  
THE MONTCLAIRE 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: C Page No: A-15  
Checked By: NP Scale: 3/16" = 1'0"

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/20/21



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FOR LOTS:  
CITY OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC OF JOHN G. WILLIAMS LIMITED, ARCHITECT certify that the plans/drawings comply with the applicable architectural control guidelines approved by the City of Markham and on file with the Design Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

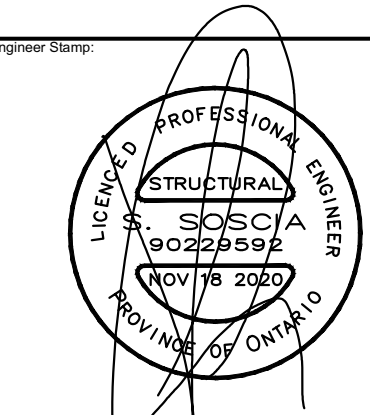
#	Description	Date	By
5	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR FINAL	NOV. 16/20	NP
4	REVISE AS PER ENGINEER COMMENTS & ISSUE FOR CONSTRUCTION	SEP. 21/20	NP
3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
	REVISIONS		

**ONERISER**  
DESIGNS  
20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title:  
**LEFT SIDE ELEVATION C**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026



Client:  
**TREASURE HILL**

Project:  
**ARANCIA  
CITY OF MARKHAM**

Model:  
**36'-D5  
THE MONTCLAIRE 5**

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON SITE

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DO NOT SCALE DRAWINGS.

Drawn By: NP Project No: 20-03 Elevation: C Page No: A-16  
Checked By: NP Scale: 3/16" = 1'0"



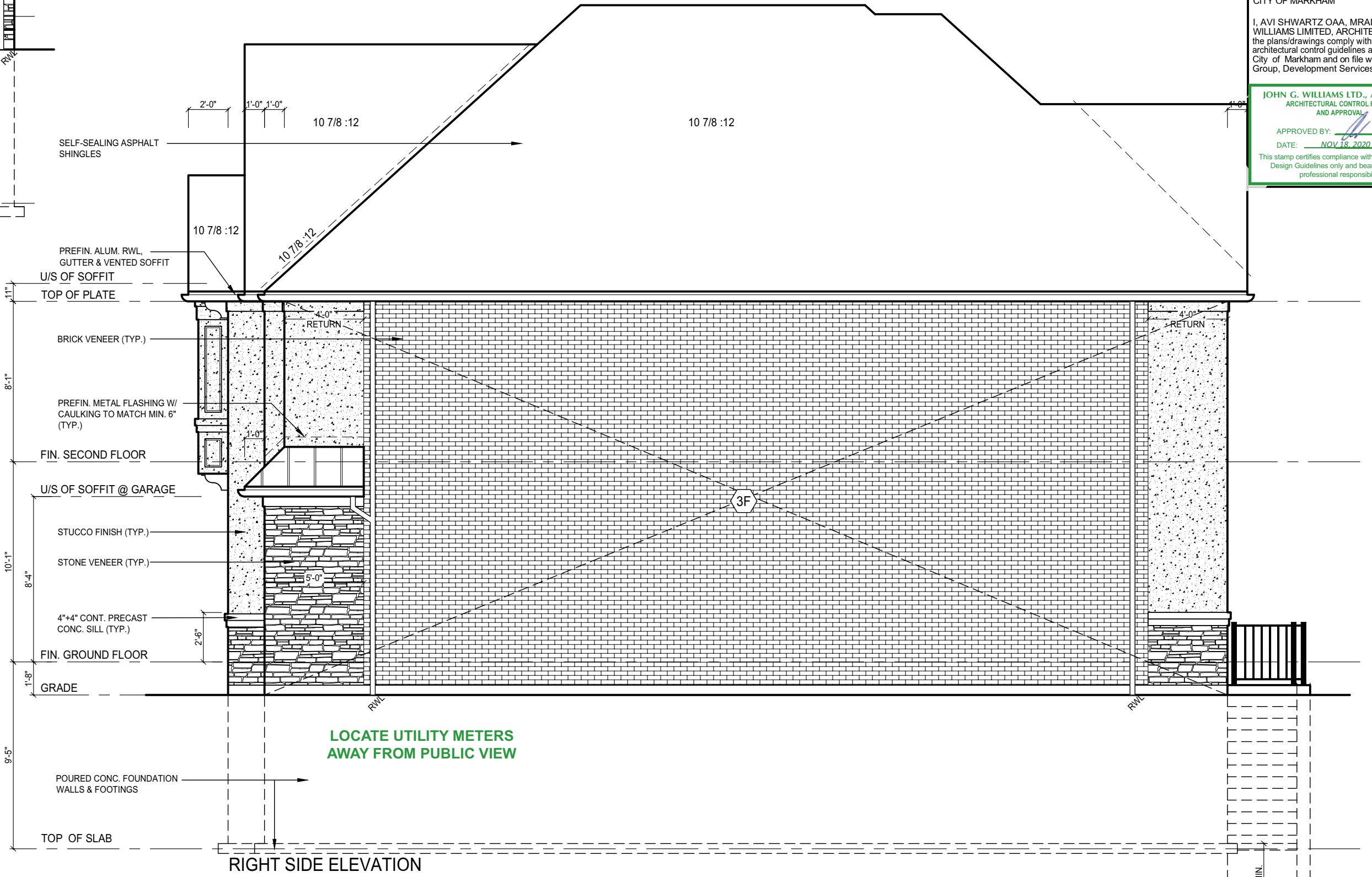
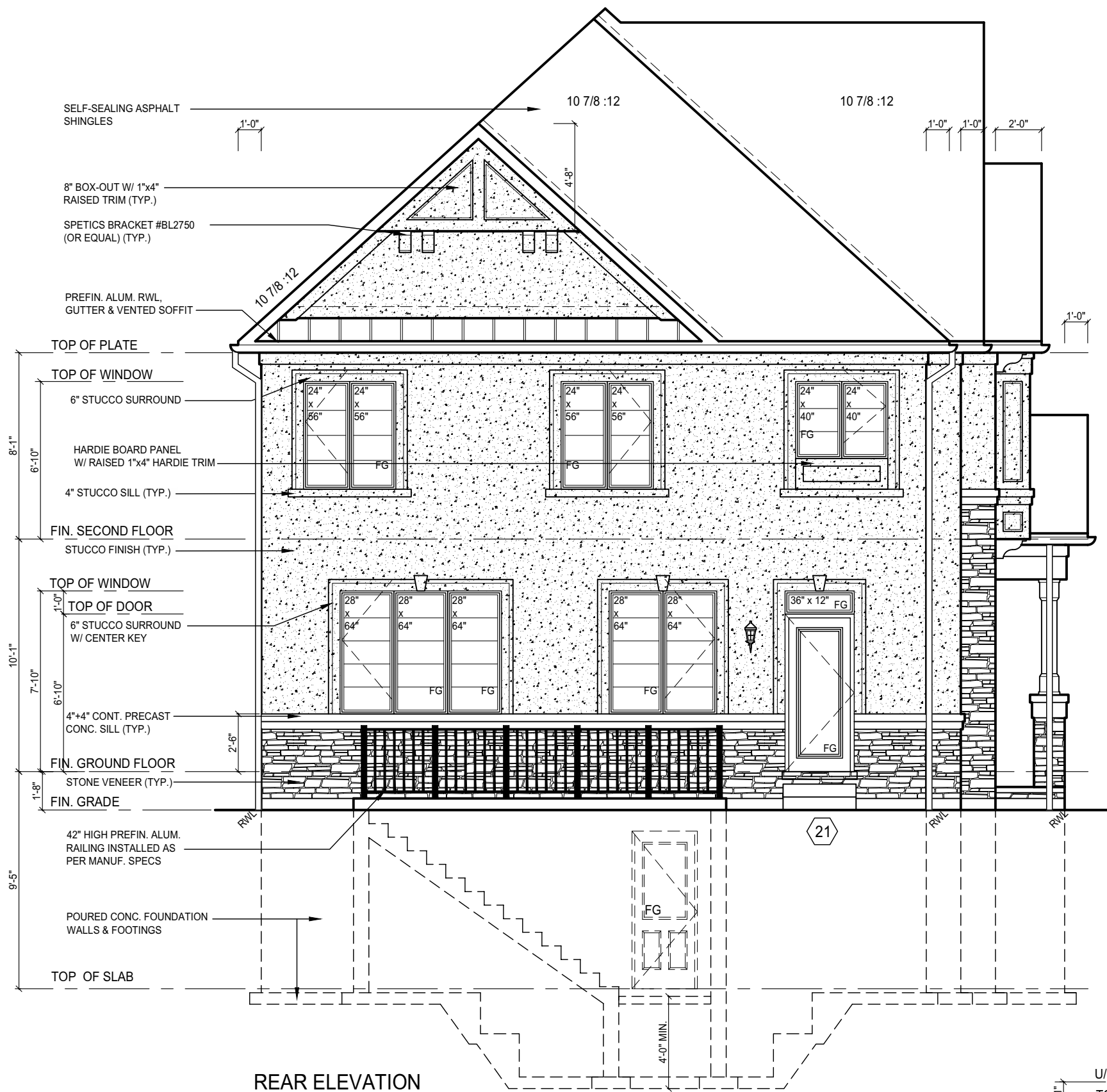


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FOR LOTS:  
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 18, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



#	Description	Date	By
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3	REVISE BASEMENT FLOOR LAYOUTS AS PER CLIENT COMMENTS	SEP. 1/20	NP
2	COORDINATE W/ FLOOR AND TRUSS LAYOUTS	JUL. 29/20	NP
1	ISSUED FOR CLIENT REVIEW	JUN. 12/20	NP
#	Description	Date	By
REVISIONS			

**ONERISER**  
DESIGNS

20 RIVERMEDE ROAD, UNIT 101  
CONCORD, ONTARIO L4K 3N3  
PHONE: (905) 669-2111  
FAX: 1 (866) 602-1163  
WWW.ONERISER.CA

Sheet Title: REAR & RIGHT SIDE ELEVATION C

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

QUALIFICATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.1 OF THE BUILDING CODE  
IAN ROBERTSON 27816  
REGISTRATION INFORMATION  
REQUIRED UNDER SECTION 2.1.1.1.2 OF THE BUILDING CODE  
1 RISER DESIGNS INC. 32026

Engineer Stamp: [Professional Engineer Stamp for Ian Robertson, Structural Engineer, License No. 27816, dated Nov 18, 2020, Province of Ontario]

Client: TREASURE HILL

Project: ARANCIA CITY OF MARKHAM

Model: 36'-D5 THE MONTCLAIRE 5

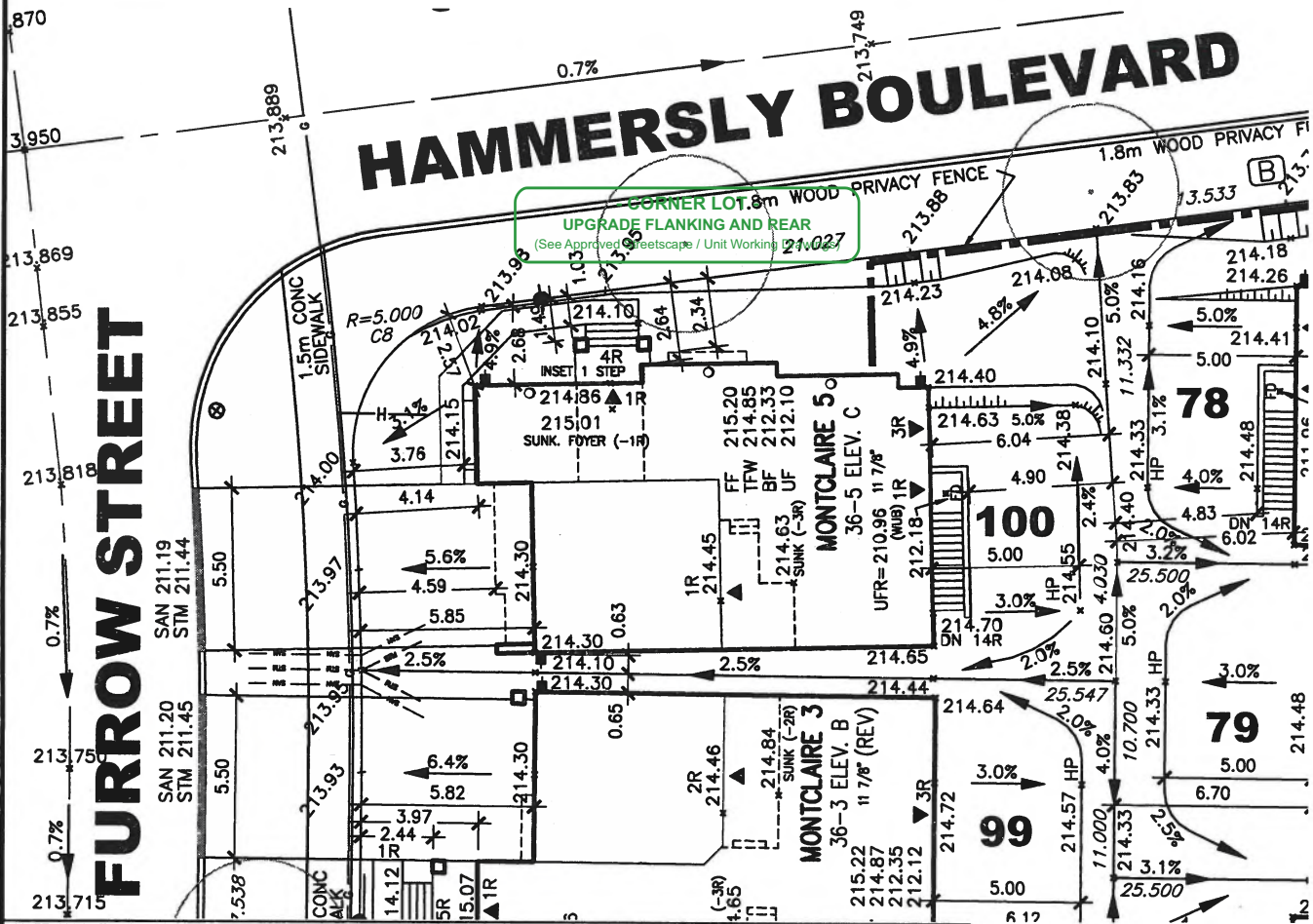
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Drawn By: NP Project No: 20-03 Elevation: C Page No: A-17  
Checked By: NP Scale: 3/16" = 1'0"



NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.  
 NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊙	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊠	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	⊡	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	→	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	—	⊙	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—	⊙	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	—	—	PRIVACY FENCE (SEE ENG. DWG.)
REV	REVERSE PLAN	—	—	—	ACOUSTICAL FENCE (SEE ENG. DWG.)
△	EXTERIOR DOOR LOCATION	—	—	—	CHAIN LINK FENCE (SEE ENG. DWG.)
○	SIDE WINDOW LOCATION	—	—	—	
□	FLOOR DRAIN	—	—	—	
⊠	AIR CONDITIONER	—	—	—	
RYU	REAR YARD UPGRADE	—	—	—	
SYU	SIDE YARD UPGRADE	—	—	—	

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
 APPROVED BY: \_\_\_\_\_  
 DATE: NOV 16, 2020  
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

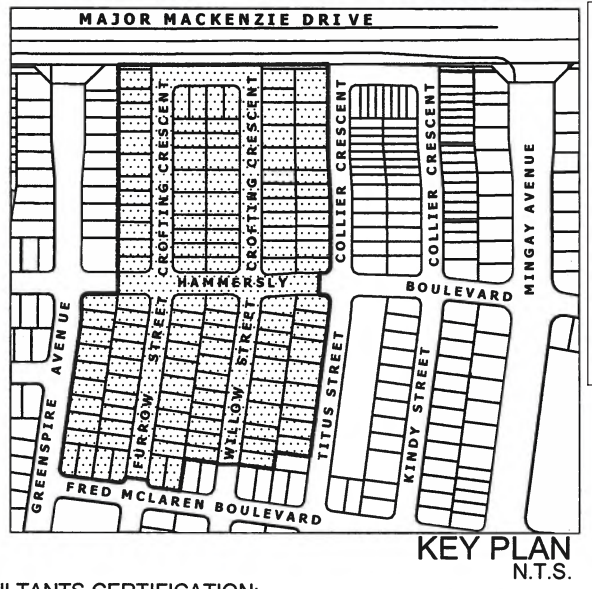
**CONSULTANTS CERTIFICATION:**

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
6. WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.



I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.  
 Individual BCIN: 22445  
 Signature: \_\_\_\_\_



**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/29/21  
 MM/DD/YY

ZONING INFORMATION - LOT 100	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)		8.61m
LOT FRONTAGE		11.83m
LOT AREA		342.90m <sup>2</sup>
PROPOSED COVERAGE		142.61m <sup>2</sup> (41.59%)
FRONT YARD AREA		56.86m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)		20.46m <sup>2</sup> (35.98%)

**Treasure Hill**

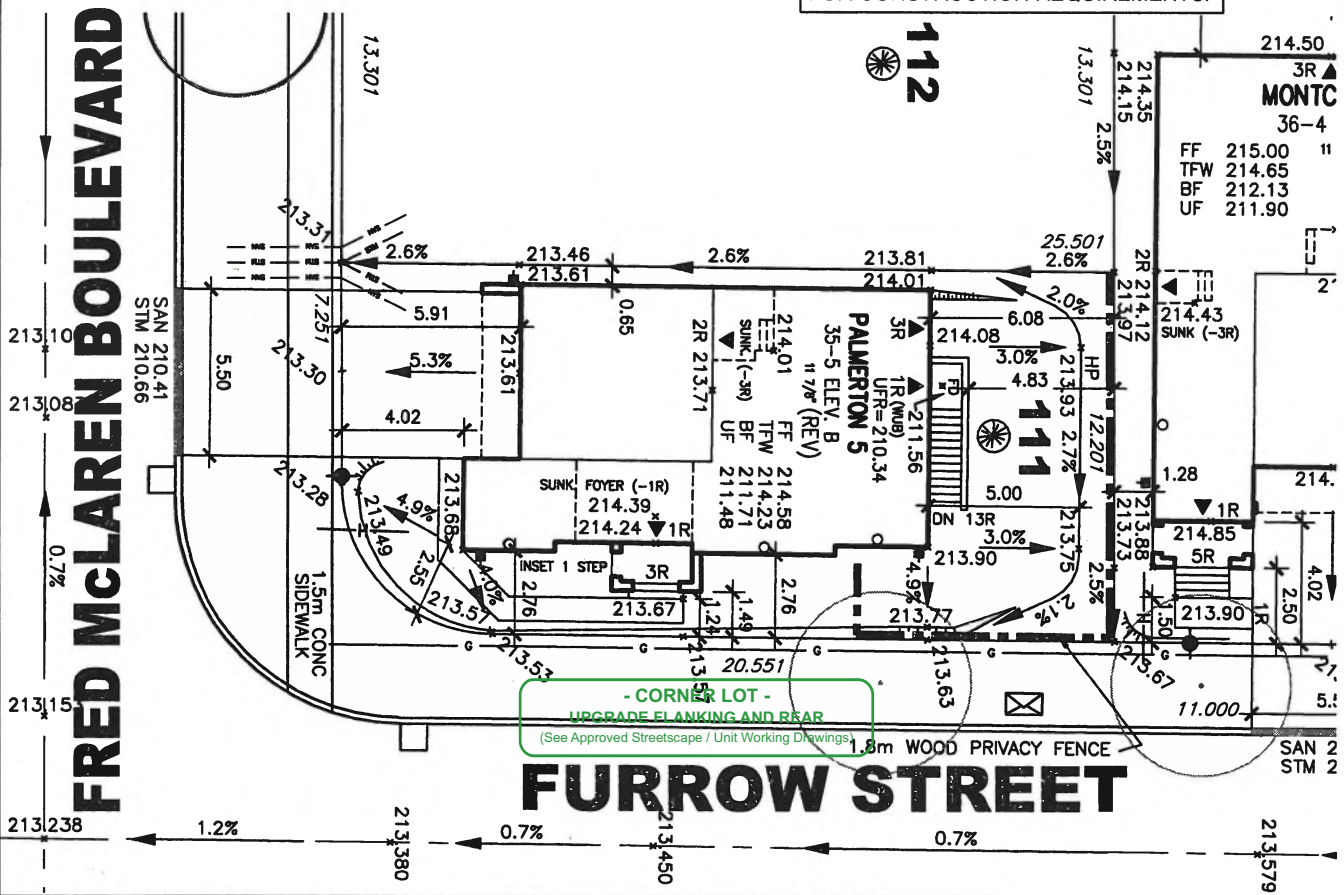
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name: **ARANCIA INVESTMENT CORP. MARKHAM, ONT.**

Sheet Title: **SITING & GRADING PLAN REGISTERED PLAN No: 65M-4573 LOT: 100**

Date: <b>OCT. 30/20</b>	Drawn by: <b>TP</b>	Scale: <b>1:250</b>
-------------------------	---------------------	---------------------

THIS LOT HAS ENGINEERED FILL  
REFER TO ENGINEERED FILL REPORT  
FOR CONSTRUCTION REQUIREMENTS.



CONSULTANTS CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
6. WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.  
NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊙	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊠	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—		⊠	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—SAN—	→	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	SINGLE SAN. CONNECTION	—	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	SINGLE STM. CONNECTION	⊙	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	CATCH BASIN	⊙	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	HYDRANT	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	PROPOSED VALVE	—	PRIVACY FENCE (SEE ENG. DWG.)
REV	REVERSE PLAN	—	TRANSFORMER	—	ACOUSTICAL FENCE (SEE ENG. DWG.)
△	EXTERIOR DOOR LOCATION	—	STREETLIGHT POLE	—	CHAIN LINK FENCE (SEE ENG. DWG.)
○	SIDE WINDOW LOCATION	—	BELL PEDESTAL	—	
○ FD	FLOOR DRAIN	—	BELL FLUSH-TO-GRADE JUNCTION BOX	—	
□	AIR CONDITIONER	—	ROGERS PEDESTAL	—	
RYU	REAR YARD UPGRADE	—	ROGERS FLUSH-TO-GRADE JUNCTION BCX	—	
SYU	SIDE YARD UPGRADE	—	GAS TRENCH LINE	—	

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: NOV 16 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



I, Louis Pentaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 22445

Signature: \_\_\_\_\_

ZONING INFORMATION - LOT 111 R2*185 No. A/050/20	
BUILDING HEIGHT (11.00m max.)	8.27m
LOT FRONTAGE	12.20m
LOT AREA	305.90m <sup>2</sup>
PROPOSED COVERAGE	133.78m <sup>2</sup> (43.73%)
FRONT YARD AREA	55.62m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)	19.96m <sup>2</sup> (35.89%)

# Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP. MARKHAM, ONT.**

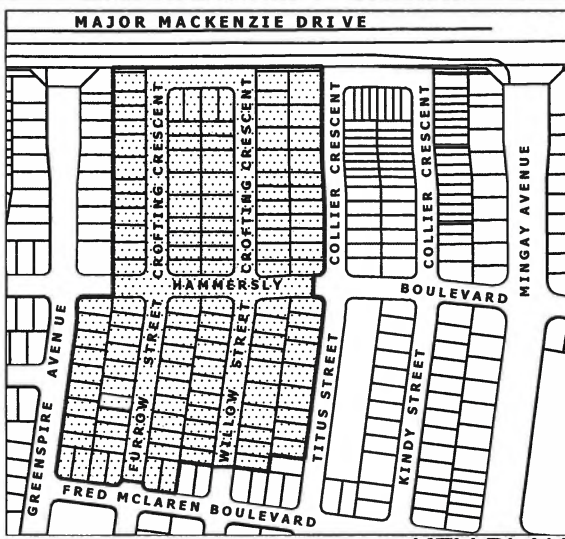
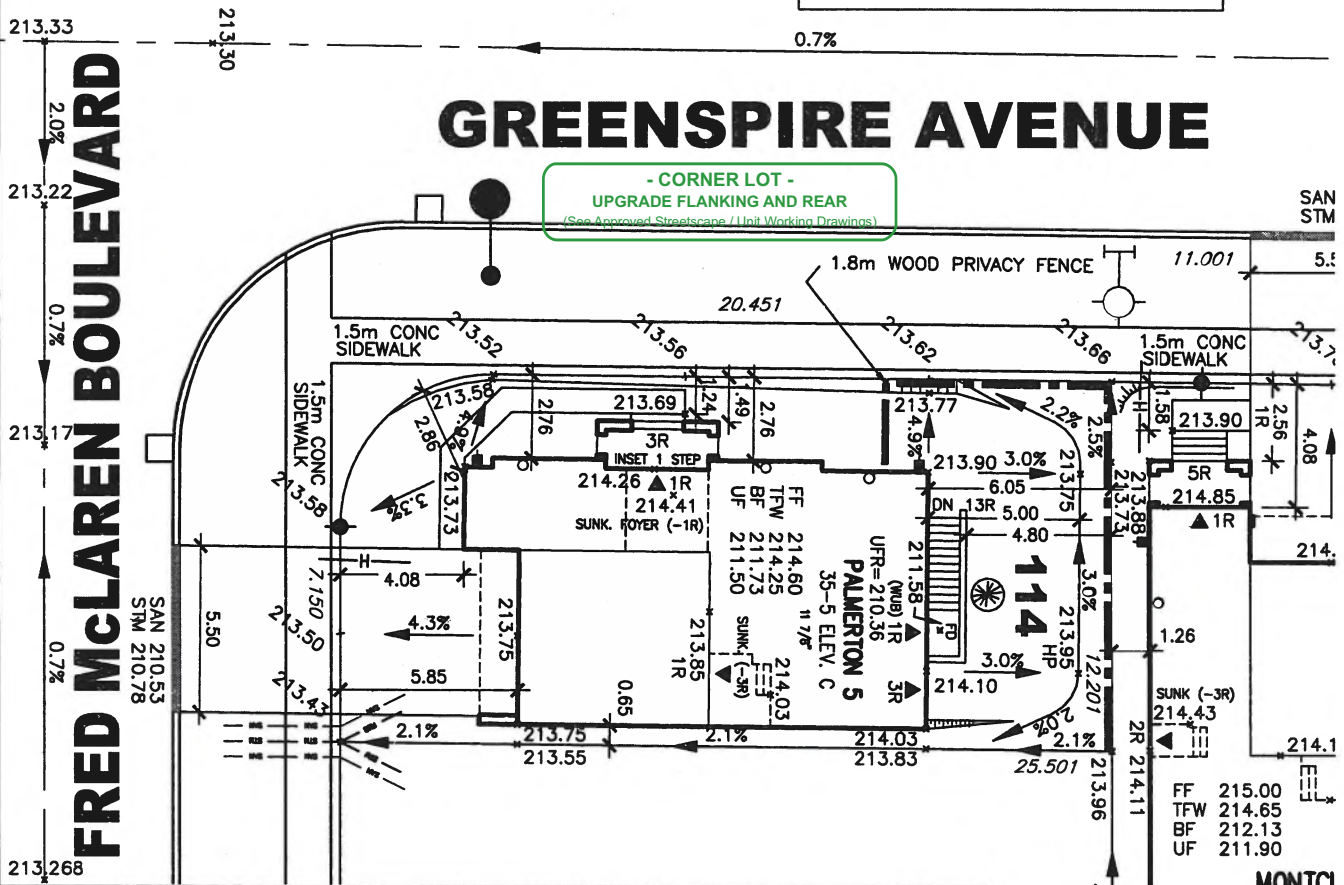
Sheet Title:  
**SITING & GRADING PLAN REGISTERED PLAN No: 65M-4573 LOT: 111**

Date: OCT. 30/20	Drawn by: TP	Scale: 1:250
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THIS LOT HAS ENGINEERED FILL  
REFER TO ENGINEERED FILL REPORT  
FOR CONSTRUCTION REQUIREMENTS.

# GREENSPIRE AVENUE

- CORNER LOT -  
UPGRADE FLANKING AND REAR  
(See Approved Streetscape / Unit Working Drawings)



KEY PLAN  
N.T.S.

CONSULTANTS CERTIFICATION:

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
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FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊙	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊙	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	—	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	—	—	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—	—	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	—	—	PRIVACY FENCE (SEE ENG. DWG.)
REV	REVERSE PLAN	—	—	—	ACOUSTICAL FENCE (SEE ENG. DWG.)
△	EXTERIOR DOOR LOCATION	—	—	—	CHAIN LINK FENCE (SEE ENG. DWG.)
○	SIDE WINDOW LOCATION	—	—	—	—
○ FD	FLOOR DRAIN	—	—	—	—
□	AIR CONDITIONER	—	—	—	—
RYU	REAR YARD UPGRADE	—	—	—	—
SYU	SIDE YARD UPGRADE	—	—	—	—

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: NOV 16, 2020

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Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 22445

Signature: \_\_\_\_\_

## Appendix C

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

ZONING INFORMATION - LOT 114	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)	8.31m	
LOT FRONTAGE	12.20m	
LOT AREA	305.60m <sup>2</sup>	
PROPOSED COVERAGE	135.36m <sup>2</sup> (44.29%)	
FRONT YARD AREA	55.99m <sup>2</sup>	
SOFT LANDSCAPE AREA (23% min.)	20.31m <sup>2</sup> (36.27%)	

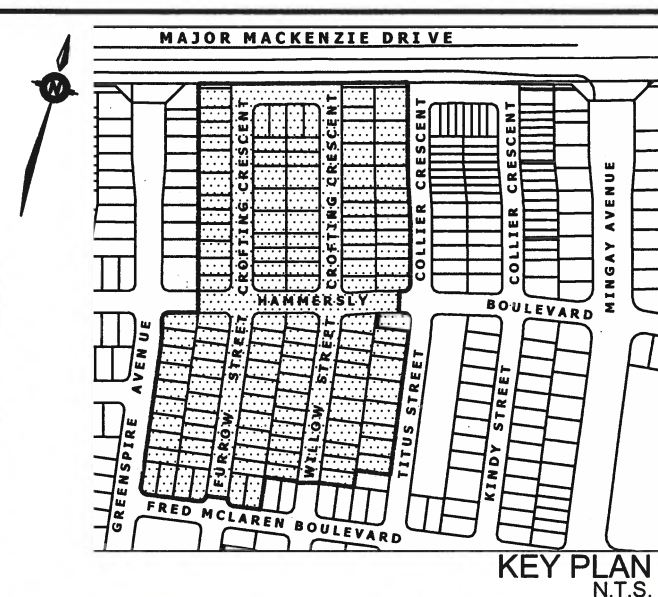
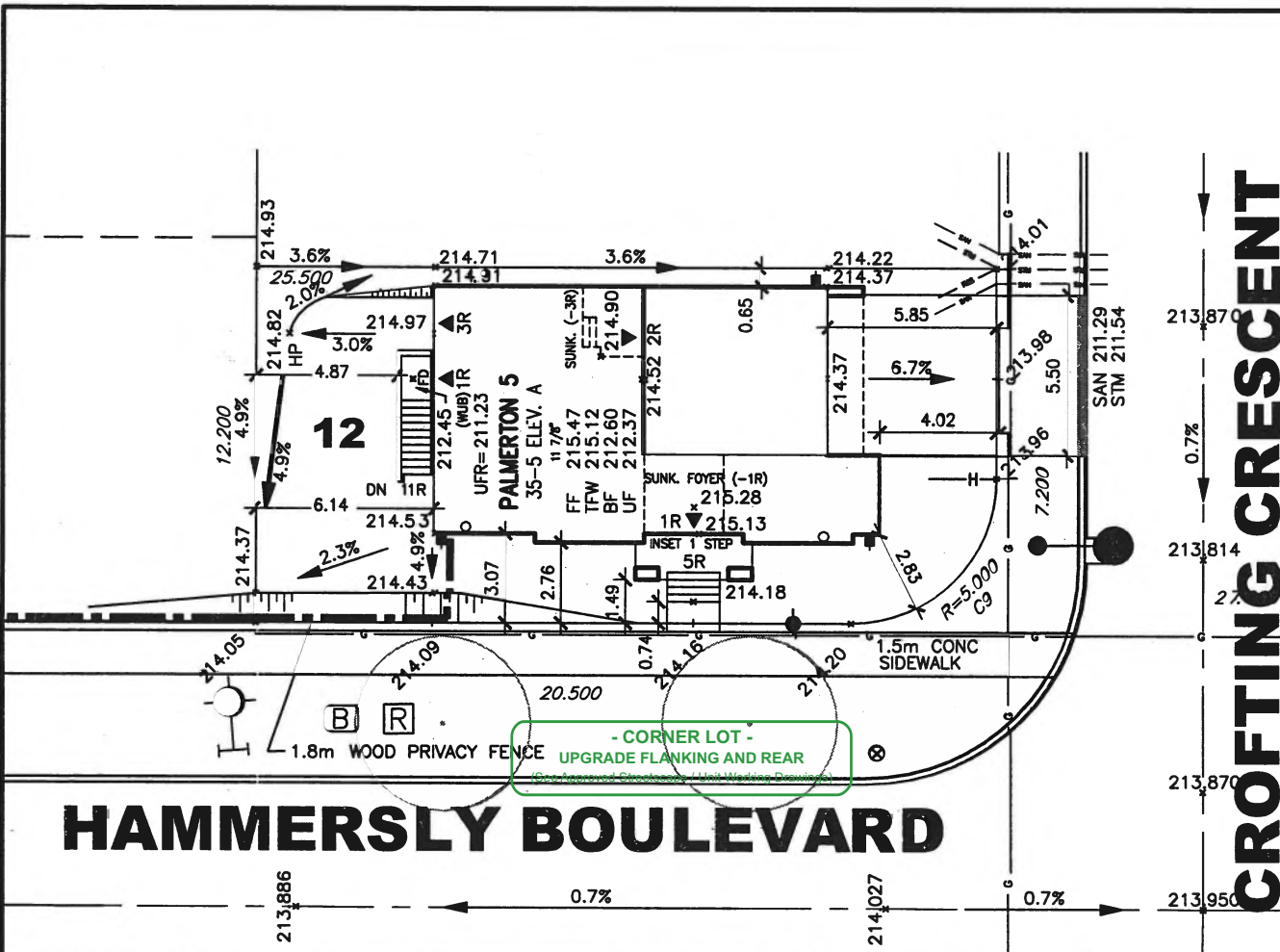
# Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP.  
MARKHAM, ONT.**

Sheet Title:  
**SITING & GRADING PLAN  
REGISTERED PLAN No: 65M-4573  
LOT: 114**

Date: OCT. 30/20	Drawn by: TP	Scale: 1:250
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**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

**CONSULTANTS CERTIFICATION:**

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

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FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊙	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	⊠	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	DENOTES STORM & SANITARY DOUBLE CONNECTION	⊠	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—SAN— SINGLE SAN. CONNECTION	→	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	—STM— SINGLE STM. CONNECTION	1:1	EMEANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	CB	⊙	CATCH BASIN
MBE	MINIMUM BASEMENT ELEVATION	—	⊙	⊙	HYDRANT
WOB	WALK OUT BASEMENT	—	⊙	⊙	PROPOSED VALVE
WUB	WALK UP BASEMENT	—	⊙	⊙	TRANSFORMER
REV	REVERSE PLAN	—	⊙	⊙	STREETLIGHT POLE
△	EXTERIOR DOOR LOCATION	—	⊙	⊙	BELL PEDESTAL
○	SIDE WINDOW LOCATION	—	⊙	⊙	BELL FLUSH-TO-GRADE JUNCTION BOX
⊙ FD	FLOOR DRAIN	—	⊙	⊙	ROGERS PEDESTAL
⊙ A	AIR CONDITIONER	—	⊙	⊙	ROGERS FLUSH-TO-GRADE JUNCTION BOX
RYU	REAR YARD UPGRADE	—	—	—	CHAIN LINK FENCE (SEE ENG. DWG.)
SYU	SIDE YARD UPGRADE	—	—	—	GAS TRENCH LINE

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: NOV 16 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**LICENSED PROFESSIONAL ENGINEER**  
**K. P. DENNINGS**  
SCHAEFFERS AND ASSOCIATES  
DATE: NOV 16 2020

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 22445

Signature

ZONING INFORMATION - LOT 12	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)		8.47m
LOT FRONTAGE		12.20m
LOT AREA		305.70m <sup>2</sup>
PROPOSED COVERAGE		135.36m <sup>2</sup> (44.28%)
FRONT YARD AREA		55.46m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)		22.95m <sup>2</sup> (41.38%)

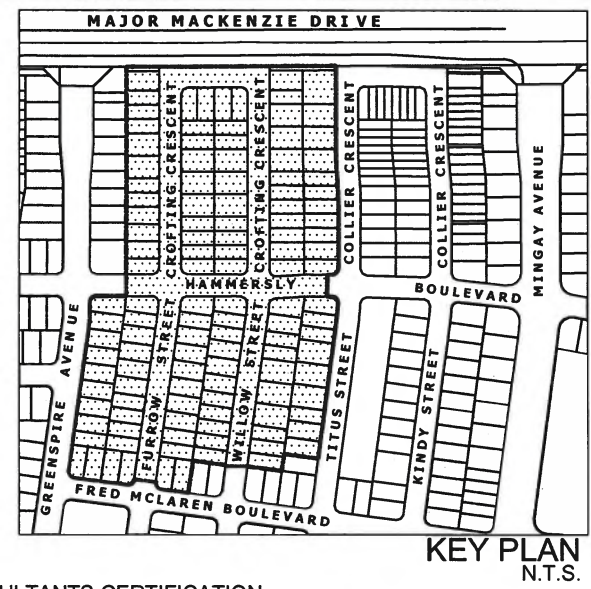
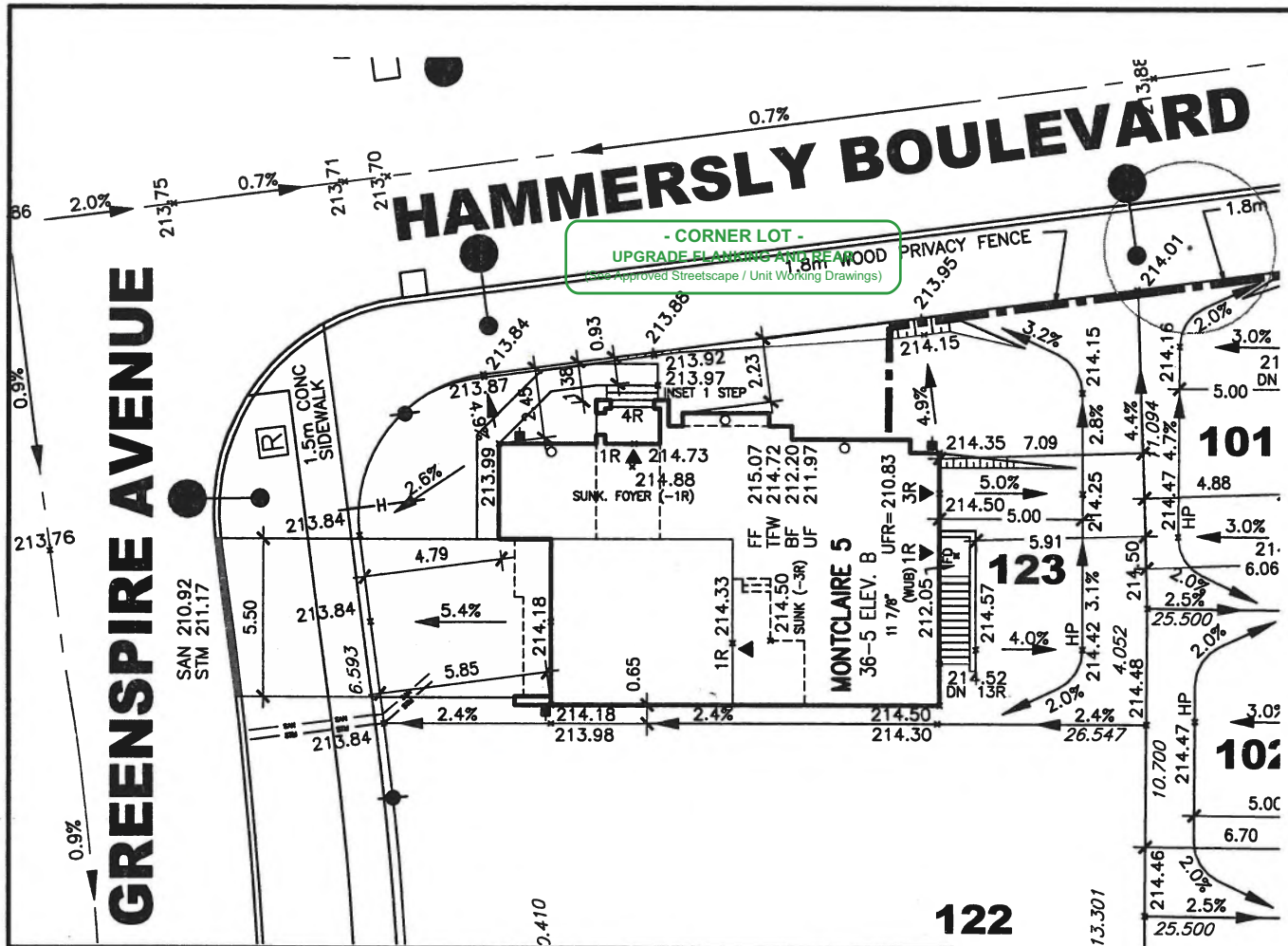
**Treasure Hill**

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP.  
MARKHAM, ONT.**

Sheet Title:  
**SITING & GRADING PLAN  
REGISTERED PLAN No: 65M-4573  
LOT: 12**

Date: OCT. 30/20	Drawn by: TP	Scale: 1:250
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**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.  
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FF	FINISHED FLOOR ELEVATION		HYDRO SERVICE LATERAL WATER SERVICE		SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION		DENOTES STORM & SANITARY DOUBLE CONNECTION		COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB		SAN - SINGLE SAN. CONNECTION		RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL		STM - SINGLE STM. CONNECTION		SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR		CB - CATCH BASIN		EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT		HYDRANT		THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION		PROPOSED VALVE		RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT		TRANSFORMER		RETAINING WALL
WUB	WALK UP BASEMENT		STREETLIGHT POLE		PRIVACY FENCE (SEE ENG. DWG.)
REV	REVERSE PLAN		BELL PEDESTAL		ACOUSTICAL FENCE (SEE ENG. DWG.)
△	EXTERIOR DOOR LOCATION		BELL FLUSH-TO-GRADE JUNCTION BOX		CHAIN LINK FENCE (SEE ENG. DWG.)
○	SIDE WINDOW LOCATION		ROGERS PEDESTAL		GAS TRENCH LINE
○ FD	FLOOR DRAIN		ROGERS FLUSH-TO-GRADE JUNCTION BOX		
△	AIR CONDITIONER				
RYU	REAR YARD UPGRADE				
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 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: NOV 16, 2020

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Individual BCIN: 22445

Signature:

ZONING INFORMATION - LOT 123	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)	8.71m	
LOT FRONTAGE	11.57m	
LOT AREA	358.80m <sup>2</sup>	
PROPOSED COVERAGE	143.44m <sup>2</sup> (39.98%)	
FRONT YARD AREA	62.39m <sup>2</sup>	
SOFT LANDSCAPE AREA (23% min.)	24.47m <sup>2</sup> (39.22%)	

# Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

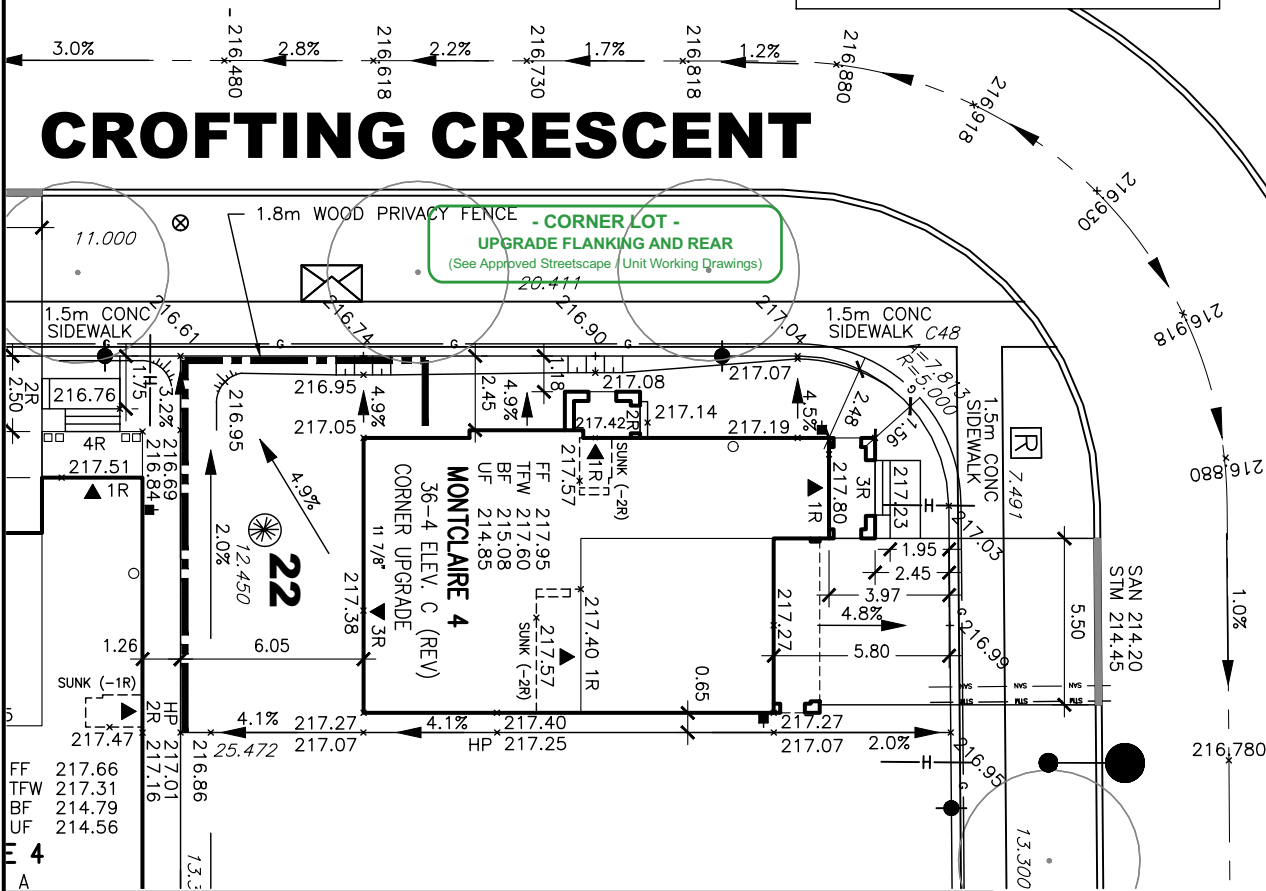
Project Name: **ARANCIA INVESTMENT CORP. MARKHAM, ONT.**

Sheet Title: **SITING & GRADING PLAN REGISTERED PLAN No: 65M-4573 LOT: 123**

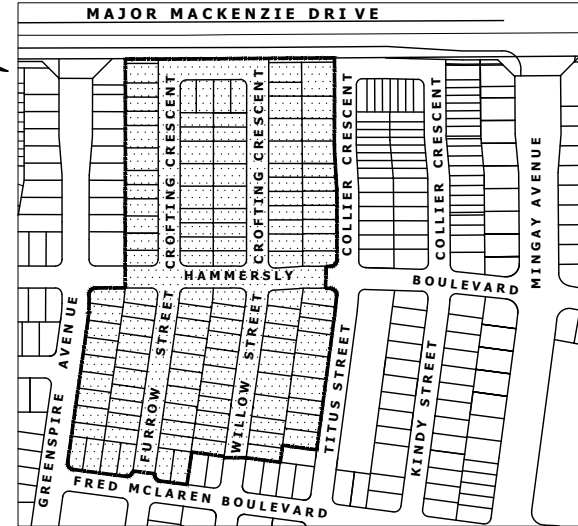
Date: <b>OCT. 30/20</b>	Drawn by: <b>TP</b>	Scale: <b>1:250</b>
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# CROFTING CRESCENT

THIS LOT HAS ENGINEERED FILL  
REFER TO ENGINEERED FILL REPORT  
FOR CONSTRUCTION REQUIREMENTS.



# CROFTING CRESCENT



KEY PLAN  
N.T.S.

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## Appendix C

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

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UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	☒	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	—	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	—	—	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	—	—	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—	—	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	—	—	PRIVACY FENCE (SEE ENG. DWG.)
REV	REVERSE PLAN	—	—	—	ACOUSTICAL FENCE (SEE ENG. DWG.)
△	EXTERIOR DOOR LOCATION	—	—	—	CHAIN LINK FENCE (SEE ENG. DWG.)
○	SIDE WINDOW LOCATION	—	—	—	—
○ FD	FLOOR DRAIN	—	—	—	—
⊠	AIR CONDITIONER	—	—	—	—
RYU	REAR YARD UPGRADE	—	—	—	—
SYU	SIDE YARD UPGRADE	—	—	—	—

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: NOV 16 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LICENSED PROFESSIONAL ENGINEER  
K. R. DEMMINGS  
NOV 05 2020  
SCHEFFERS AND ASSOCIATES  
PROVINCE OF ONTARIO

DATE \_\_\_\_\_

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.

Individual BCIN: 22445

Signature: \_\_\_\_\_

ZONING INFORMATION - LOT 22	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)	10.55m	
LOT FRONTAGE	12.45m	
LOT AREA	311.12m <sup>2</sup>	
PROPOSED COVERAGE	148.09m <sup>2</sup> (47.60%)	
FRONT YARD AREA	50.92m <sup>2</sup>	
SOFT LANDSCAPE AREA (23% min.)	15.04m <sup>2</sup> (29.54%)	

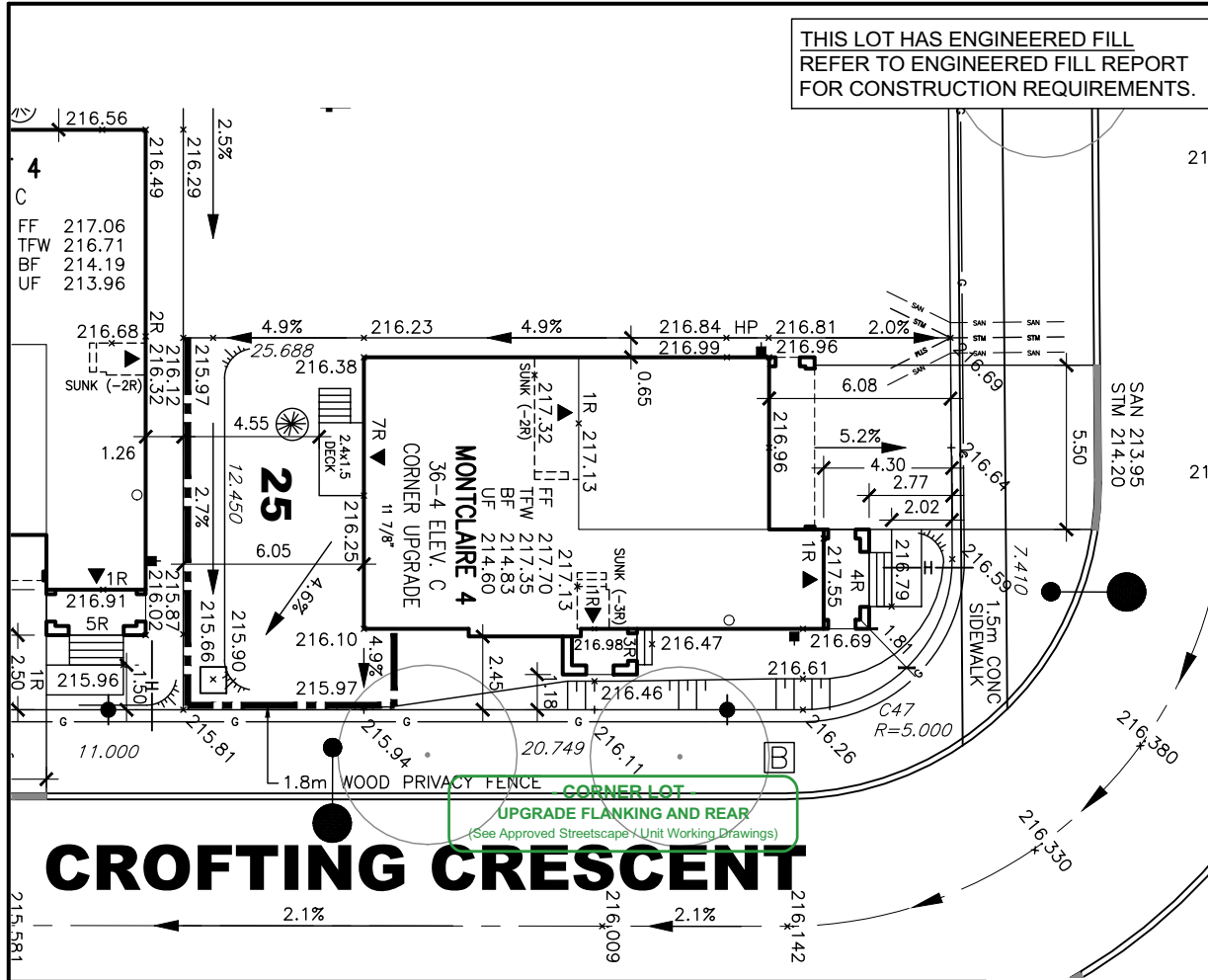
## Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP.  
MARKHAM, ONT.**

Sheet Title:  
**SITING & GRADING PLAN  
REGISTERED PLAN No: 65M-4573  
LOT: 22**

Date: NOV. 4/20	Drawn by: TP	Scale: 1:250
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**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

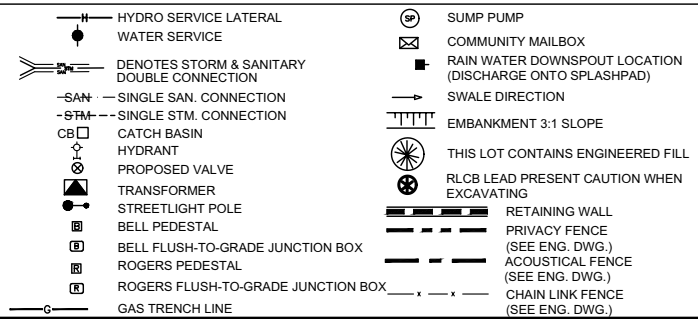
**CONSULTANTS CERTIFICATION:**

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
6. WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.  
 NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
 NOTE: BUILDER TO VERIFY ADEQUACY OF FOUNDING SOILS WITH PROJECT GEOTECHNICAL CONSULTANT ADJACENT TO REAR LOT CATCHBASIN AND LEAD PRIOR TO POURING FOOTINGS.  
 NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION  
 UF UNDERSIDE FOOTING ELEVATION  
 BF FIN. BASEMENT FLOOR SLAB  
 TFW TOP OF FOUNDATION WALL  
 UFR UNDERSIDE FOOTING AT REAR  
 UFF UNDERSIDE FOOTING AT FRONT  
 MBE MINIMUM BASEMENT ELEVATION  
 WOB WALK OUT BASEMENT  
 WUB WALK UP BASEMENT  
 REV REVERSE PLAN  
 Δ EXTERIOR DOOR LOCATION  
 ○ SIDE WINDOW LOCATION  
 ○ FD FLOOR DRAIN  
 [A] AIR CONDITIONER  
 RYU REAR YARD UPGRADE  
 SYU SIDE YARD UPGRADE



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**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW  
 AND APPROVAL

APPROVED BY: \_\_\_\_\_  
 DATE: NOV 16 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

LICENSED PROFESSIONAL ENGINEER  
 K. R. DEMMING  
 #4407  
 PROVINCE OF ONTARIO

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.  
 Individual BCIN: 22445

Signature: \_\_\_\_\_

ZONING INFORMATION - LOT 25	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)		10.92m
LOT FRONTAGE		12.45m
LOT AREA		315.00m <sup>2</sup>
PROPOSED COVERAGE		148.09m <sup>2</sup> (47.01%)
FRONT YARD AREA		54.70m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)		17.25m <sup>2</sup> (31.54%)

**Treasure Hill**

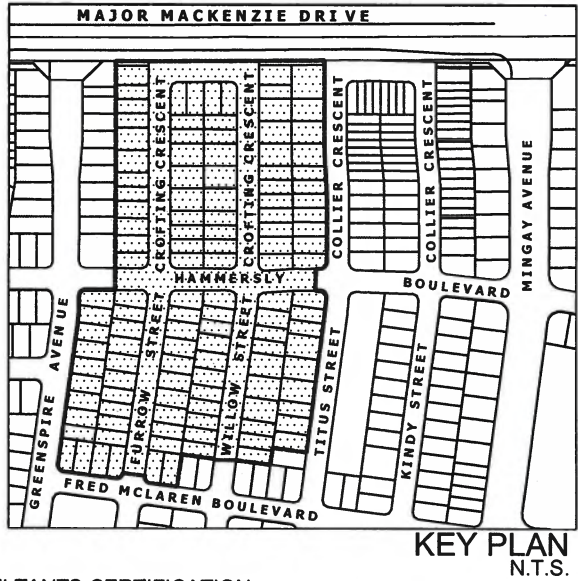
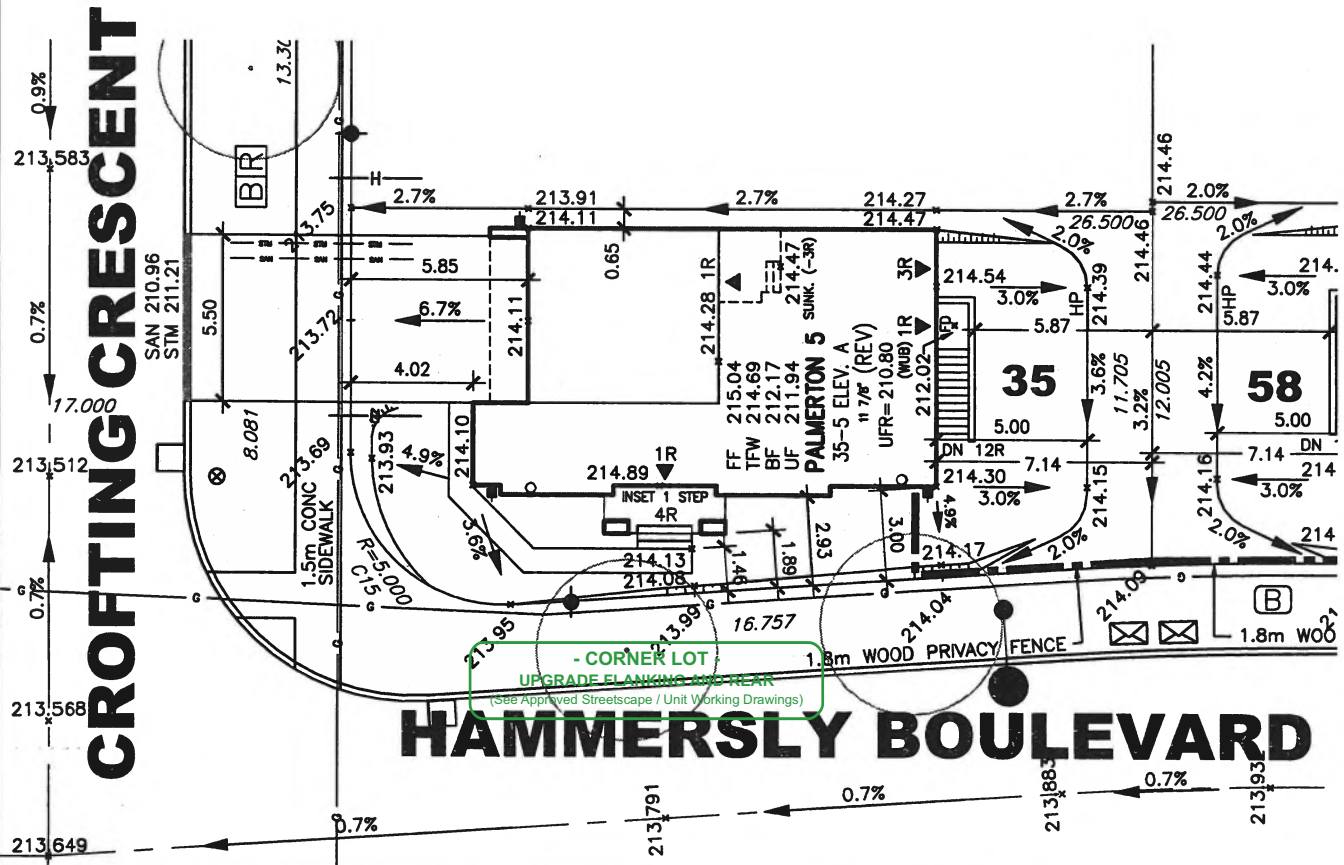
1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP.  
 MARKHAM, ONT.**

Sheet Title:  
**SITING & GRADING PLAN  
 REGISTERED PLAN No: 65M-4573  
 LOT: 25**

Date: NOV. 4/20	Drawn by: TP	Scale: 1:250
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**Appendix C**

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

**CONSULTANTS CERTIFICATION:**

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:

1. THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
2. THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
3. THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
4. THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL UTILITIES ON THE SITE.
5. ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
6. WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.  
 NOTE: DRIVEWAYS ARE TO BE 1.2m CLEAR OF UTILITY STRUCTURES & HYDRANTS.  
 NOTE: THE BUILDER MUST MEASURE THE INVERT ELEVATIONS AND VERIFY THAT ADEQUATE FALL IS AVAILABLE FOR THE STORM AND SANITARY SEWER PIPES PRIOR TO THE POURING OF FOOTINGS.  
 NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.  
 NOTE: BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.  
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 NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF FINISHED FLOOR ELEVATION	HYDRO SERVICE LATERAL WATER SERVICE	SUMP PUMP
UF UNDERSIDE FOOTING ELEVATION	DENOTES STORM & SANITARY DOUBLE CONNECTION	COMMUNITY MAILBOX
BF FIN. BASEMENT FLOOR SLAB	SAN SINGLE SAN. CONNECTION	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW TOP OF FOUNDATION WALL	STM SINGLE STM. CONNECTION	SWALE DIRECTION
UFR UNDERSIDE FOOTING AT REAR	CBQ CATCH BASIN	EMBANKMENT 3:1 SLOPE
UFF UNDERSIDE FOOTING AT FRONT	HYDRANT	THIS LOT CONTAINS ENGINEERED FILL
MBE MINIMUM BASEMENT ELEVATION	PROPOSED VALVE	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB WALK OUT BASEMENT	TRANSFORMER	RETAINING WALL
WUB WALK UP BASEMENT	STREETLIGHT POLE	PRIVACY FENCE (SEE ENG. DWG.)
REV REVERSE PLAN	BELL PEDESTAL	ACOUSTICAL FENCE (SEE ENG. DWG.)
△ EXTERIOR DOOR LOCATION	BELL FLUSH-TO-GRADE JUNCTION BOX	CHAIN LINK FENCE (SEE ENG. DWG.)
○ SIDE WINDOW LOCATION	ROGERS PEDESTAL	
○ FD FLOOR DRAIN	ROGERS FLUSH-TO-GRADE JUNCTION BOX	
[A] AIR CONDITIONER	GAS TRENCH LINE	
RYU REAR YARD UPGRADE		
SYU SIDE YARD UPGRADE		

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
 ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:

DATE: NOV 16, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**LICENSED PROFESSIONAL ENGINEER**  
 K. R. DEMMINGS

*(Signature)*

SCHAEFFERS AND ASSOCIATES

DATE

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5 of Division C, of the Building Code.

Individual BCIN: 22445

*(Signature)*

ZONING INFORMATION - LOT 35	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)		8.35m
LOT FRONTAGE		12.13m
LOT AREA		326.20m <sup>2</sup>
PROPOSED COVERAGE		135.364m <sup>2</sup> (41.50%)
FRONT YARD AREA		59.00m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)		23.69m <sup>2</sup> (40.15%)

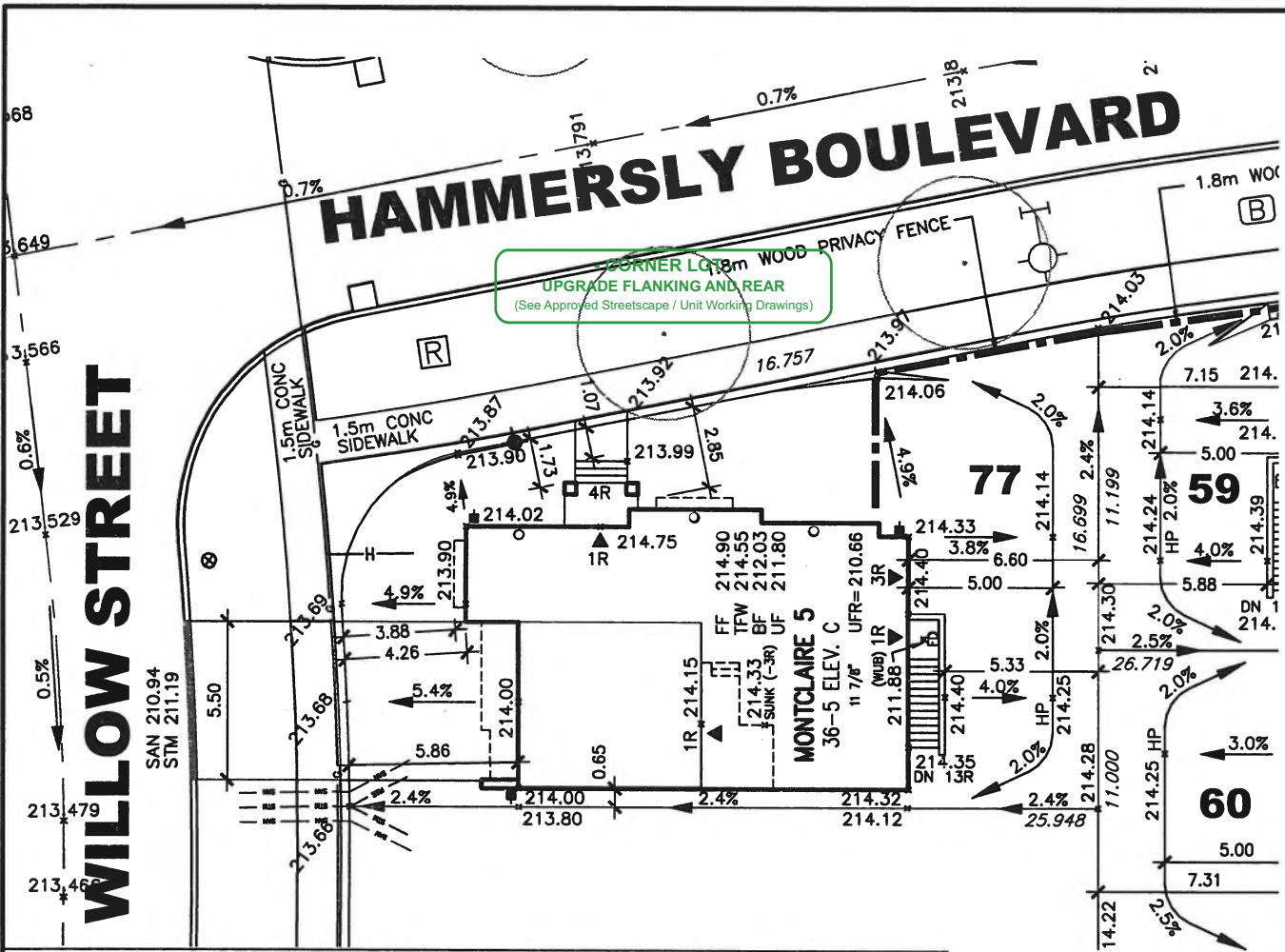
# Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
 T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP.  
 MARKHAM, ONT.**

Sheet Title:  
**SITING & GRADING PLAN  
 REGISTERED PLAN No: 65M-4573  
 LOT: 35**

Date: OCT. 30/20	Drawn by: TP	Scale: 1:250
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**Appendix C**

File: 20.135912.00.00.MNV

Date: 01/29/21

MM/DD/YY

NOTE: ALL LOTS HAVE 25mm Ø WATER SERVICE CONNECTION. NOTE: BUILDER TO STAKE OUT CURB DEPRESSION ON ALL LOTS.

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NOTE: EXTENDED FOOTINGS FOR RAISED UNITS: UNDERSIDE OF FOOTING TO BE EXTENDED TO ENGINEER FILL OR SUITABLE NATIVE MATERIAL TO BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL WATER SERVICE	⊕	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	—	⊠	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—	—	⊠	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	—	—
UFR	UNDERSIDE FOOTING AT REAR	—	—	—	—
UFF	UNDERSIDE FOOTING AT FRONT	—	—	—	—
MBE	MINIMUM BASEMENT ELEVATION	—	—	—	—
WOB	WALK OUT BASEMENT	—	—	—	—
WUB	WALK UP BASEMENT	—	—	—	—
REV	REVERSE PLAN	—	—	—	—
△	EXTERIOR DOOR LOCATION	—	—	—	—
○	SIDE WINDOW LOCATION	—	—	—	—
□	FLOOR DRAIN	—	—	—	—
AD	AIR CONDITIONER	—	—	—	—
RYU	REAR YARD UPGRADE	—	—	—	—
SYU	SIDE YARD UPGRADE	—	—	—	—

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: NOV 16, 2020

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6. WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

**LICENSED PROFESSIONAL ENGINEER**  
**K. R. DEMARIS**

SCHAEFFERS AND ASSOCIATES  
DATE: NOV 15 2020

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 22445

Signature: \_\_\_\_\_

ZONING INFORMATION - LOT 77	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)		8.56m
LOT FRONTAGE		11.80m
LOT AREA		365.90m <sup>2</sup>
PROPOSED COVERAGE		142.61m <sup>2</sup> (38.98%)
FRONT YARD AREA		57.97m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)		24.85m <sup>2</sup> (42.87%)

# Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

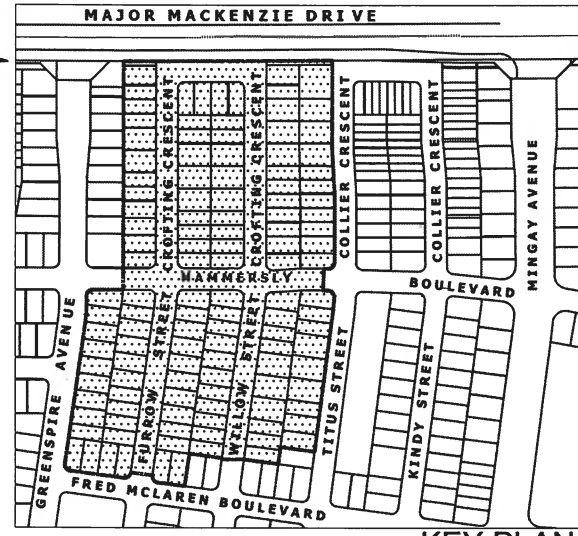
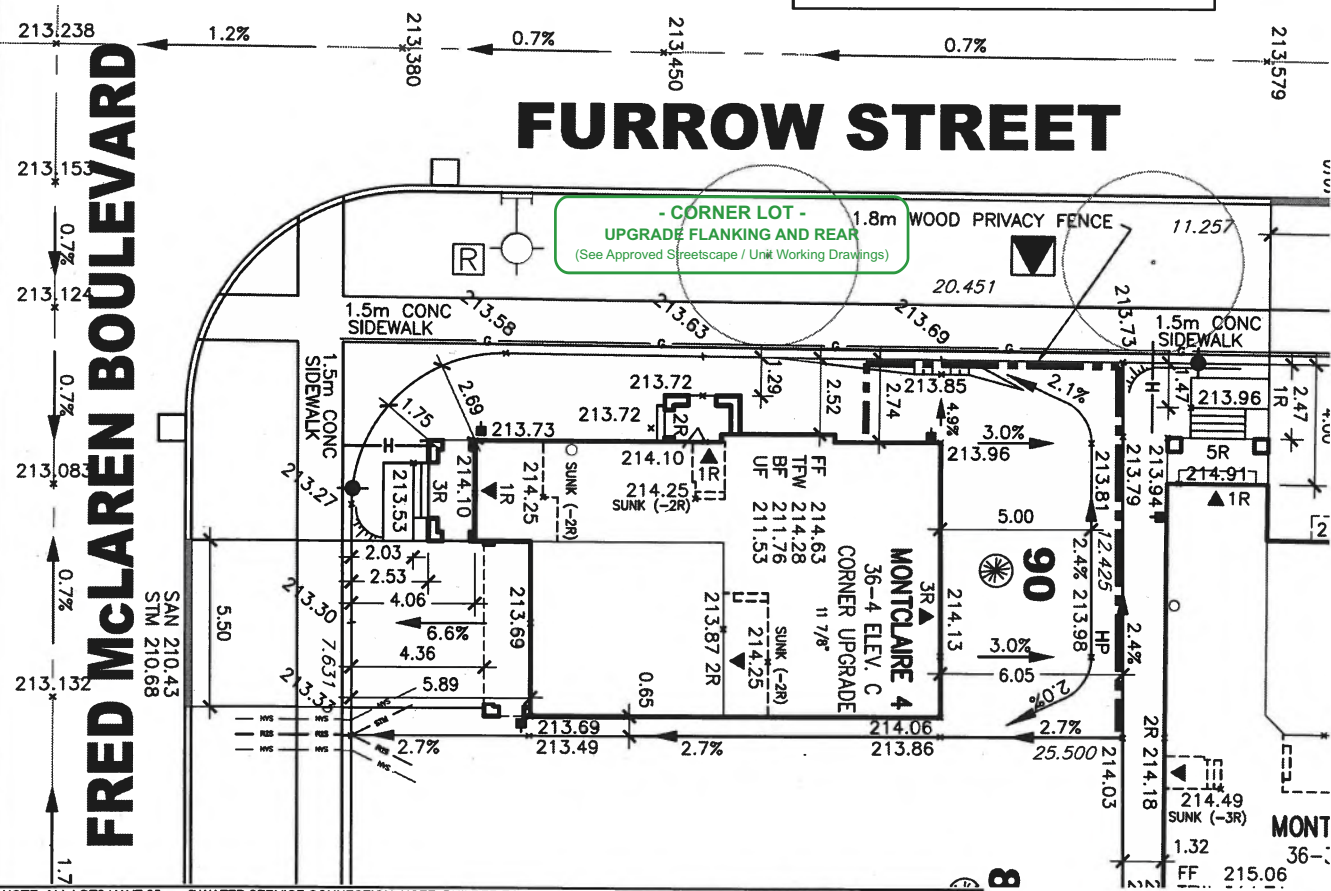
Project Name: **ARANCIA INVESTMENT CORP. MARKHAM, ONT.**

Sheet Title: **SITING & GRADING PLAN REGISTERED PLAN No: 65M-4573 LOT: 77**

Date: OCT. 30/20	Drawn by: TP	Scale: 1:250
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THIS LOT HAS ENGINEERED FILL  
REFER TO ENGINEERED FILL REPORT  
FOR CONSTRUCTION REQUIREMENTS.

# FURROW STREET



## Appendix C

File: 20.135912.000.00.MNV

Date: 01/29/21

MM/DD/YY

### CONSULTANTS CERTIFICATION:

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FF	FINISHED FLOOR ELEVATION	—	HYDRO SERVICE LATERAL	⊕	SUMP PUMP
UF	UNDERSIDE FOOTING ELEVATION	—	WATER SERVICE	✉	COMMUNITY MAILBOX
BF	FIN. BASEMENT FLOOR SLAB	—		⊠	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
TFW	TOP OF FOUNDATION WALL	—	—	→	SWALE DIRECTION
UFR	UNDERSIDE FOOTING AT REAR	—	—	3:1	EMBANKMENT 3:1 SLOPE
UFF	UNDERSIDE FOOTING AT FRONT	—	—	⊙	THIS LOT CONTAINS ENGINEERED FILL
MBE	MINIMUM BASEMENT ELEVATION	—	—	⊙	RLCB LEAD PRESENT CAUTION WHEN EXCAVATING
WOB	WALK OUT BASEMENT	—	—	—	RETAINING WALL
WUB	WALK UP BASEMENT	—	—	—	PRIVACY FENCE (SEE ENG. DWG.)
REV	REVERSE PLAN	—	—	—	ACOUSTICAL FENCE (SEE ENG. DWG.)
△	EXTERIOR DOOR LOCATION	—	—	—	CHAIN LINK FENCE (SEE ENG. DWG.)
○	SIDE WINDOW LOCATION	—	—	—	GAS TRENCH LINE
○	FLOOR DRAIN	—	—	—	
□	AIR CONDITIONER	—	—	—	
RYU	REAR YARD UPGRADE	—	—	—	
SYU	SIDE YARD UPGRADE	—	—	—	

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY:

DATE: NOV 16, 2020

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LICENSED PROFESSIONAL ENGINEER

K. B. DEMMINGS

SCHAEFFERS AND ASSOCIATES

DATE: NOV 30, 2020

I, Louis Pantaleo, review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5. of Division C, of the Building Code.

Individual BCIN: 22445

ZONING INFORMATION - LOT 90	R2*185	No. A/050/20
BUILDING HEIGHT (11.00m max.)		10.70m
LOT FRONTAGE		12.50m
LOT AREA		314.60m <sup>2</sup>
PROPOSED COVERAGE		148.09m <sup>2</sup> (47.07%)
FRONT YARD AREA		52.58m <sup>2</sup>
SOFT LANDSCAPE AREA (23% min.)		16.32m <sup>2</sup> (31.04%)

## Treasure Hill

1-1681 Langstaff Road, Vaughan, Ontario L4K 5T3  
T: 416-987-5500 • F: 905-326-3600

Project Name:  
**ARANCIA INVESTMENT CORP.  
MARKHAM, ONT.**

Sheet Title:  
**SITING & GRADING PLAN  
REGISTERED PLAN No: 65M-4573  
LOT: 90**

Date: NOV. 12/20	Drawn by: TP	Scale: 1:250
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