

Memorandum to the City of Markham Committee of Adjustment

January 26, 2021

File: A/139/20
Address: 10 Ridley Crescent, Markham
Applicant: V Architect Inc.
Agent: V Architect Inc.
Hearing Date: Wednesday February 17, 2021

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following Ninth Density Single-Residential (R9) zone requirements of By-law 90-81, as amended, as it relates to the enclosure of an existing basement walkout on the subject property. The variance requested is as follows:

a) By-law 90-81, Section 6.1.2(b)

A minimum side yard setback of 0.70 m (2.3 ft); whereas the By-law requires a maximum of 1.2 m (4 ft).

BACKGROUND

Property Description

The 476.50 m² (5,129.01 ft²) subject property is located on the west side of Ridley Crescent, south of 14th Avenue and east of Markham Road. The property is located within a residential neighbourhood comprised of two-storey detached dwellings. There is an existing 160.22 m² (1,724.59 ft²) two-storey detached dwelling on the property, which according to assessment records was constructed in 1999. The surrounding area is characterized by existing low-rise residential development.

Previous Variance Approval (A/125/17)

The Committee of Adjustment approved a minor variance in 2017 (A/125/17) to permit an encroachment of 0.67 m (2.2 ft) into the required interior side yard setback for unenclosed stairs. The Owner is proposing to enclose these stairs, which requires approval of another variance. A second variance is required because, for the purpose of zoning, the enclosed stairs are interpreted to be part of the building, whereas unenclosed stairs are an encroachment.

Proposal

As noted the applicant is proposing to enclose the existing basement walkout along the south side of the existing dwelling and is requesting a reduced side yard setback to permit this structure (See Appendix A).

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential – Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street.

Zoning By-Law 90-81

The subject property is zoned Ninth Density Single-Residential (R9) under By-law 90-81, as amended, which permits one single detached dwelling. The proposed development does not comply with the by-law requirements for maximum side yard setback.

Staff note that the submitted plans do not show an accessory unit within the basement. The applicant has advised staff that they do not intend to occupy the basement as an accessory unit, and are not proposing a variance to permit one through this application. The applicant has been informed that additional zoning approval is required to permit an accessory unit should it be added in the future.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on September 9, 2020 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Reduced Side Yard Setback

The applicant is requesting a minimum side yard setback of 0.70 m (2.3 ft) for the one-storey portion of the dwelling, whereas the by-law requires a minimum side yard setback of 1.2 m (4 ft) for the one-storey portion of the dwelling. This is a reduction of 0.5 m (1.64 ft). The reduced side yard setback is entirely attributable to the enclosure of an existing basement walkout, which spans approximately 3.99 m (13.1 ft) of the side of the dwelling and is approximately 2.8 m (9.2 ft) tall. Engineering staff have reviewed the application and have no concern with the setback regarding drainage. Staff are of the opinion that the requested variance is appropriate.

PUBLIC INPUT SUMMARY

No written submissions were received as of January 18, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

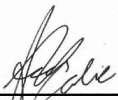
CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, East District

REVIEWED BY:




Stephen Corr, Senior Planner, East District

File Path: Amanda\File\ 20 136175 \Documents\District Team Comments Memo

APPENDIX "B"
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/108/20

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.


CONDITIONS PREPARED BY:

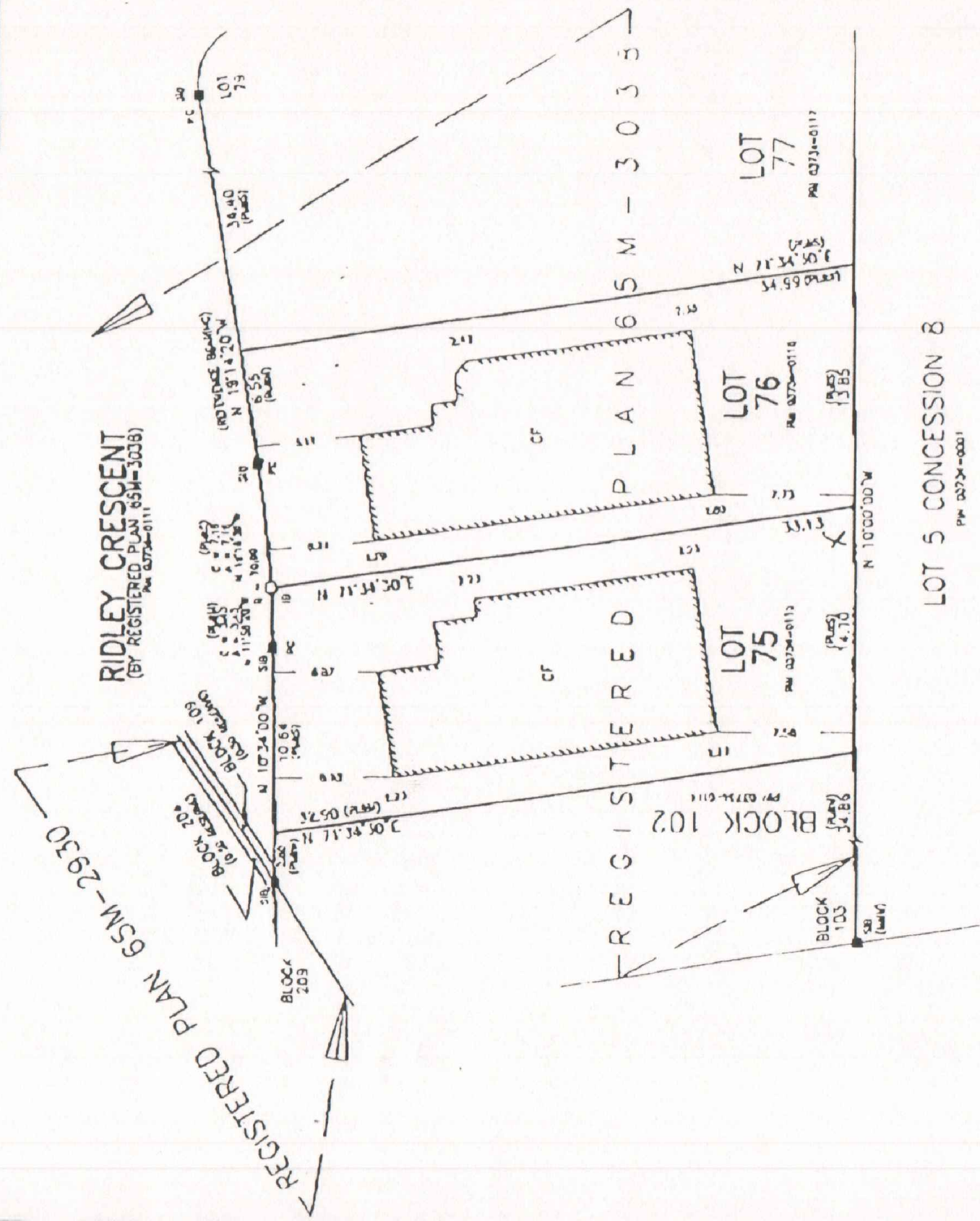


Aqsa Malik, Planner, East District

REAL PROPERTY REPORT
 PLAN OF
LOTS 75 AND 76
REGISTERED PLAN 65M-3038
TOWN OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
SCALE 1:300
P. SALNA CO. LTD., O.L.S.

METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO
 FEET BY DIVIDING BY 0.3048

**ASSOCIATION OF ONTARIO
 LAND SURVEYORS**
 PLAN SUBMISSION FORM
1245055

 THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 102a, Section 26(3).



PART 2) SURVEY REPORT
 REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
 NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED
 COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
 DWELLING COMPLIES WITH MUNICIPAL ZONING
 BY-LAW SETBACK REQUIREMENTS.

NOTE: **ALL** DOCUMENTS
 BY ONTARIO SURVEYORS LTD., O.L.S.
 UNLESS OTHERWISE SHOWN

THIS REPORT WAS PREPARED FOR
 1127209 ONT. LTD. (PENNY HILL ESTATES, MARKHAM)
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES

NOTES AND LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- DENOTES STANDARD IRON BAR
- DENOTES IRON BAR
- DENOTES WITNESS
- DENOTES UNKNOWN
- DENOTES P.SALNA COMPANY LTD., O.L.S.
- DENOTES SET
- DENOTES MEASURED BY P.SALNA CO.LTD., O.L.S.
- DENOTES POINT OF CLIMATE
- DENOTES POINT OF REVERSE CURVATURE
- DENOTES CONCRETE FOUNDATION WALLS
- DENOTES TOP OF WALL ELEVATION
- DENOTES GAUGE SILL ELEVATION
- DENOTES REGISTERED PLAN 65M-3038
- DENOTES 2 STOREY BRICK DWELLING
- DENOTES MARSHALL MACKLIN MORGAN LTD., O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THIS SURVEY WAS COMPLETED ON THE
 10th DAY OF MAY 1998

JUNE 8, 1998 DATE
 FUZAIL SIDDIGI
 ONTARIO LAND SURVEYOR

BEARING NOTE:
 BEARINGS ARE ASTROMOMIC AND ARE
 DERIVED FROM THE WESTERLY
 LIMIT OF RIDLEY CRESCENT
 AS SHOWN ON REGISTERED PLAN 65M-3038
 HAVING A BEARING OF N 19°14'20" W

P.SALNA CO.LTD.
ONTARIO LAND SURVEYORS
 10225 YONGE STREET, RICHMOND
 L4C 3B2
 PHONE:(905)884-3988 FAX:(905)884-3982
 DRAWN BY: NATMAN
 CHECKED BY: SRI

Appendix A
 File: 20.136175.000.00.MNV
 Date: 02/12/21
 MM/DD/YY

- INDEX SHEET:
- A0 SURVEY
 - A1 COVER PAGE & SITE PLAN
 - A2 BASEMENT FLOOR PLAN
 - A3 GROUND FLOOR PLAN
 - A4 SECOND FLOOR PLAN
 - A5 FRONT ELEVATION
 - A6 SIDE ELEVATION
 - A7 BACK ELEVATION
 - A8 SIDE ELEVATION
 - A9 SECTION A-A
 - A10 SECTION B-B
 - A11 UNDERPINNING
 - A12 WALL SECTION DETAIL

SCOPE OF WORK:

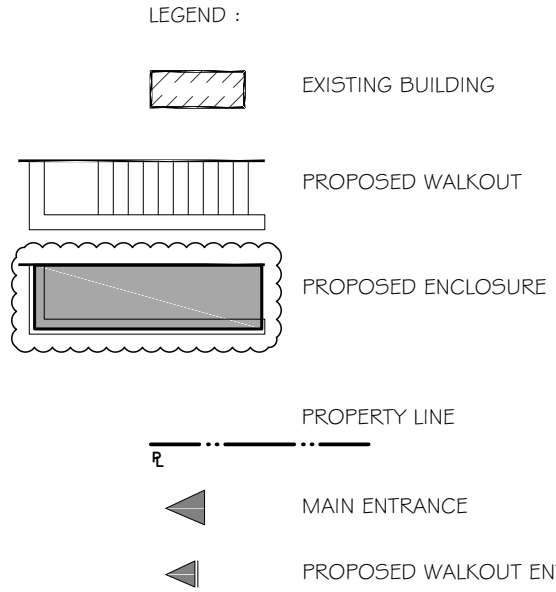
WALKOUT ENCLOSURE,
AREA OF WORK 4.85m²

10 Ridley Crescent, Markham, ON L3S 3P8

Subject to Revision Permit No: 17 178730 000 00 HP

REVISED PAGES:

- A-1
- A-2
- A-3
- A-4
- A-5
- A-6
- A-7
- A-9
- A-10



SURVEY INFORMATION:

SURVEY INFORMATION TAKEN FROM:
P.SALNA Co.LTD.
DONE ON: JUNE 1st, 1968
LOT NUMBER: 75
REGISTERED PLAN: G5M-3038
CITY OF MARKHAM

SITE STATISTICS:

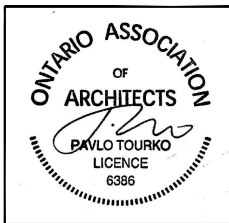
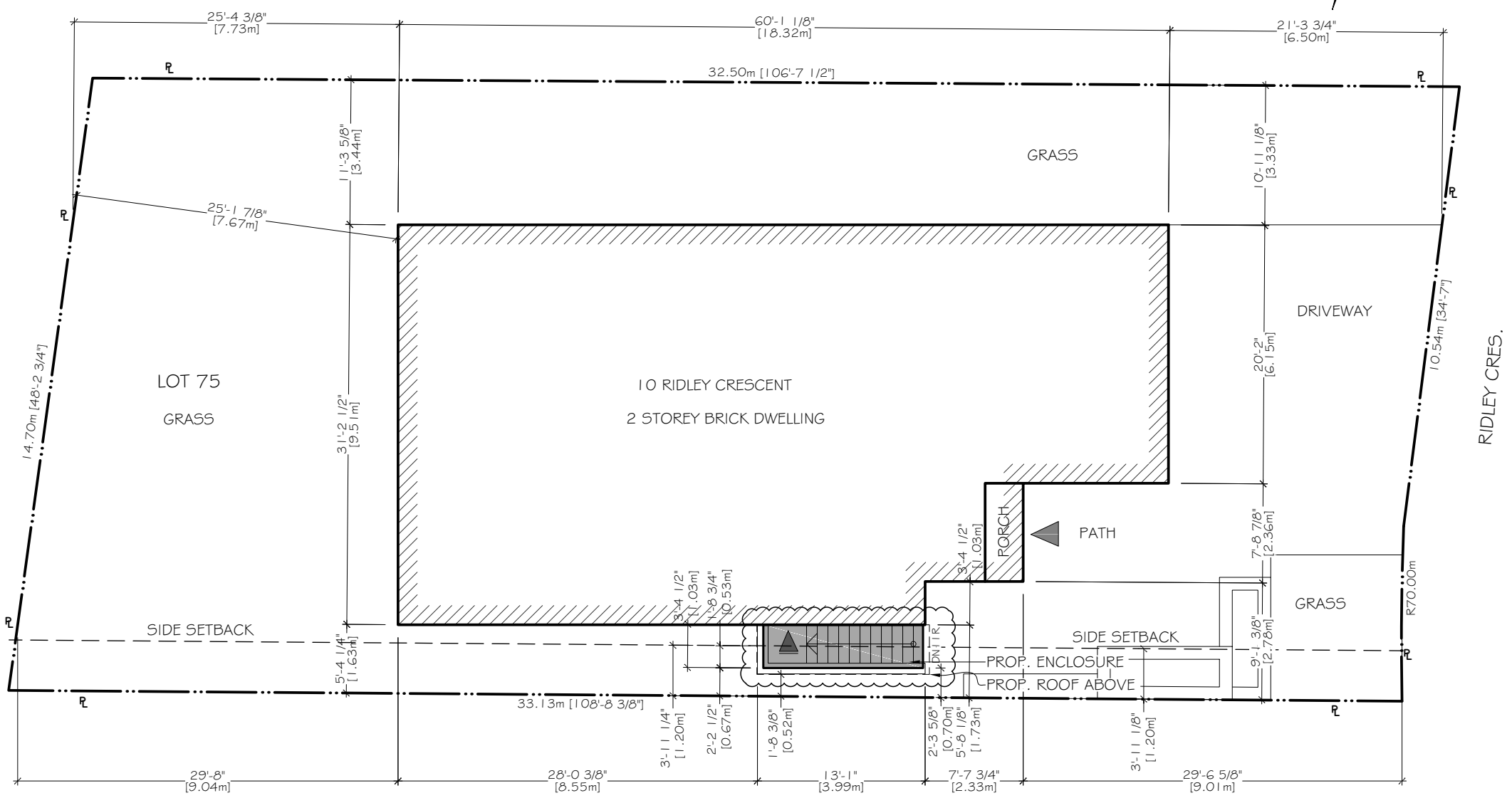
LOT AREA = 5129.01ft² (476.50m²)
EXISTING FOOT PRINT = 1724.64ft² (160.22m²) 33.6%
PROPOSED WALKOUT = 50.15ft² (4.66m²) 9.3%

Appendix A

File: 20.136175.000.00.MNV

Date: 02/12/21

MM/DD/YY



CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS REMAIN THE PROPERTY OF THE OWNER AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT.

Project Name:
Residence
10 Ridley Cres.
Walkout Enclosure

Location:
10 Ridley Crescent,
Markham, ON



Scale :
3/32" = 1'-0"

Date :
May 2017

Revision: 2

Date :
Aug. 2020

Drawing Title :
COVER PAGE & SITE PLAN

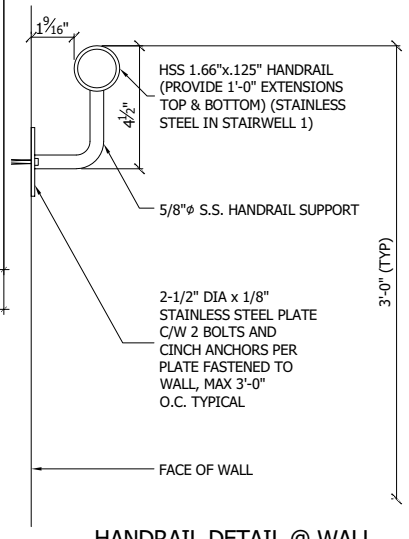
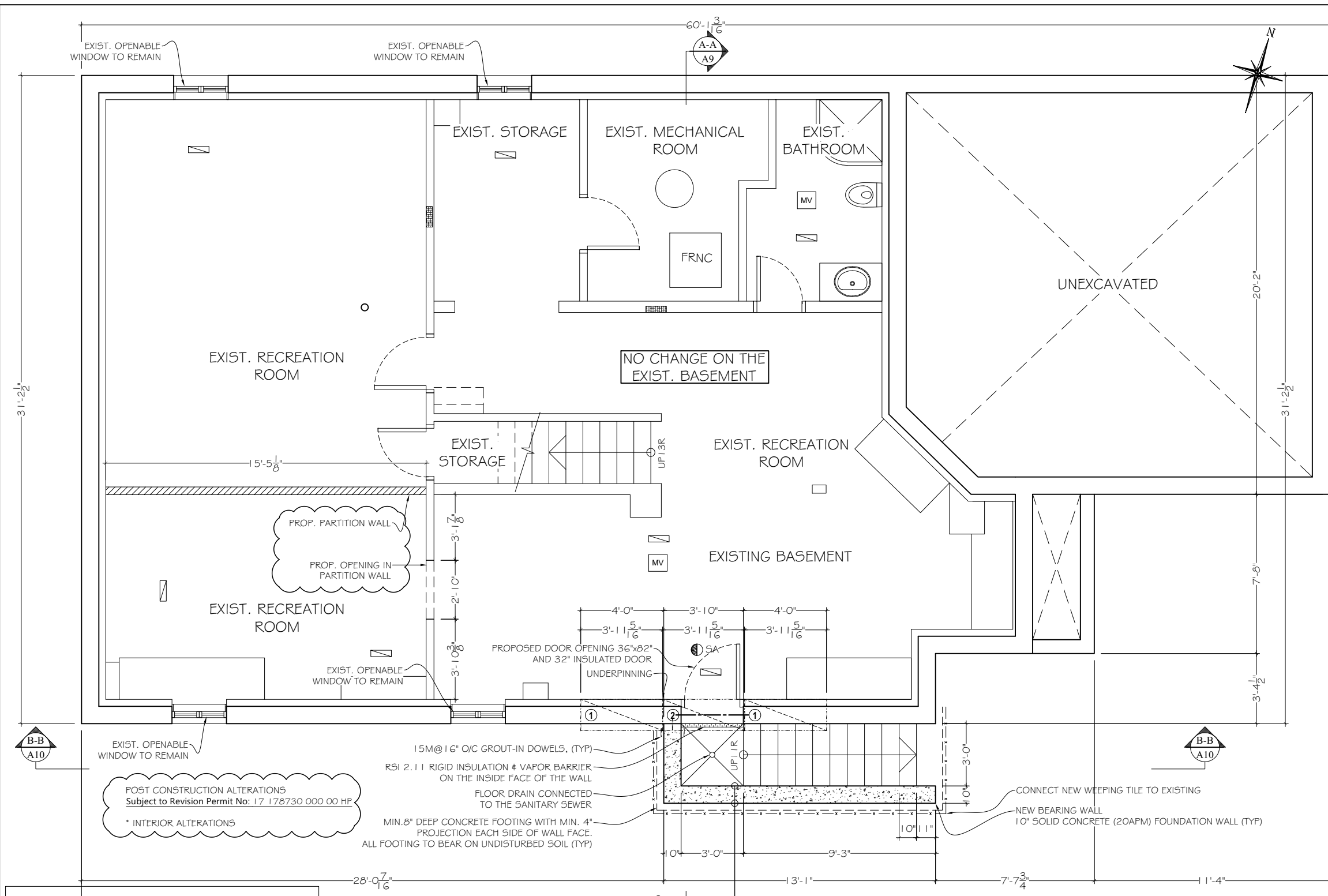
Project No.
RI - 10

Drawing No.
A - 1

Appendix A

File: 20.136175.000.00.MNV

Date: 02/12/21
MM/DD/YY



LEGEND:

EXISTING EXTERIOR & INTERIOR WALL	
EXISTING EXTERIOR & INTERIOR WALL	
PROPOSED INTERIOR WALL	
EXISTING PARTITION WALL TO BE DEMOLISHED	
SMOKE DETECTOR / CO DETECTOR COMBINATION DEVICE INTERCONNECTED	
EXISTING HVAC OUTLET	
EXISTING AIR RETURN	
EXHAUST	

STEP FOOTINGS
MAX. VERTICAL RISE BETWEEN HORIZONTAL PORTIONS: (2'-0") FOR FIRM SOIL, (1'-4") FOR SAND OR GRAVEL. MIN. HORIZONTAL DISTANCE BETWEEN RISERS (2'-0").

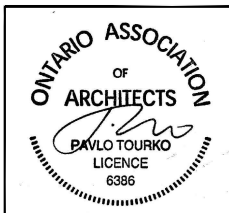
WEEPING TILE
4" DIAMETER WEEPING TILE AROUND ALL FOOTINGS INCLUDING GARAGE FOOTINGS. WEEPING TILE TO BE COVERED WITH (6") OF CRUSHED STONE.

EXTERIOR HANDRAIL / GUARDS
GUARD HEIGHT OF 36" IF TOP OF DESK EXCEEDS 24" ABOVE GRADE OR 42" IF TOP OF DESK EXCEEDS 5' 11". GUARD SHALL BE NON-CLIMBABLE AND VERTICAL BALUSTERS SHALL BE SPACED NO MORE THAN 4" APART. PROVIDE HANDRAILS ON STAIRS IF THERE ARE MORE THAN 3 RISERS. WOOD GUARD POSTS TO BE A MINIMUM 4"x4"@48" (SOLID).

NON-INSUL. NEW FNDN. WALL TYP.
18"W x 8"DP CONC. FTG. MIN. 4" PROJECTION EACH SIDE OF WALL FACE, (REINFORCED) 2-15M BARS 1" ABOVE FTG.
U/S ON BEARING UNDISTURBED SOIL MIN. 75 KPa CW WEEPING TILE
10" CONC. BLOCK OR 32 MPa POUR CONC., WATERPROOFED, SEE DETAIL A12

FOOTINGS
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 75MPa AND MUST BE MIN (4'-0") BELOW FINISHED GRADE, AND CONTINUOUSLY KEYS. CONCRETE FOR FOOTINGS SHALL BE MIN. 15MPa AT 28 DAYS. BACKFILL REQUIRED WITH NON-FROST SUSCEPTIBLE SOIL. THE OWNER SHALL BE RESPONSIBLE FOR SOIL REPORT IF REQUIRED.

FOUNDATION WALL
BITUMINOUS DAMPROOFING APPLIED TO SURFACE OF CONCRETE BLOCK FOUNDATION WALL (THICKNESS OF WALLS AS SHOWN ON FLOOR PLANS). BLK WALL TO BE A MIN. OF (6") ABOVE THE APPROVED FINISHED GRADES. LATERAL SUPPORT: (2 X 6) SILL PLATE ANCHORED WITH (1/2") DIA. ANCHOR BOLTS (6") LOG MIN. SET 4" INTO CONCRETE AT 6'-0" O/C MAX. ALL FOUNDATION WALLS EXCEEDING (6'-0") ARE TO BE REINFORCED WITH 10M BARS @ 8" O.C. CW SOLID GROUT FOUNDATION WALLS TO BE ADEQUATELY BRACED PRIOR TO BACKFILLING. OR
NOTE: FOUNDATIONS MAYBE BE 10" POURED CONCRETE WALL, REFER TO SECTION 9.15.4.1 OF THE O.B.C. 91 FOR REQUIREMENTS AND REFER TO TABLE 9.15.4.1



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Project Name:
Residence
10 Ridley Cres.
Walkout Enclosure

Location:
10 Ridley Crescent,
Markham, ON



Scale : 3/16"=1'-0"
Date : May 2017
Revision: 2
Date : Aug. 2020

Drawing Title :
BASEMENT FLOOR PLAN

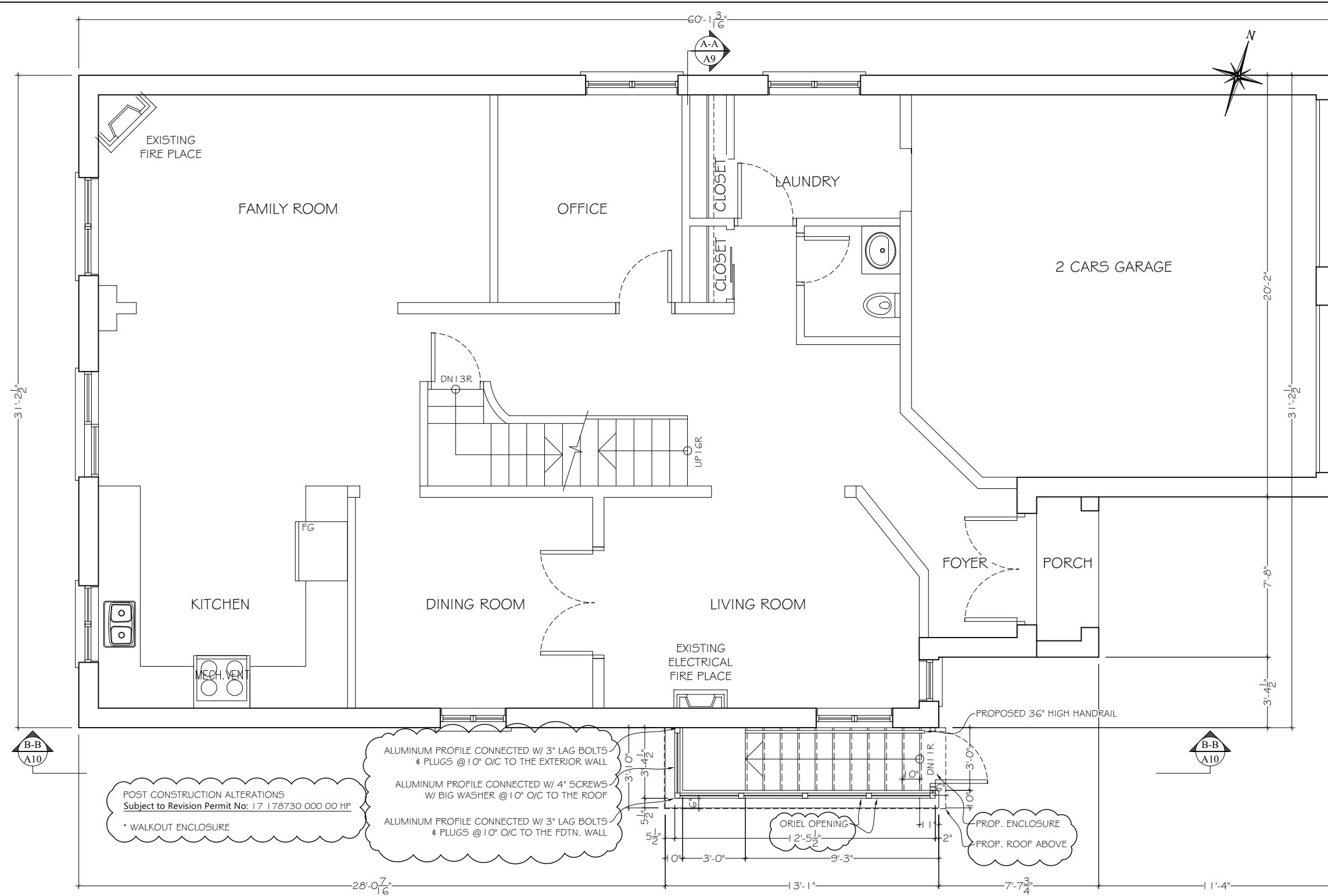
Project No.
Ri - 10

Drawing No.
A - 2

Appendix A

File: 20.136175.000.00.MNV

Date: 02/12/21
MM/DD/YY



POST CONSTRUCTION ALTERATIONS
Subject to Revision Permit No: 17 178730 000 00 HP
* WALKOUT ENCLOSURE

ALUMINUM PROFILE CONNECTED W/ 3" LAG BOLTS & PLUGS @ 10" O/C TO THE EXTERIOR WALL

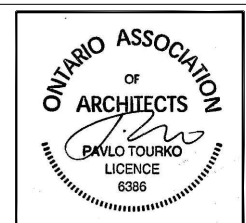
ALUMINUM PROFILE CONNECTED W/ 4" SCREWS W/ BIG WASHER @ 10" O/C TO THE ROOF

ALUMINUM PROFILE CONNECTED W/ 3" LAG BOLTS & PLUGS @ 10" O/C TO THE FDTN. WALL

LEGEND:
EXISTING EXTERIOR & INTERIOR WALL

EXTERIOR HANDRAIL / GUARDS
GUARD HEIGHT OF 36" IF TOP OF DESK EXCEEDS 24" ABOVE GRADE OR 42" IF TOP OF DESK EXCEEDS 5' 11". GUARD SHALL BE NON-CLIMBABLE AND VERTICAL BALUSTERS SHALL BE SPACED NO MORE THAN 4" APART. PROVIDE HANDRAILS ON STAIRS IF THERE ARE MORE THAN 3 RISERS. WOOD GUARD POSTS TO BE A MINIMUM 4"X4"@48" (SOLID).

EXTERIOR STAIRS
RISE: 4 7/8" (124mm) MINIMUM 7 7/8" (200mm) MAXIMUM
RUN: 9" (229mm) MINIMUM 14" (356mm) MAXIMUM
TREAD: 9 7/8" (251mm) MINIMUM 14" (356mm) MAXIMUM
AN EQUIVALENT BACK SLOPE ON THE RISE MAY BE ADDED TO OBTAIN THE MINIMUM TREAD WIDTH OF 9 7/8" (251mm)



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Scale: 3/16"=1'-0"
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Revision: 2
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Drawing Title:
GROUND FLOOR PLAN

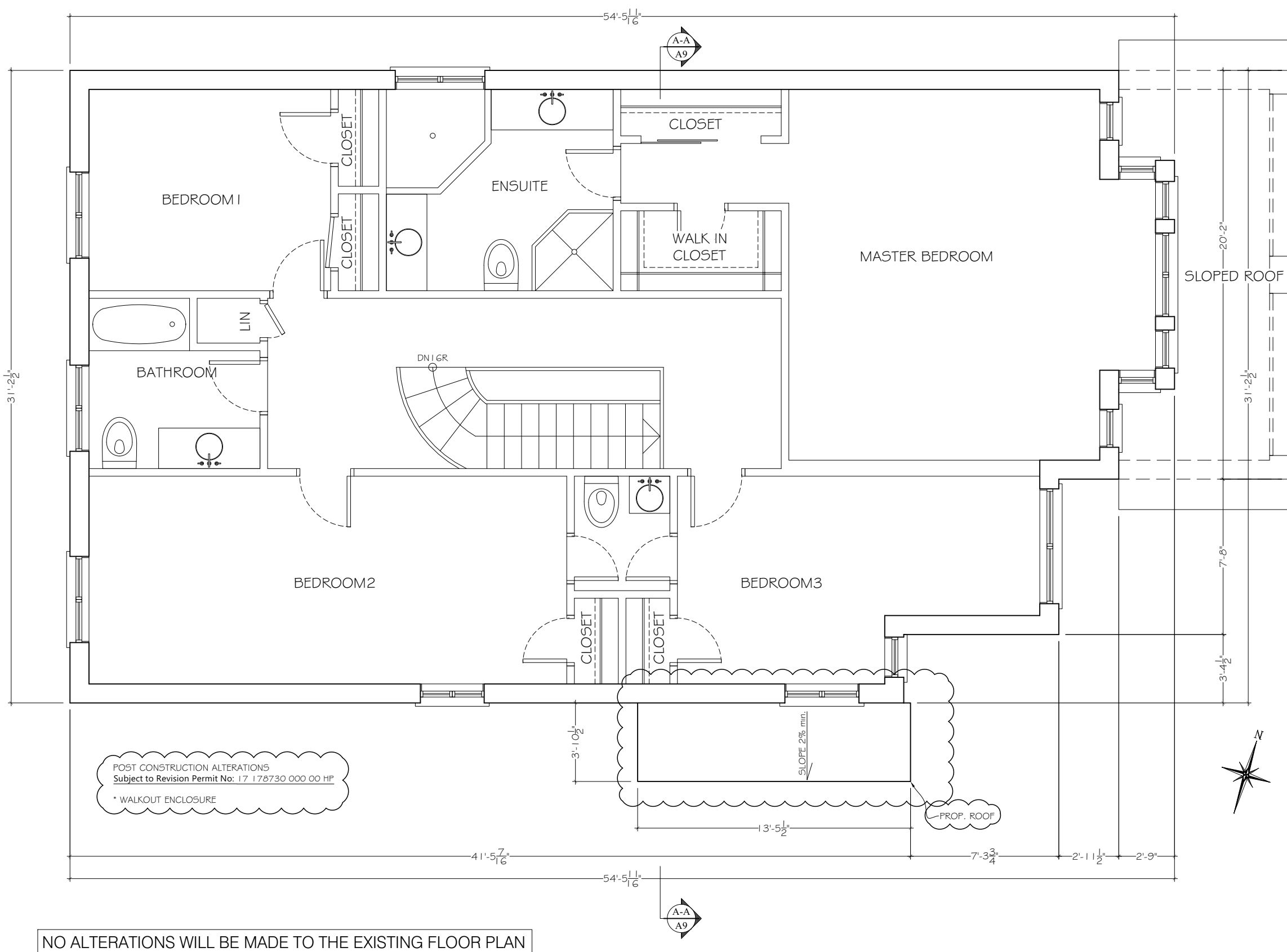
Project No.
Ri - 10

Drawing No.
A - 3

Appendix A

File: 20.136175.000.00.MNV

Date: 02/12/21
MM/DD/YY

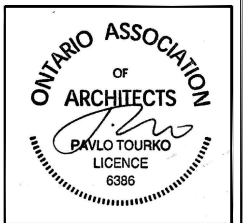


POST CONSTRUCTION ALTERATIONS
Subject to Revision Permit No: 17 178730 000 00 HF
* WALKOUT ENCLOSURE

NO ALTERATIONS WILL BE MADE TO THE EXISTING FLOOR PLAN

EXISTING WALL

Drawing Title :
SECOND FLOOR PLAN FOR REFERENCE ONLY



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Markham, ON



Scale :
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Aug. 2020

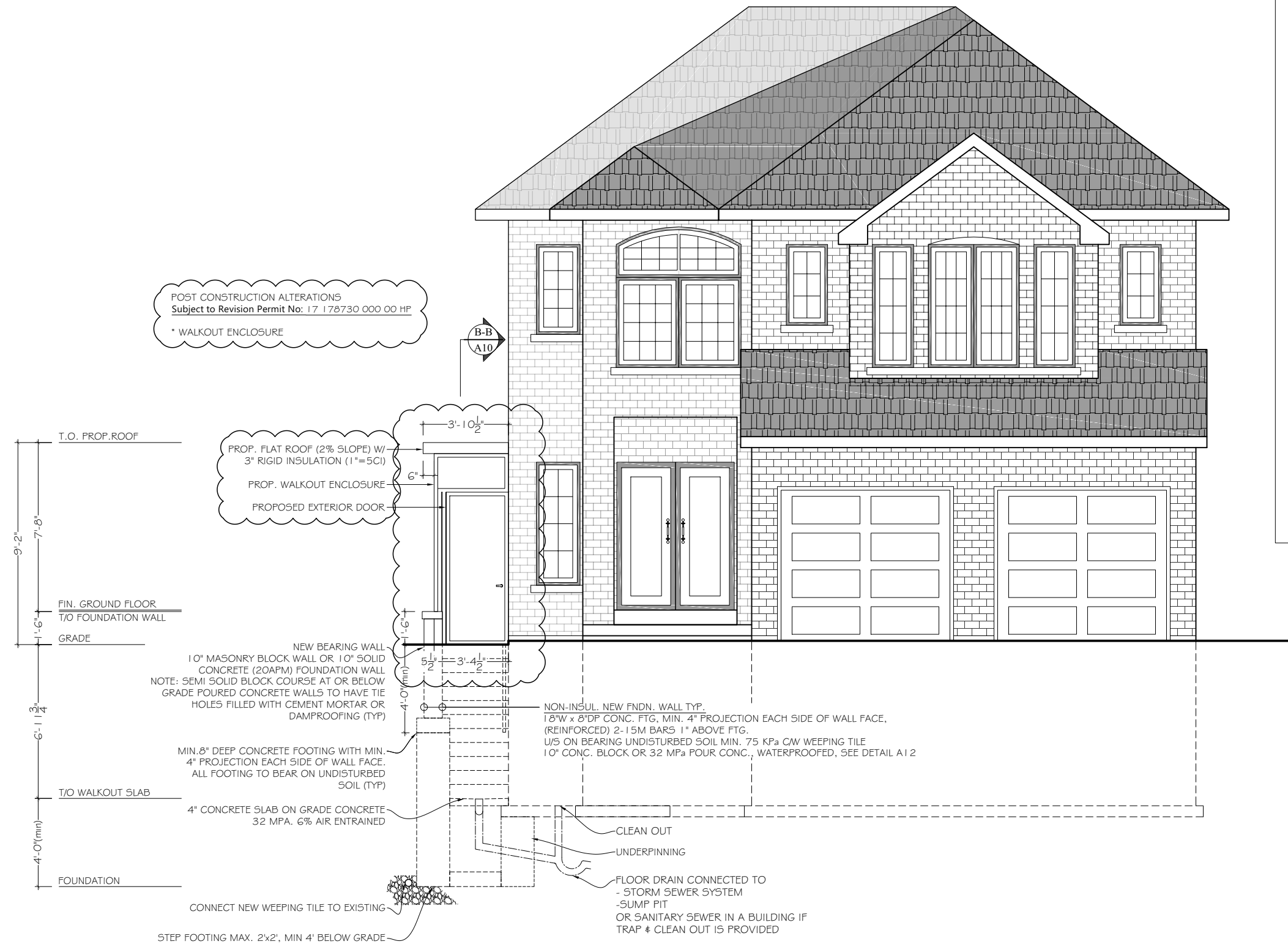
Project No.
Ri - 10

Drawing No.
A - 4

Appendix A

File: 20.136175.000.00.MNV

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POST CONSTRUCTION ALTERATIONS
Subject to Revision Permit No: 17 178730 000 00 HP
* WALKOUT ENCLOSURE

PROP. FLAT ROOF (2% SLOPE) W/
3" RIGID INSULATION (1"=5C1)
PROP. WALKOUT ENCLOSURE
PROPOSED EXTERIOR DOOR

NEW BEARING WALL
10" MASONRY BLOCK WALL OR 10" SOLID
CONCRETE (20APM) FOUNDATION WALL
NOTE: SEMI SOLID BLOCK COURSE AT OR BELOW
GRADE POURED CONCRETE WALLS TO HAVE TIE
HOLES FILLED WITH CEMENT MORTAR OR
DAMP-PROOFING (TYP)

MIN. 8" DEEP CONCRETE FOOTING WITH MIN.
4" PROJECTION EACH SIDE OF WALL FACE.
ALL FOOTING TO BEAR ON UNDISTURBED
SOIL (TYP)

4" CONCRETE SLAB ON GRADE CONCRETE
32 MPA, 6% AIR ENTRAINED

CONNECT NEW WEEPING TILE TO EXISTING

STEP FOOTING MAX. 2x2', MIN 4' BELOW GRADE

NON-INSUL. NEW FNDN. WALL TYP.
18"W x 8"DP CONC. FTG, MIN. 4" PROJECTION EACH SIDE OF WALL FACE,
(REINFORCED) 2-15M BARS 1" ABOVE FTG.
U/S ON BEARING UNDISTURBED SOIL MIN. 75 KPa CW WEEPING TILE
10" CONC. BLOCK OR 32 MPA POUR CONC., WATERPROOFED, SEE DETAIL A1 2

CLEAN OUT
UNDERPINNING
FLOOR DRAIN CONNECTED TO
- STORM SEWER SYSTEM
- SUMP PIT
OR SANITARY SEWER IN A BUILDING IF
TRAP & CLEAN OUT IS PROVIDED



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DOCUMENTS REMAIN THE
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Scale :
3/16" = 1'-0"

Date :
May 2017

Revision: 2

Date :
Aug. 2020

Drawing Title :
FRONT (EAST) ELEVATION

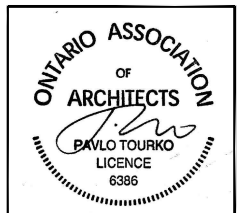
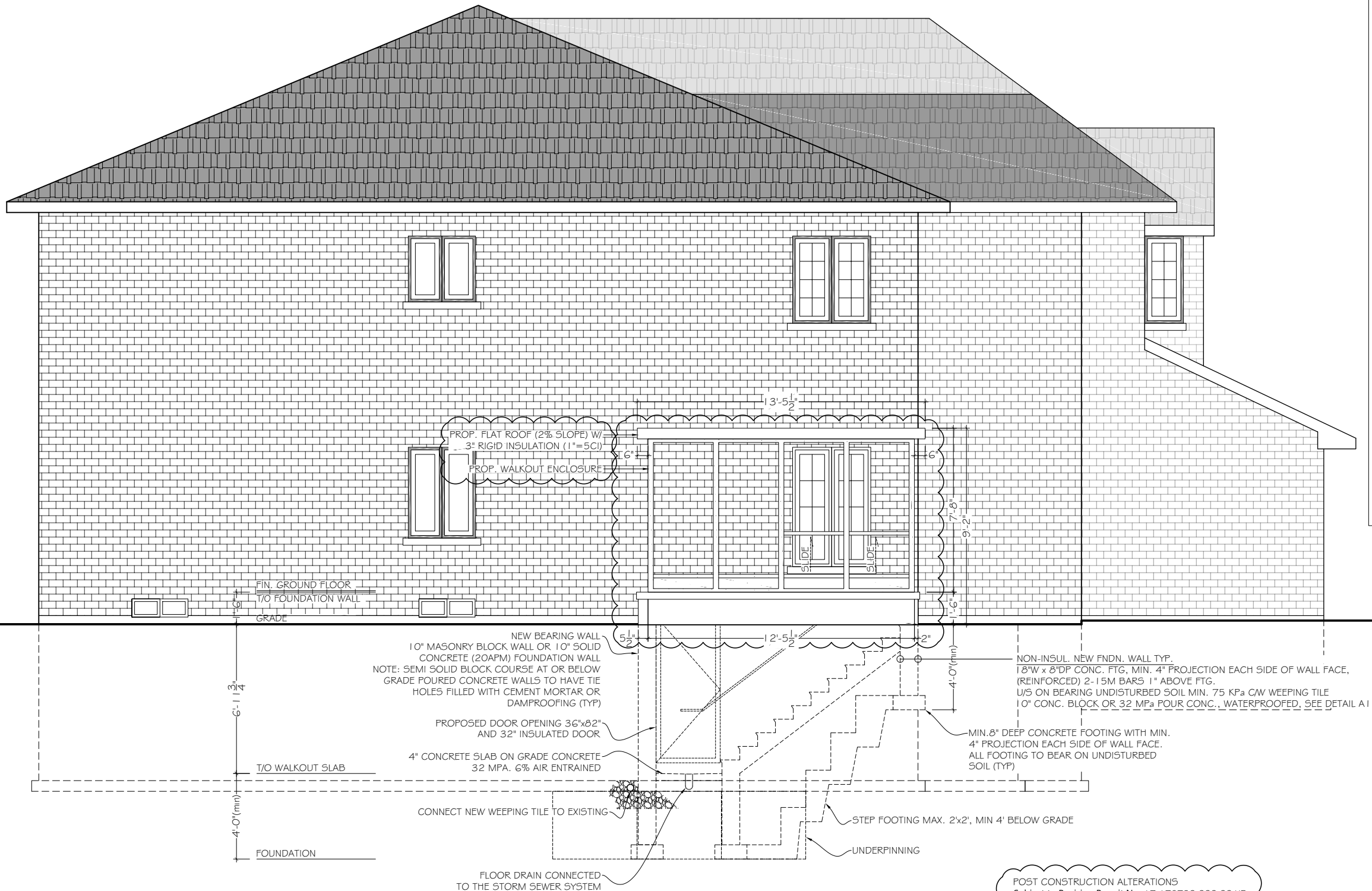
Project No.
RI - 10

Drawing No.
A - 5

Appendix A

File: 20.136175.000.00.MNV

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Scale :
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Date :
May 2017

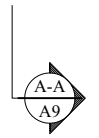
Revision: 2
Date :
Aug. 2020

Drawing Title :
SIDE (SOUTH) ELEVATION

Project No.
RI - 10

Drawing No.
A - 6

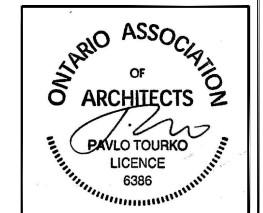
POST CONSTRUCTION ALTERATIONS
Subject to Revision Permit No: 17 178730 000 00 HF
* WALKOUT ENCLOSURE



Appendix A

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May 2017

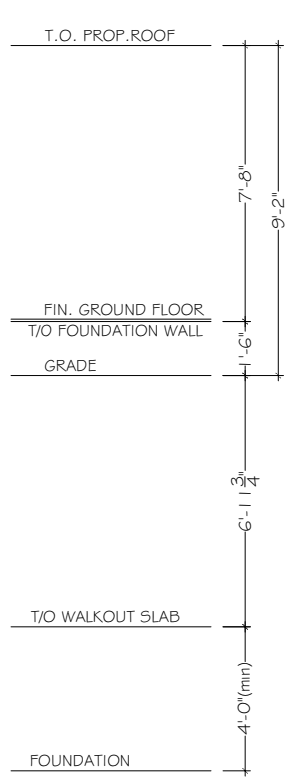
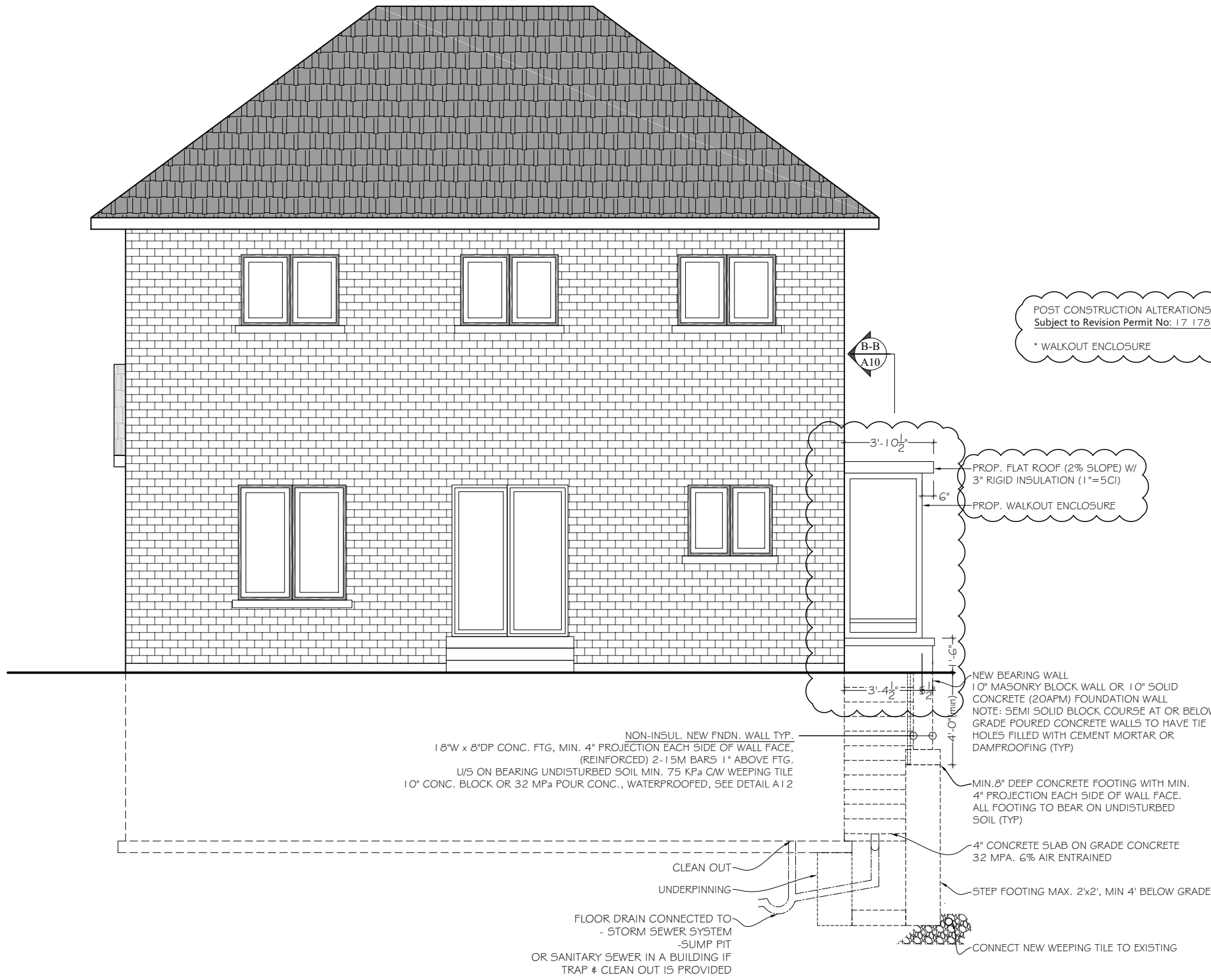
Revision: 2

Date :
Aug. 2020

Drawing Title :
BACK (WEST) ELEVATION

Project No.
RI - 10

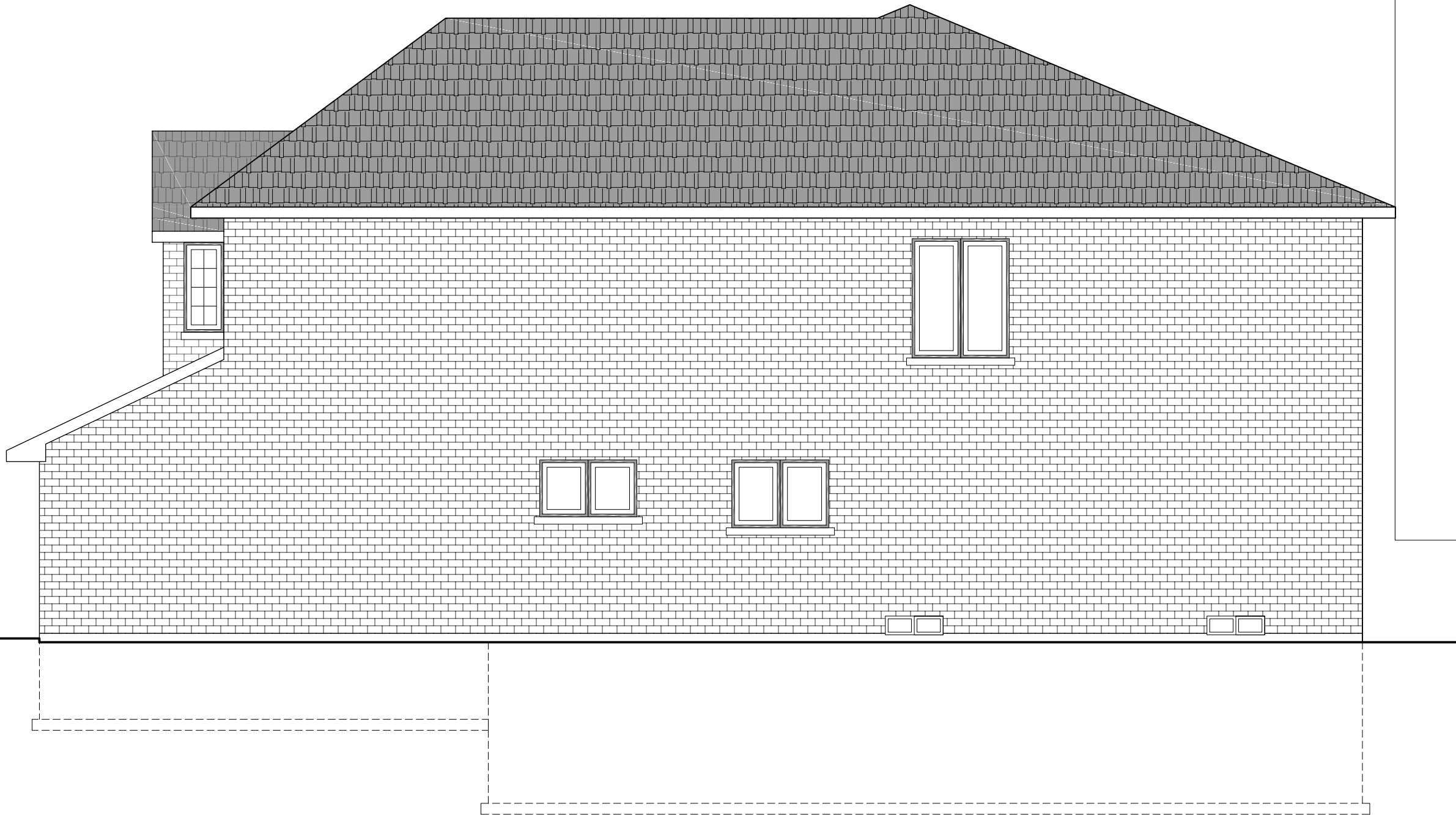
Drawing No.
A - 7



Appendix A

File: 20.136175.000.00.MNV

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NO ALTERATIONS WILL BE MADE TO THE EXISTING ELEVATION



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10 Ridley Crescent,
Markham, ON



Scale : 3/16" = 1'-0"
Date : May 2017

Revision: 2
Date : Aug. 2020

Drawing Title :
SIDE (NORTH) ELEVATION FOR REFERENCE ONLY

Project No.
Ri - 10

Drawing No.
A - 8

FOOTINGS

ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 75MPa AND MUST BE MIN (4'-0") BELOW FINISHED GRADE, AND CONTINUOUSLY KEYED. CONCRETE FOR FOOTINGS SHALL BE MIN. 15MPa AT 28 DAYS. BACKFILL REQUIRED WITH NON-FROST SUSCEPTIBLE SOIL. THE OWNER SHALL BE RESPONSIBLE FOR SOIL REPORT IF REQUIRED.

FOUNDATION WALL

BITUMINOUS DAMPROOFING APPLIED TO SURFACE OF CONCRETE BLOCK FOUNDATION WALL (THICKNESS OF WALLS AS SHOWN ON FLOOR PLANS). BLK WALL TO BE A MIN. OF (6") ABOVE THE APPROVED FINISHED GRADES. LATERAL SUPPORT: (2 X 6) SILL PLATE ANCHORED WITH (1/2") DIA. ANCHOR BOLTS (6") LOG MIN. SET 4" INTO CONCRETE AT 6'-0" O/C MAX. ALL FOUNDATION WALLS EXCEEDING (6'-0") ARE TO BE REINFORCED WITH 10M BARS @ 8" O.C. C/W SOLID GROUT FOUNDATION WALLS TO BE ADEQUATELY BRACED PRIOR TO BACKFILLING. OR NOTE: FOUNDATIONS MAY BE 10" POURED CONCRETE WALL, REFER TO SECTION 9.15.4.1 OF THE O.B.C. 9.1 FOR REQUIREMENTS AND REFER TO TABLE 9.15.4.1

STEP FOOTINGS

MAX. VERTICAL RISE BETWEEN HORIZONTAL PORTIONS: (2'-0") FOR FIRM SOIL, (1'-4") FOR SAND OR GRAVEL. MIN. HORIZONTAL DISTANCE BETWEEN RISERS (2'-0").

WEEPING TILE

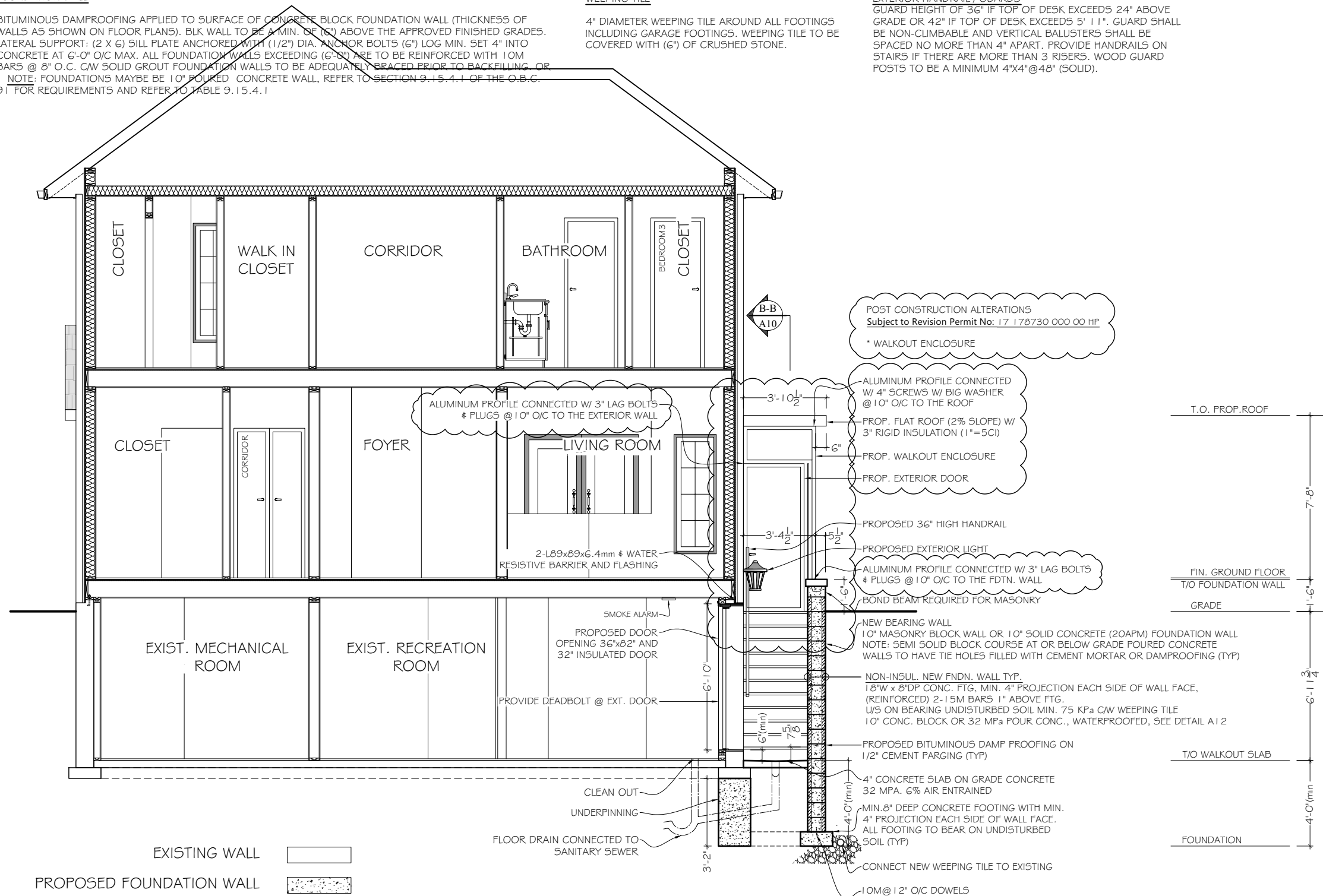
4" DIAMETER WEEPING TILE AROUND ALL FOOTINGS INCLUDING GARAGE FOOTINGS. WEEPING TILE TO BE COVERED WITH (6") OF CRUSHED STONE.

EXTERIOR STAIRS

RISE: 4 7/8" (124mm) MINIMUM 7 7/8" (200mm) MAXIMUM
 RUN: 9" (229mm) MINIMUM 14" (356mm) MAXIMUM
 TREAD: 9 7/8" (251mm) MINIMUM 14" (356mm) MAXIMUM
 AN EQUIVALENT BACK SLOPE ON THE RISE MAY BE ADDED TO OBTAIN THE MINIMUM TREAD WIDTH OF 9 7/8" (251mm)

EXTERIOR HANDRAIL / GUARDS

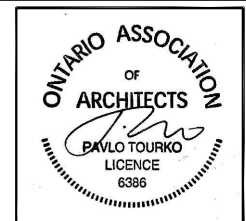
GUARD HEIGHT OF 36" IF TOP OF DESK EXCEEDS 24" ABOVE GRADE OR 42" IF TOP OF DESK EXCEEDS 5' 11". GUARD SHALL BE NON-CLIMBABLE AND VERTICAL BALUSTERS SHALL BE SPACED NO MORE THAN 4" APART. PROVIDE HANDRAILS ON STAIRS IF THERE ARE MORE THAN 3 RISERS. WOOD GUARD POSTS TO BE A MINIMUM 4"x4"@48" (SOLID).



Appendix A

File: 20.136175.000.00.MNV

Date: 02/12/21
 MM/DD/YY



CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS TO THE OWNER BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED. CONTRACT DOCUMENTS REMAIN THE PROPERTY OF THE OWNER AND SHALL BE RETURNED UPON COMPLETION OF THE PROJECT.

Project Name:
 Residence
 10 Ridley Cres.
 Walkout Enclosure

Location:
 10 Ridley Crescent,
 Markham, ON



Scale: 3/16"=1'-0" Date: May 2017

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Drawing Title:
SECTION A-A

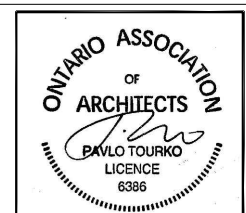
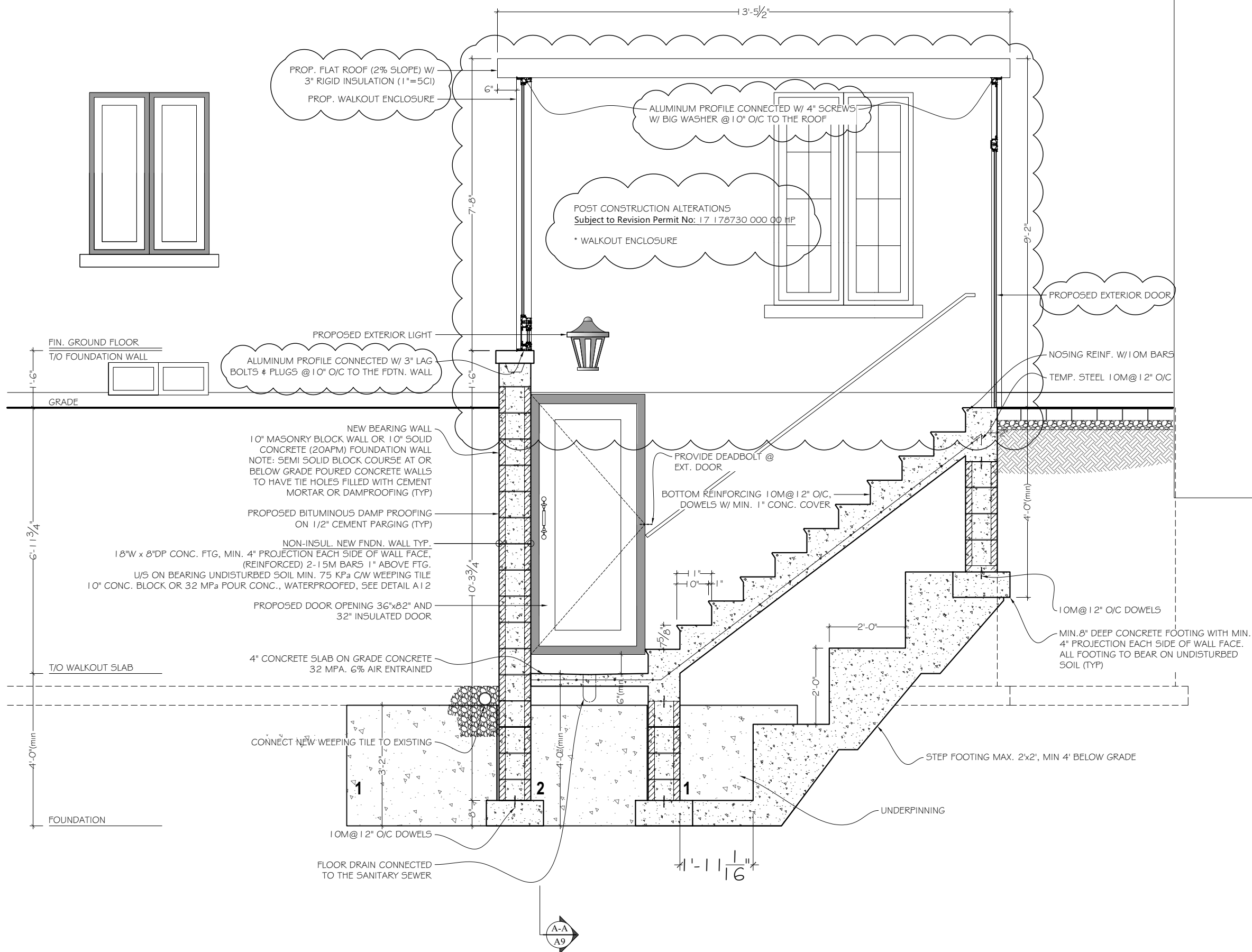
Project No.
Ri - 10

Drawing No.
A - 9

Appendix A

File: 20.136175.000.00.MNV

Date: 02/12/21
MM/DD/YY



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Location:
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Markham, ON



Scale: 3/8"=1'-0"
Date: May 2017

Revision: 2
Date: Aug. 2020

Drawing Title:
SECTION B-B

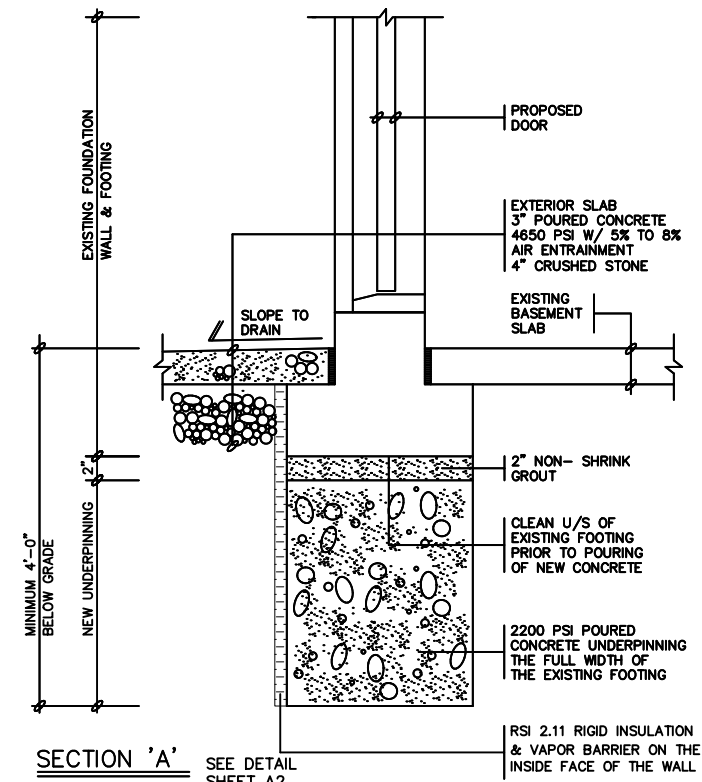
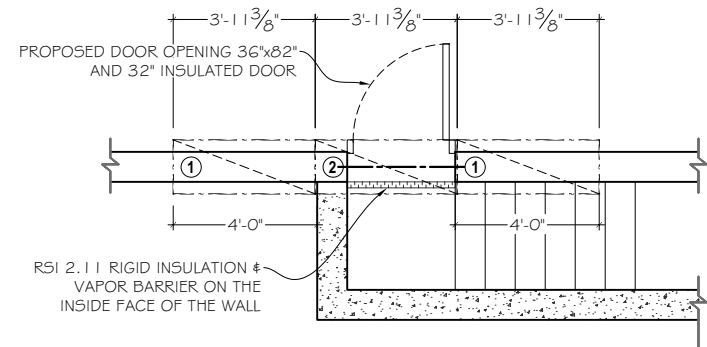
Project No.
Ri - 10

Drawing No.
A - 10

Appendix A

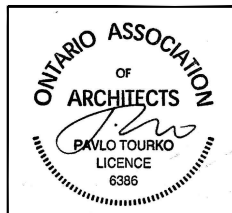
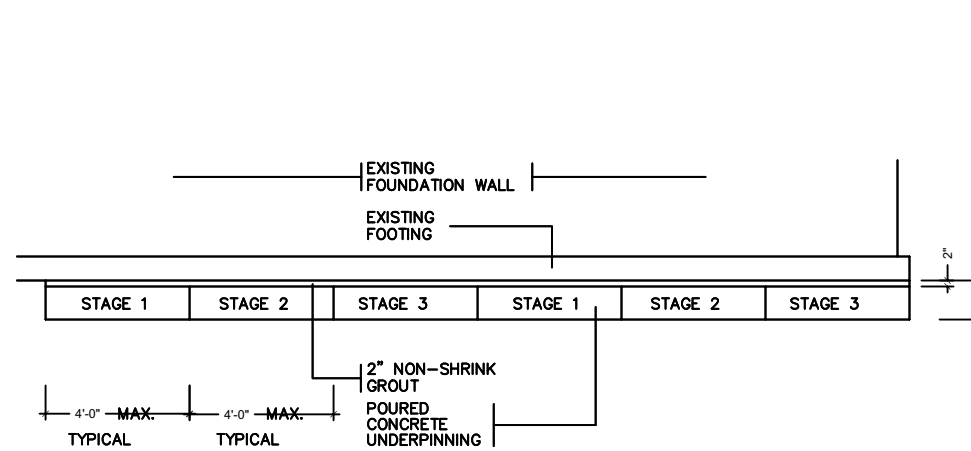
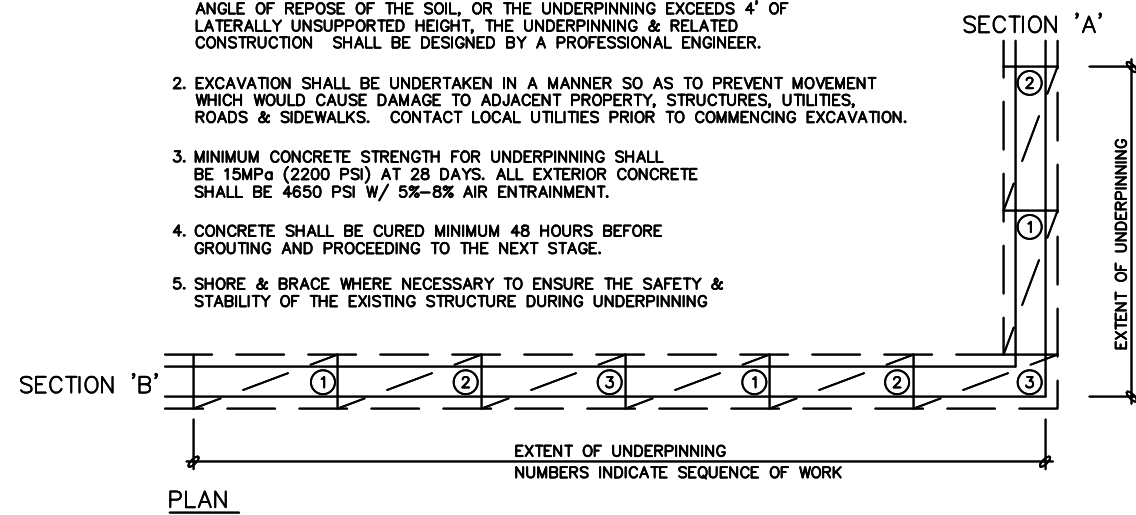
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GENERAL NOTES

- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING & WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 4' OF Laterally UNSUPPORTED HEIGHT, THE UNDERPINNING & RELATED CONSTRUCTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- MINIMUM CONCRETE STRENGTH FOR UNDERPINNING SHALL BE 15MPa (2200 PSI) AT 28 DAYS. ALL EXTERIOR CONCRETE SHALL BE 4650 PSI W/ 5%-8% AIR ENTRAINMENT.
- CONCRETE SHALL BE CURED MINIMUM 48 HOURS BEFORE GROUTING AND PROCEEDING TO THE NEXT STAGE.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING



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Scale : NTS
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Drawing Title :
UNDERPINNING

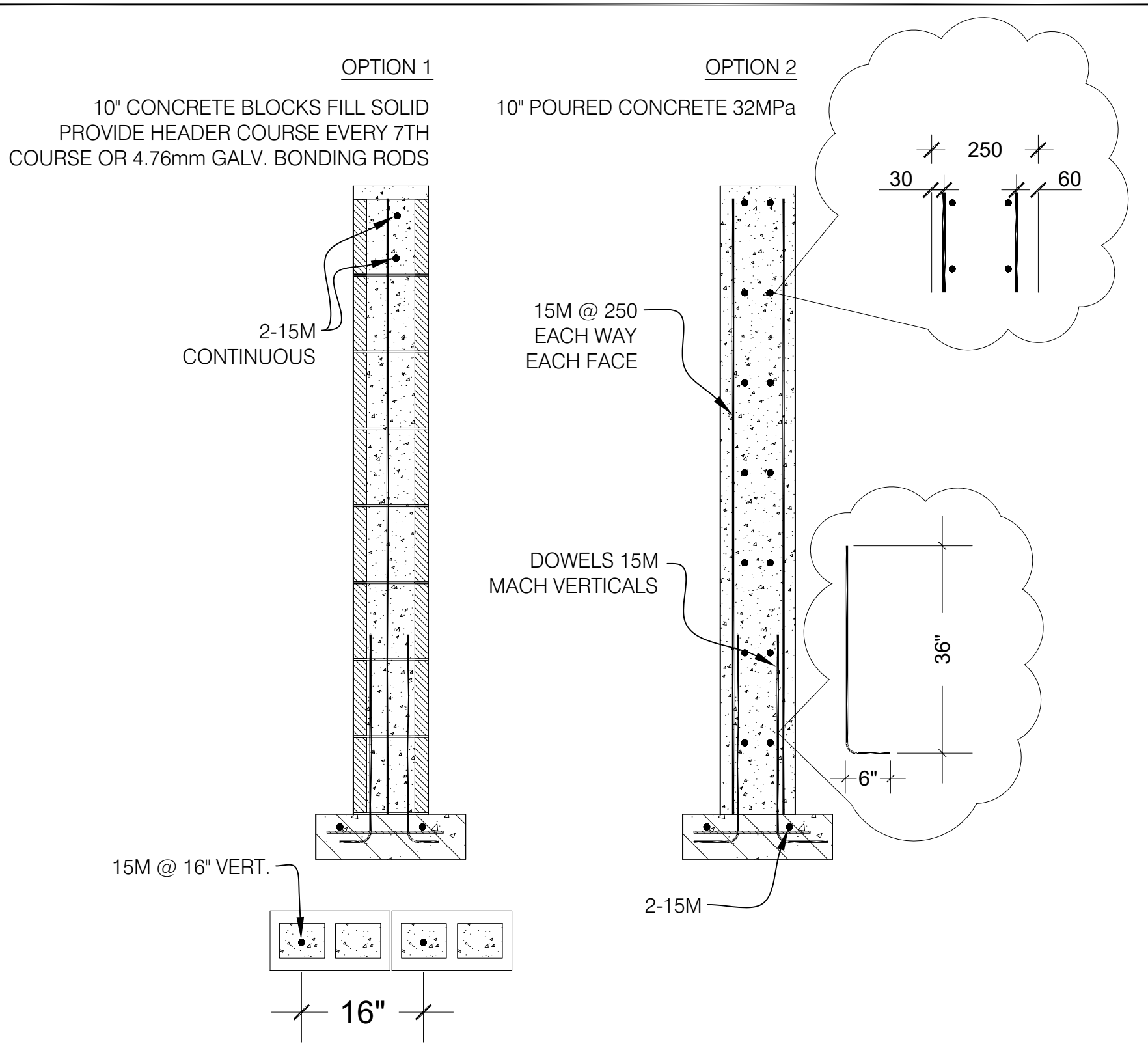
Project No.
Ri - 10

Drawing No.
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File: 20.136175.000.00.MNV

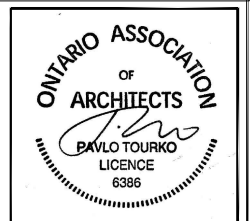
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Drawing Title :
WALL FOUNDATION DETAIL

Project No.
Ri - 10

Drawing No.
A - 12



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NTS

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Date :
Aug. 2020