

# Memorandum to the City of Markham Committee of Adjustment

March 4, 2021

**File:** A/143/20  
**Address:** 4592 & 4600 Highway 7 East  
**Agent:** RH Carter Architects Inc. (Phil Frederickson)  
**Hearing Date:** Wednesday March 10, 2021

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the following requirements of By-law 134-79 and, By-law 122-72 as amended, as it relates to a proposed motor vehicle sales and service facility. A sketch depicting the location of the requested variances on the proposed site plan has been prepared by the Applicant and is attached as Appendix "B".

- 1) **Amending By-law 261-86, Section 1.3(b)(vi):**  
a minimum required landscape open space of 4 metres immediately abutting Highway 7, whereas the by-law requires 6 metres;
- 2) **Amending By-law 93-81, Section 2(c)(vi)(a):**  
a minimum required landscape open space of 4 metres immediately abutting Highway 7, whereas the by-law requires 9 metres;
- 3) **Amending By-law 28-97, Section 3.0:**  
102 parking spaces, whereas the By-law requires 106 parking spaces.

## BACKGROUND

### Property Description and Area Context

The "subject properties" (4592 and 4600 Highway 7 East) are located on the north side of Highway 7, west of Kennedy Road. The subject properties have a combined area of approximately 0.81 hectares (2.01 acres) and a frontage of approximately 86 metres (282 feet) on Highway 7. The 4600 Highway 7 East property contains a building that was previously occupied by an automotive dealership (Village Luxury Cars). The 4592 Highway 7 East property contains a building of heritage significance (the Bewell Bungalow), where the building was previously occupied by a commercial operation (Enterprise rent-a-car). A landscape buffer with mature trees are located on the south portion of the properties, predominantly along the 4600 Highway 7 East frontage.

To the north are single detached homes, which front on Denby Crt., as well as key natural heritage and key hydrological features (Denby Valley). To the west and east are shopping plazas. To the south across Highway 7 is a gas station, an auto dealership, an auto service centre and, a Montessori School.

### Proposal

The proposed development is subject to a Site Plan Control application currently under review by City staff (File no. SPC 20 107969) for a new motor vehicle sales and service facility (Ford/Lincoln dealership) at 4592 and 4600 Highway 7 East. The applicant is proposing to demolish the existing automobile dealership building at 4600 Highway 7 East and replace it with a new automotive dealership building. The new building footprint

will encompass both properties (4592 and 4600 Highway 7 East). Through the site plan review process, the 4592 and 4600 Highway 7 East properties will be merged into one parcel of land, as a condition of site plan approval.

The new motor vehicle sales and service building is proposed to consist of the following:

- a) a two storey building, with a Gross Floor Area (GFA) of 4,759 m<sup>2</sup> (51,225ft<sup>2</sup>), consisting a motor vehicle sales and showroom, service department, parts room, motor vehicle storage, and office uses;
- b) a total of 102 parking spaces consisting of:
  - I. 97 regular spaces,
  - II. 5 barrier free spaces; and,
- c) Two separate right-in, right-out vehicular accesses from Highway 7 East

### **Heritage Building (The Bewell Bungalow)**

The “heritage building” (known as The Bewell Bungalow), located at 4592 Highway 7 East, will be retained as part of this overall development proposal. Research and evaluation was conducted by heritage staff and presented to Heritage Markham Committee on May 30<sup>th</sup> 2020, identifying that the building had not been significantly modified over the years (since its build in 1922) and, that it is not listed on the Markham Register of Property of Cultural Heritage Value or Interest. The 2014 Official Plan gives the opportunity to add properties to the Registry that warrant heritage consideration at any time. The bungalow was initially proposed by the applicant to be removed however, it was determined that the bungalow would not be impacted by the newly proposed development, driveway access, or the expansion of the Highway 7 right-of-way (as determined by York Region staff). From this assessment, Heritage Markham determined that the building does possess cultural heritage value to the Municipality. The applicant has since confirmed their intent to retain the heritage building, as result of further discussion and, given the fact that the heritage building has little impact on the development proposal.

Heritage Markham Committee had a subsequent meeting on January 26<sup>th</sup>, 2021 to discuss the development proposed as it relates to the requested Minor Variance Application. Recommendations resulting from this meeting concluded the following:

- that committee has no objection to the Minor Variance Application;
- that fees should be waived as the scope of the variance for the number of parking spaces would be reduced if Heritage Markham had not recommended that the heritage building be incorporated into the redevelopment; and,
- that Heritage Markham recommends the designation of the “Bewell Bungalow” under Part IV of the *Ontario Heritage Act* and that the applicant enter into a Heritage Conservation Easement Agreement with the City of Markham as a condition of approval of the Minor Variance Application.

However, Heritage staff has agreed with the applicant to not pursue the Heritage Easement Agreement as a condition of this Minor Variance Application through the Committee of Adjustment, but will recommend to Markham Council that it be a condition of site plan approval. As to the Heritage Designation of the property, staff will continue to recommend this as a condition of the variance approval through the Committee of Adjustment in part to recognize the value of the heritage resource and ensure its retention in the future (see Appendix “A”).

### **Official Plan**

The subject property is designated “Mixed Use Low Rise” and “Special Policy Area” in the 2014 Official Plan. The site specific zoning by-law pre-dates the current 2014 Official Plan designation and permits the automotive sales and service uses.

The “Special Policy Area” (SPA) designation applies on the subject lands at 4592 and a portion on 4600 Highway 7, including area and site specific policies under Section 9.19.7. The proposal satisfies the SPA development criteria of the 2014 Official Plan (as a continued use on the subject lands, which provides for suitable intensification that conforms with the Official Plan). Furthermore, the Toronto and Region Conservation Authority (TRCA) has indicated that they have no issues with the proposal as related to the Special Policy Area on the subject lands or with the proposed variances.

### **Zoning By-law 122-72 and Zoning By-Law 134-79, as amended**

The subject lands are split zoned “Special Commercial 3” (SC3) under By-law 122-72, as amended by By-law No. 261-86 (at 4592 Highway 7), and By-Law 134-79 as amended by By-Law 93-81(at 4600 Highway 7). Both site specific by-laws allow for automobile sales and service establishments as permitted uses. The applicant has applied to amend the minimum landscape open space setbacks abutting Highway 7 within site specific By-law No. 261-86 and By-Law 93-81. The proposed variances result from the current proposed development.

### **City of Markham Parking Standards By-law 28-97, as amended**

Section 3 of the City of Markham Parking Standards By-law 28-97 requires 106 parking spaces for this proposal. However, the applicant is proposing 102 parking spaces, with respect to the total net floor area of 2,650 m<sup>2</sup>.

### **Zoning Preliminary Review (ZPR)**

A Zoning Preliminary Review (ZPR) has been conducted (ZPR 19 135883). The Applicant has also received comments from the City’s Building Department through their Site Plan Approval circulation process and met with City Staff to confirm the variances required to facilitate the proposed development.

## **COMMENTS**

### **Requested Variances**

The proposed variances include relief to site-specific development standards pertaining minimum required landscape open space and parking.

#### a) Minimum required landscape open space

Variances 1 and 2 pertain to the minimum landscape open space abutting Highway 7 East. The proposed reduction of the minimum required buffer from 6 metres (at 4592 Highway 7) and 9 meters (at 4600 Highway 7) to 4 metres along both parcels provides sufficient separation distance from the proposed building development to Highway 7 East, with adequate space to accommodate the proposed parking, driveway and pedestrian access.

b) Parking

Variance 3 pertains to By-law 28-97, which requires a specified parking ratio based on total net floor area for 106 parking spaces. The applicant is proposing 102 parking spaces. The applicant has provided a Transportation Demand Management (TDM) plan as part of the submitted site plan application related to parking demand.

Transportation Planning staff have reviewed the TDM plan and deemed that it is satisfactory, concluding that given the proposed scale of parking variance and TDM measures in conjunction with the nature of the subject development, the proposed variance is acceptable. Also, as previously indicated, the scope of the variance for parking spaces would be reduced if the heritage building was not retained and incorporated into the redevelopment.

**The Four Tests**

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- 1) the variance must be minor in nature
- 2) the variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure
- 3) the general intent and purpose of the Zoning By-law must be maintained
- 4) the general intent and purpose of the Official Plan must be maintained

The proposed variances are minor in nature and represent minimal deviations from amending By-law 261-86, By-law 93-81, and By-law 28-97. Staff opines that the variances are desirable and facilitate a proposed development that respect its surrounding context by providing a similar built form and massing to those existing on adjacent lands. Staff further opines that the proposed variances meet the intent of both the Zoning By-law and the Official Plan, as the uses are permitted and the objective of providing for motor vehicle sales and service facility uses is maintained.

**PUBLIC INPUT SUMMARY**

Written submissions from two residents at 40 Denby Crt were received as of March 3, 2021, related to following comments/concerns:

- Privacy impacts on their property
- Building height impact on blocking sunlight
- Noise and pollution from the development

It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O.1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the Zoning By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



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Dimitri Pagratis, Senior Planner, Central District

REVIEWED BY:



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Sabrina Bordone, Senior Planner, Central District

File Path: Amanda\File\ 20 136436 \Documents\District Team Comments Memo

**Appendices:**

Appendix "A": Conditions of Approval

Appendix "B": Minor Variance Site Plan Sketch (4592 & 4600 7 Highway E)

Appendix "C": Plans

Appendix "D": Toronto and Region Conservation Authority Comment Letter (February 10, 2021)

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/143/20**

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as Appendix "C" to this Staff Report and received by the City of Markham on December 23, 2020, and that the Secretary Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled.
3. The designation of the Bewell Bungalow under Part IV of the Ontario Heritage Act.
4. That the applicant satisfies the requirements of the Toronto and Region Conservation Authority (TRCA), financial or otherwise, as indicated in their letter to the Secretary-Treasurer dated February 10, 2021 and attached as Appendix "D" to this Staff Report, to the satisfaction of the TRCA, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of TRCA.
5. That the applicant provide an independent legal opinion that the lots have been combined and are not separately conveyable.

CONDITIONS PREPARED BY:

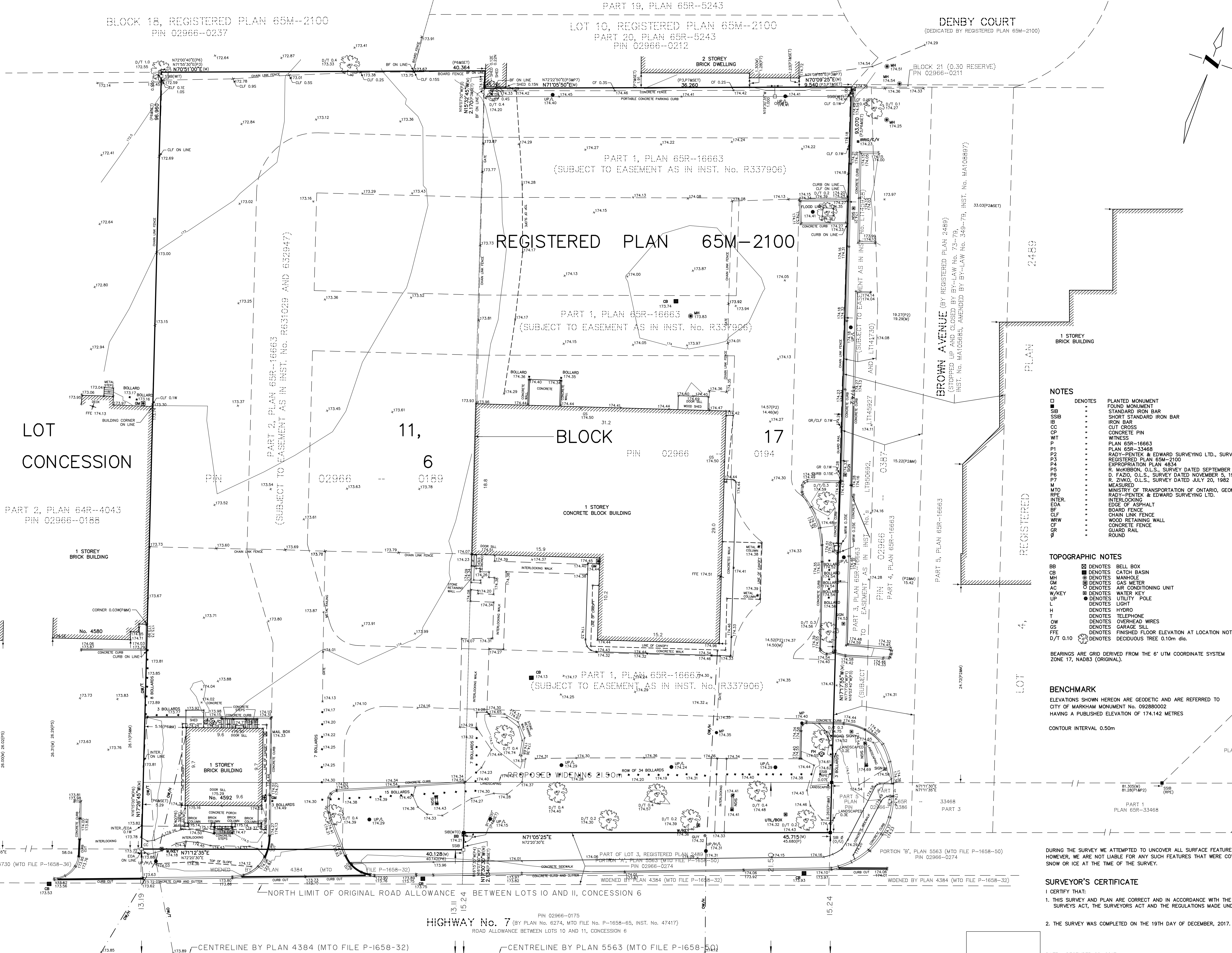


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Dimitri Pagratis, Senior Planner, Central District

METRIC: DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

TOPOGRAPHIC PLAN OF SURVEY OF  
BLOCK 17  
REGISTERED PLAN 65M-2100 AND  
PART OF LOT 11  
CONCESSION 6  
(GEOGRAPHIC TOWNSHIP OF MARKHAM)  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1:200  
© COPYRIGHT SCHAEFFER DZALDOV BENNETT LTD.



- NOTES**
- DENOTES PLANTED MONUMENT
  - DENOTES FOUND MONUMENT
  - DENOTES STANDARD IRON BAR
  - DENOTES SHORT STANDARD IRON BAR
  - DENOTES IRON BAR
  - DENOTES CUT CROSS
  - DENOTES CONCRETE PIN
  - DENOTES WIRE
  - DENOTES PLAN 65R-16663
  - DENOTES PLAN 65R-33468
  - DENOTES RADY-PENTEX & EDWARD SURVEYING LTD., SURVEY DATED MARCH 12, 2013
  - DENOTES REGISTERED PLAN 65M-2100
  - DENOTES EXPROPRIATION PLAN 4834
  - DENOTES R. MCKIBBIN, O.L.S., SURVEY DATED SEPTEMBER 22, 1986
  - DENOTES D. FADJO, O.L.S., SURVEY DATED NOVEMBER 5, 1974
  - DENOTES R. ZNKO, O.L.S., SURVEY DATED JULY 20, 1962
  - DENOTES MEASURED
  - DENOTES MINISTRY OF TRANSPORTATION OF ONTARIO, GEOMATICS SECTION
  - DENOTES RADY-PENTEX & EDWARD SURVEYING LTD.
  - DENOTES INTERLOCKING
  - DENOTES EDGE OF ASPHALT
  - DENOTES BOARD FENCE
  - DENOTES CHAIN LINK FENCE
  - DENOTES WOOD RETAINING WALL
  - DENOTES CONCRETE FENCE
  - DENOTES GUARD RAIL
  - DENOTES ROUND
- TOPOGRAPHIC NOTES**
- DENOTES BELL BOX
  - DENOTES CATCH BASIN
  - DENOTES MANHOLE
  - DENOTES GAS METER
  - DENOTES AIR CONDITIONING UNIT
  - DENOTES WATER KEY
  - DENOTES UTILITY POLE
  - DENOTES LIGHT
  - DENOTES HYDRO
  - DENOTES TELEPHONE
  - DENOTES OVERHEAD WIRES
  - DENOTES GARAGE SILL
  - DENOTES FINISHED FLOOR ELEVATION AT LOCATION NOTED ONLY
  - /7 0.10 DENOTES DECIDUOUS TREE 0.10m dia.
- BEARINGS ARE GRID DERIVED FROM THE 6' UTM COORDINATE SYSTEM ZONE 17, NAD83 (ORIGINAL).
- BENCHMARK**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF MARKHAM MONUMENT No. 092880002 HAVING A PUBLISHED ELEVATION OF 174.142 METRES  
CONTOUR INTERVAL 0.50m

DURING THE SURVEY WE ATTEMPTED TO UNCOVER ALL SURFACE FEATURES, HOWEVER, WE ARE NOT LIABLE FOR ANY SUCH FEATURES THAT WERE COVERED BY SNOW OR ICE AT THE TIME OF THE SURVEY.

**SURVEYOR'S CERTIFICATE**

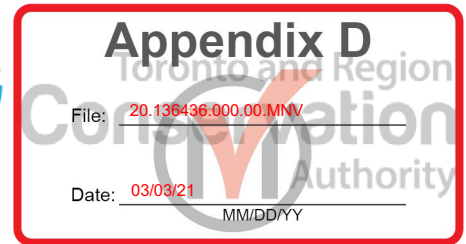
- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
  - THE SURVEY WAS COMPLETED ON THE 19TH DAY OF DECEMBER, 2017.

DATE : DECEMBER 22, 2017

OPHR N. DZALDOV  
ONTARIO LAND SURVEYOR

FLOOD LINE, REMOVED AND BUILDING DIMENSIONS ADDED ON AUG. 18, 2020

**SCHAEFFER DZALDOV BENNETT LTD.**  
ONTARIO LAND SURVEYORS  
84 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL.(416)987-0101  
CALC. WMF DRAWN ACAD/LW CHECKED WMF SCALE 1:200 JOB NO. 17-241-00  
DECEMBER 22, 2017



February 10, 2021

CFN: 64187.01  
XRef: 62554.02; 59017.13

**Uploaded to E-Plan**

Mr. Justin Leung  
Secretary-Treasurer  
Committee of Adjustment  
City of Markham  
101 Town Centre Blvd  
Markham, ON L3R 9W3

Dear Mr. Leung:

**Re: Minor Variance Application – A/143/20  
4592 and 4600 Highway 7, Unionville, City of Markham  
Owner: Southshore Investments Inc. – John Jamieson  
Applicant: RH Carter Architects Inc. – Phil Frederickson**

This letter acknowledges receipt of the submission of the above noted application (materials received digitally on January 26 and February 2, 2021 as per Appendix A). Toronto and Region Conservation Authority (TRCA) reviewed the materials relating to the above noted application and our comments are provided herein.

**Purpose  
A/146/20 (Minor Variance Application)**

The applicant is requesting relief from the requirements of By-law 134-79 and 122-72, as amended, as it relates to a new two-storey motor vehicle sales and service facility, to permit:

- a) By-law 261-86, Section 1.3(b)(vi): a 4 m landscaped open space, whereas the By-law permits 6 m;
- b) By-law 93-81, Section 2(c)(vi)(a): a 4 m landscaped open space, whereas the By-law permits 9 m;
- c) By-law 28-97, Section 3.0: 102 parking spaces, whereas the By-law requires 106 spaces;

**Applicable Policies and Regulations**

The TRCA provides our technical review comments through a number of roles. This includes TRCA's commenting role under the *Planning Act*; the Conservation Authority's delegated responsibility of representing the provincial interest of natural hazards encompassed by Section 3.1 of the Provincial Policy Statement (2020); TRCA's Regulatory Authority under Ontario Regulation 166/06, as amended (Development, Interference with Wetlands, and Alterations to Shorelines and Watercourses); and our Memorandum of Understanding (MOU) with the Region of York and local municipalities where we advise our municipal partners on matters related to Provincial Policies relevant to TRCA's jurisdiction.



### **Provincial Policy Statement (2020)**

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. According to subsections 3 (5) and (6) of the *Planning Act*, as amended, all planning decisions made by a municipality and all comments provided by the TRCA shall be consistent with the PPS.

Through a MOU between Conservation Ontario, the Ministry of Municipal Affairs and Housing, and the Ministry of Natural Resources and Forestry, the responsibility to uphold the natural hazards section of the PPS (Section 3.1) has been delegated to Conservation Authorities where the province is not involved.

Please be advised that a large portion of 4592 Highway 7 and small northwestern portion of 4600 Hwy 7 are located within the Unionville Special Policy Area (SPA) designated by the Province. The SPA designation recognizes areas within a community that have historically existed within the floodplain and where site-specific policies are intended to provide for the continued viability of existing uses. Please note, the provincially approved Unionville SPA policies in the City of Markham's Official Plan only apply to the areas identified within the Unionville SPA boundary.

### **Municipal Policies**

The TRCA has a MOU with York Region and the City of Markham wherein we provide plan review and technical expertise to assist the City in making decisions on planning applications in accordance with provincial and municipal policies concerning the natural environment (such as natural hazards, natural heritage, stormwater management, etc. as appropriate). As noted above, development within the Unionville SPA will need to conform with the provincially approved Unionville SPA policies in the City of Markham's Official Plan.

### **TRCA's Living City Policies**

The Living City Policies for Planning and Development in the Watersheds of the TRCA (LCP) is a TRCA policy document that guides the implementation of TRCA's legislated and delegated roles and responsibilities in the planning and development approvals process. The LCP describes a "Natural System" of water resources, natural features and areas, natural hazards, potential natural cover and/or buffers. TRCA policies generally require that areas within the "Natural System" be protected from development, site alteration and infrastructure. The LCP also provides policies for developing adjacent to, and in, the "Natural System" (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. For further information regarding TRCA's planning and permitting policies, please refer to Sections 7 and 8 of our LCP.

### **Ontario Regulation 166/06**

The *Conservation Authorities Act* provides the legal basis for TRCA's mandate to undertake watershed planning and management programs that prevent, eliminate, or reduce the risk to life and property from flood hazards and erosion hazards, as well as encourage the conservation and restoration of natural resources. Under the provisions of section 28 of the *Conservation Authorities Act*, TRCA administers Ontario Regulation 166/06 (Development, Interference with Wetlands and Alteration to Shorelines and Watercourses), as amended.

The subject lands are entirely within TRCA's Regulated Area under Ontario Regulation 166/06, as amended as they are within a Regulatory floodplain and adjacent to a valley corridor associated with the Rouge River Watershed. In accordance with Ontario Regulation 166/06 (Development, Interference with Wetlands and Alteration to Shorelines and Watercourses), a permit is required from the TRCA prior to any of the following works taking place:

- a) straightening, changing, diverting or interfering in any way with the existing channel of a river, creek, stream or watercourse, or for changing or interfering in any way with a wetland;
- b) development, if in the opinion of the Authority, the control of flooding, erosion, dynamic beaches or pollution or the conservation of land may be affected by the development.

Development is defined as:

- i. the construction, reconstruction, erection or placing of a building or structure of any kind;
- ii. any change to a building or structure that would have the effect of altering the use or potential use of the building or structure, increasing the size of the building or structure or increasing the number of dwelling units in the building or structure;
- iii. site grading, including the temporary or permanent placing, dumping or removal of any material, originating on the site or elsewhere.

### **Application-Specific Comments**

TRCA has been involved in reviewing the related Site Plan Application (SC 20 107969; CFN 62554.02). As part of this process, TRCA has been generally satisfied with the location and size of the proposed building and has provided our Conditions of Site Plan Approval in a letter dated January 29, 2021. It is our understanding that any remaining detailed design matters related to flood-proofing, stormwater management and erosion and sediment control will be addressed through the associated Site Plan and/or TRCA permit processes as appropriate. Given that the plans submitted for this Minor Variance Application are consistent with those reviewed by TRCA staff under the Site Plan application and that the proposed variances relate to landscaped open space and parking requirements, TRCA has no concerns with this Minor Variance Application.

### **Fees**

Please be advised that the TRCA has implemented a fee schedule for our planning application review services. A fee of \$1,100 is required (2018 TRCA Planning Fee Schedule – Industrial/Commercial - Minor Variance) for the review of this application. This fee must be provided to our office within 60 days of this letter. The applicant is advised to contact the undersigned to arrange payment.

### **Recommendation**

Based on our review, TRCA staff have no objections to this Minor Variance application subject to the following conditions:

1. That the applicant remit TRCA's review fee of \$1100 for the subject application;
2. That the applicant obtains a permit from the TRCA under Ontario Regulation 166/06, as amended, for the proposed works.

I trust these comments are of assistance. Should you have any additional questions or comments, please do not hesitate to contact the undersigned.

Sincerely,



Andrea Lam

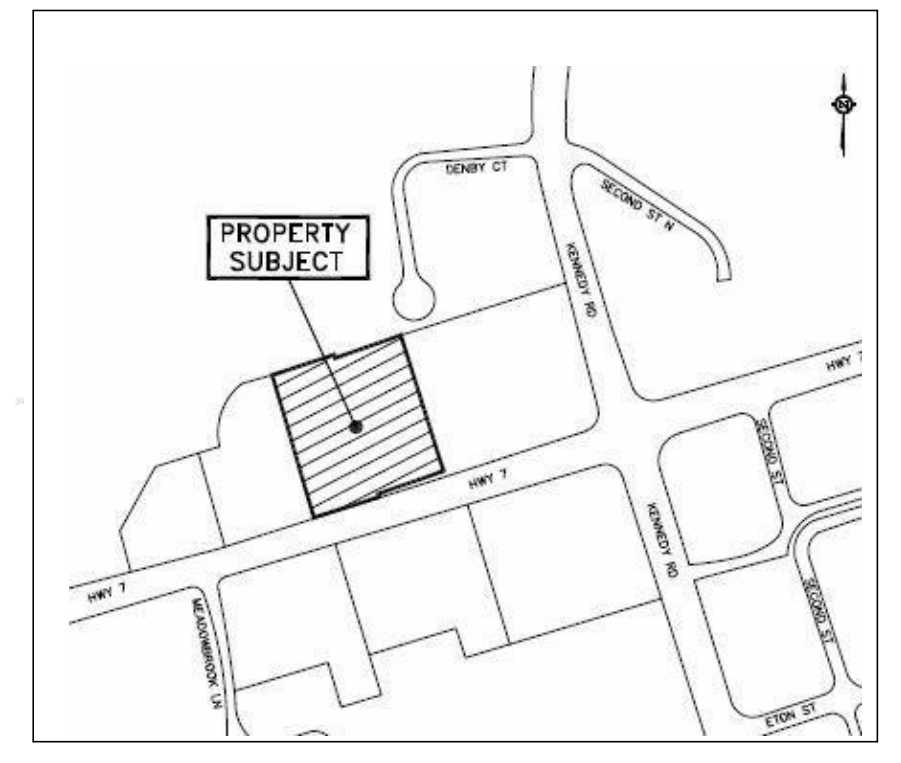
Planner I, Development Planning and Permits

[andrea.lam@trca.ca](mailto:andrea.lam@trca.ca)

extension 5306

### **Appendix A: Materials Received by TRCA**

- Topographic Survey Plan, prepared by Schaeffer Dzaldov Bennett Ltd., dated December 12, 2017;
- Drawing No. A1.00, Site Plan, prepared by R.H. Carter Architects Inc., print date December 21, 2020;
- Drawing No. A2.00, Ground Floor Plan, prepared by R.H. Carter Architects Inc., print date December 21, 2020;
- Drawing No. A2.01, Second Floor Plan, prepared by R.H. Carter Architects Inc., print date December 21, 2020;
- Drawing No. A3.00, Building Elevations, prepared by R.H. Carter Architects Inc., print date December 21, 2020;
- Drawing No. A3.01, Building Elevations, prepared by R.H. Carter Architects Inc., print date December 21, 2020;
- Drawing No. A3.02, Contour Elevations, prepared by R.H. Carter Architects Inc., print date December 21, 2020;



**SITE STATISTICS**

**MUNICIPAL ADDRESS:** 4600 HWY 7 E MARKHAM, ONTARIO

**ZONING:** (EXISTING & PROPOSED) SC3 (SPECIAL COMMERCIAL) UNDER BY-LAW 122-72 - 261-86 AS AMENDED (WEST LOT) BY LAW 134-79, 93-81 AND 78-85 AS AMENDED (EAST LOT)

**LOT AREA:**

SUBJECT LOT - EXISTING	8,152.80 m <sup>2</sup> (2.01 Acres)
AFTER ROAD WIDENING	7,531.43 m <sup>2</sup> (1.86 Acres)

**LEGAL DESCRIPTION:**  
 BLOCK 17, REGISTERED PLAN 65M-2100 AND PART OF LOT 11, CONVESSION 6, CITY OF MARKHAM

**SURVEY INFORMATION:**  
 SCHAEFFER DZALDOV BENNETT LTD.  
 DATED: 22 DECEMBER, 2017 JOB NO. 17-241-00

**EXISTING BUILDINGS TO BE DEMOLISHED (GFA)**

1 STOREY CONCRETE BUILDING	741.17 M <sup>2</sup>
-MEZZANINE	148.6 M <sup>2</sup>
<b>TOTAL</b>	<b>889.77 M<sup>2</sup></b>

**OBC BUILDING CLASSIFICATION:**  
 3.2.2.60 GROUP E, UP TO 3 STOREYS, SPRINKLERED  
 3.2.2.70 GROUP F2, UP TO 4 STOREYS, SPRINKLERED

**BUILDING AREA:**

<b>TOTAL:</b>	<b>2,517.16 m<sup>2</sup></b>
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**COVERAGE:**

2,517.16 + 7,531.43 =	33.42%
ALLOWABLE MAXIMUM	35.00%

**NUMBER OF STOREYS:** 2

**GROSS FLOOR AREA:**

GROUND FLOOR:	2,514.15 m <sup>2</sup>
2nd FLOOR:	2,244.78 m <sup>2</sup>
<b>TOTAL GFA:</b>	<b>4,758.91 m<sup>2</sup></b>

**NET FLOOR AREA (MARKHAM BY-LAW)**

GROUND FLOOR:	1,964.03 m <sup>2</sup>
2nd FLOOR:	497.72 m <sup>2</sup>
<b>TOTAL NET:</b>	<b>2,463.75 m<sup>2</sup></b>

**FLOOR AREA RATIO**

4,758.91 m<sup>2</sup> + 7,531.43 m<sup>2</sup> = .63

**SETBACKS:**

	REQUIRED	PROPOSED
FRONT YARD	12.0 m	20.22 m
WEST SIDE YARD	6.0 m	7.82 m
REAR YARD	12.0 m	12.26 m
EAST SIDE YARD	6.0 m	13.88 m

**HEIGHT:**

ALLOWABLE MAXIMUM	12.00 m
PROPOSED BUILDING HEIGHT	9.75 m

**LANDSCAPE BUFFER**

FRONT YARD	REQUIRED: 6.00 m	PROPOSED: 4.00M
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**LANDSCAPE AREA: (AFTER ROAD WIDENING)**

PROPOSED:	385.2m <sup>2</sup>	5.1 %
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**PARKING REQUIRED AS PER BY-LAW 28-97 AS AMENDED:** (REFER TO A1.02 NET AREA CALCULATION)

MOTOR VEHICLE SALES/ LEASING:  
 1 PARKING SPACE / 25 m<sup>2</sup> NET AREA

**TOTAL NET AREA AS PER PARKING AREA CALCULATIONS**  
 2,631.05 + 25 = 106 SPACES

**REQUIRED BARRIER FREE PARKINGS:**  
**TOTAL B.F. REQUIRED: 5 PARKING SPACES**

**PARKING PROVIDED:**

REGULAR SPACES:	97	PARKING SPACES
B.F. SPACES:	5	PARKING SPACES

**LOADING SPACES:**

REQUIRED (GFA > 1860m <sup>2</sup> ):	2 SPACES
TOTAL PROVIDED:	2 SPACES

**OWNER INFORMATION**

NAME: CHANG BLET CIO JOHN JAMIESON  
 ADDRESS: 8210 KENNEDY ROAD UNIONVILLE, ON L8R 5K3  
 PHONE: 905.474.1300 X101

**APPLICANT INFORMATION**

NAME: MARKVILLE FORD LINCOLN  
 ADDRESS: 8210 KENNEDY ROAD UNIONVILLE, ON L8R 5K3  
 PHONE: 905.474.1300 X101  
 EMAIL: crogg@markvilleford.com

**Revision Table:**

Rev	Description	DD/MM/YYYY
1	ISSUED FOR SPA	20/01/2020
2	ISSUED FOR COORDINATION	21/07/2020
3	ISSUED FOR SPA-2	17/08/2020
4	ISSUED FOR COORDINATION	16/11/2020

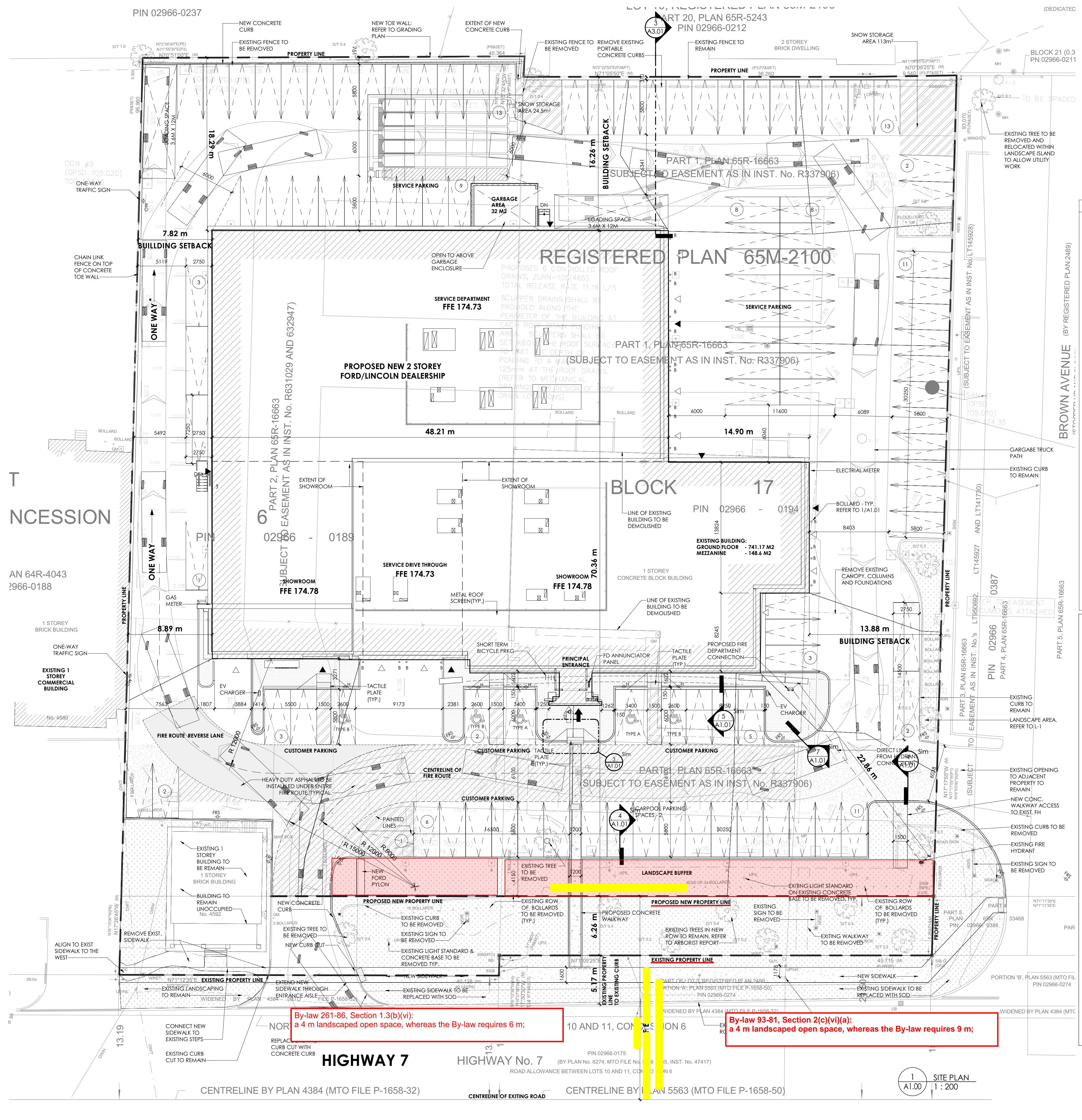
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**MARKVILLE FORD LINCOLN**

4600 HIGHWAY 7, MARKHAM, ONTARIO

**SITE PLAN**

PROJECT No: 2019.016  
 SCALE: As indicated  
 DATE: 2020-12-21  
 DRAWING No: **A1.00**  
 SITE PLAN APPLICATION No: SPC 20 107959

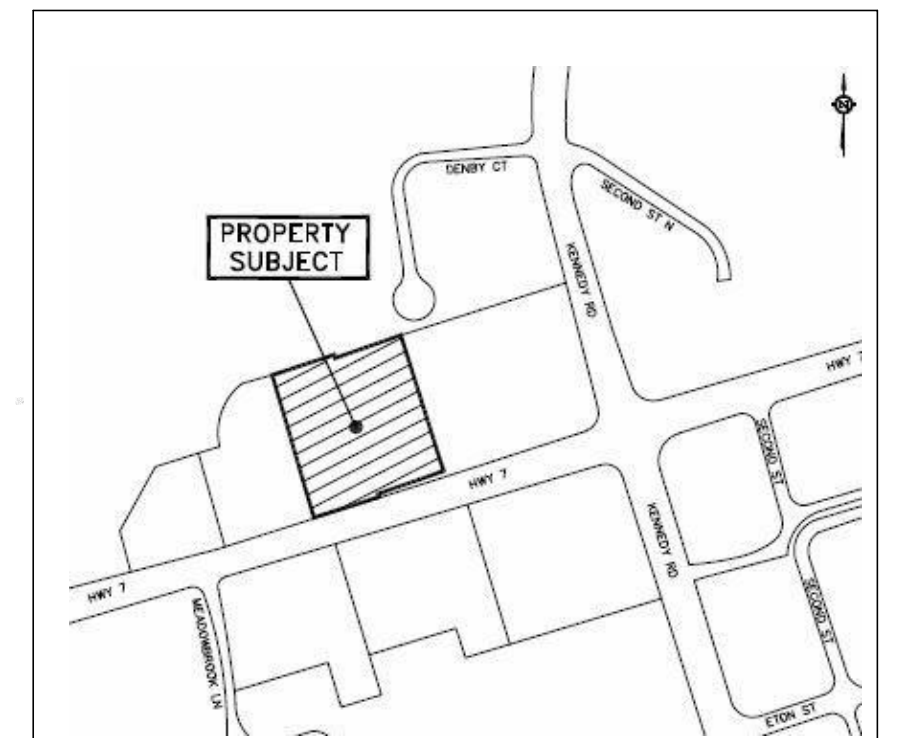
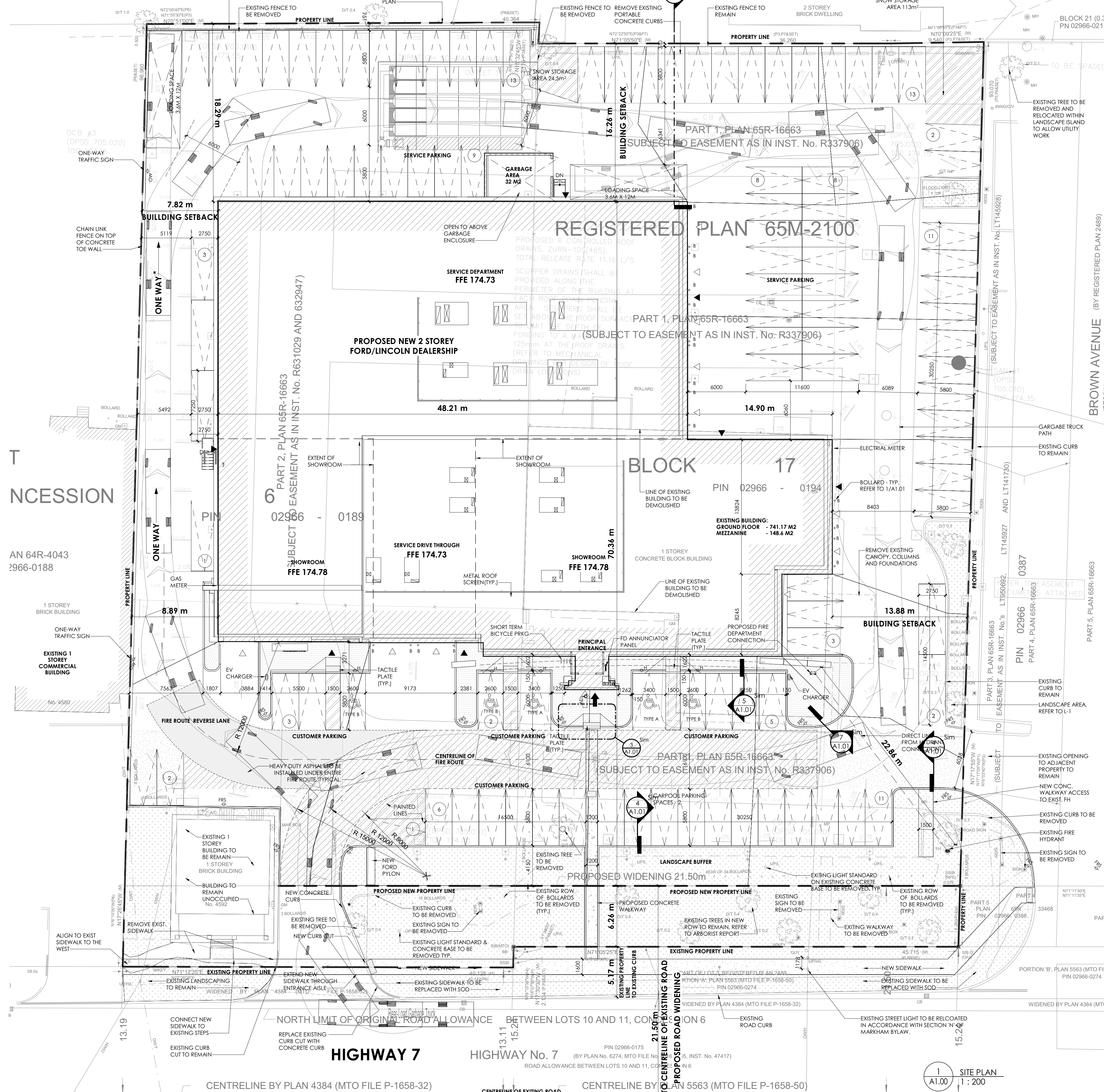


- LEGEND**
- 88.88 EXISTING GRADES: REFER TO DOCUMENTS BY OTHERS
  - NEW GRADE:
  - CONCRETE CURB
  - CATCH BASIN
  - DOUBLE CATCH BASIN
  - MANHOLE
  - CATCH BASIN MAN HOLE
  - FIRE HYDRANT
  - EXISTING LIGHT STANDARD
  - HYDRO POLE
  - MEDIUM DUTY ASPHALT SURFACE
  - HEAVY DUTY ASPHALT SURFACE
  - HEAVY DUTY FIRE ROUTE ASPHALT SURFACE
  - LANDSCAPING
  - OVERHEAD DOORS
  - MAN DOORS
  - MAIN BUILDING ENTRANCES
  - FENCE
  - BOLLARD
  - FIRE DEPARTMENT CONNECTION
  - No. OF PARKING STARTS IN A ROW
  - DESIGNATED ACCESSIBLE ENTRANCE, POWER ASSIST. OPERATOR
  - FIRE DEPARTMENT LOCK BOX
  - FIRE ROUTE SIGN
  - ACCESSIBLE PARKING SIGN
  - ONE-WAY TRAFFIC
  - SINGLE/ DOUBLE HEAD LIGHT STANDARD OR WALL MOUNT LIGHT FIXTURE (REFER TO ELECTRICAL DRAWING)
- GENERAL NOTES**
- TOPOGRAPHIC ELEVATIONS AND CONTOURS AS TAKEN FROM SURVEYORS DRAWING
  - UNDERGROUND SERVICE LOCATIONS ARE APPROXIMATE. CONTRACTOR IS REQUIRED TO CONTACT THE APPROPRIATE SERVICE UTILITY COMPANY FOR EXACT LOCATIONS BEFORE ANY EXCAVATION WORK MAY BEGIN.
  - FOR ALL LANDSCAPE DETAILS, TREE/PLANTING SPECIFICATIONS AND REQUIREMENTS REFER TO LANDSCAPE DRAWINGS
  - FOR ALL SITE SERVICE DETAILS AND REQUIREMENTS REFER TO CIVIL ENGINEERING DRAWINGS
  - DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
  - ALL GRADES ARE TO BE WITHIN A 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE. ALL SURFACE DRAINAGE SHALL BE SELF-CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED BY THE MUNICIPALITY.
  - GENERAL CONTRACTOR TO LAY OUT STRUCTURE WITH ALL SETBACKS FROM PROPERTY LINES AND EASEMENTS & REPORT ANY DISCREPANCIES TO THE ARCHITECTS PRIOR TO ANY EXCAVATION WORK. ALL DIMENSIONS AND ASTRONOMIC BEARINGS SHALL BE CHECKED & VERIFIED BY A CERTIFIED O.L.S.
  - BOULEVARDS TO BE GRADED, TOP SOILED 150mm DEPTH AND SODDED BY OWNER/CONTRACTOR TO THE TOWN'S SATISFACTION.
  - ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN OF MARKHAM.
  - THE OWNER/CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
  - ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH O.B.C. 3.8
  - THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE CITY OF MARKHAM BY-LAWS AND DESIGN CRITERIA.
  - SIDEWALK AND DRIVEWAYS SHALL BE CONSTRUCTED AS PER CITY OF MARKHAM DETAIL AS 231 AND AS 342 RESPECTIVELY.
  - ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE.

**By-law 261-86, Section 1.3(b)(vi):**  
 a 4 m landscaped open space, whereas the By-law requires 6 m;

**By-law 93-81, Section 2(c)(vi)(a):**  
 a 4 m landscaped open space, whereas the By-law requires 9 m;

**By-law 28-97, Section 3.0:**  
 102 parking spaces, whereas the By-law requires 106 spaces;



**LEGEND**

- 88.88 EXISTING GRADES; REFER TO DOCUMENTS BY OTHERS
- NEW GRADE:
- CONCRETE CURB
- CATCH BASIN
- DOUBLE CATCH BASIN
- MANHOLE
- CATCH BASIN MAN HOLE
- FIRE HYDRANT
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- DESIGNATED ACCESSIBLE ENTRANCE, POWER ASSIST. OPERATOR
- FIRE DEPARTMENT LOCK BOX
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- SINGLE/DOUBLE HEAD LIGHT STANDARD OR WALL MOUNT LIGHT FIXTURE (REFER TO ELECTRICAL DRAWING)

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  - ALL EXTERIOR ILLUMINATION TO BE DIRECTED DOWNWARD AS WELL AS INWARD AND DESIGNED TO MAINTAIN ZERO CUTOFF LIGHT DISTRIBUTION AT THE PROPERTY LINE.

**SITE STATISTICS**

**MUNICIPAL ADDRESS:** 4600 HWY 7 E MARKHAM, ONTARIO

**ZONING:** (EXISTING & PROPOSED) SC3 (SPECIAL COMMERCIAL) UNDER BY-LAW 122-72 - 261-86 AS AMENDED (WEST LOT) BY LAW 134-79, 93-81 AND 78-85 AS AMENDED (EAST LOT)

**LOT AREA:**

SUBJECT LOT - EXISTING	8,152.80 m <sup>2</sup> (2.01 Acres)
AFTER ROAD WIDENING	7,531.43 m <sup>2</sup> (1.86 Acres)

**LEGAL DESCRIPTION:** BLOCK 17, REGISTERED PLAN 65M-2100 AND PART OF LOT 11, CONVESSION 6, CITY OF MARKHAM

**SURVEY INFORMATION:** SCHAEFFER DZALDOV BENNETT LTD. DATED: 22 DECEMBER, 2017 JOB NO. 17-241-00

**EXISTING BUILDINGS TO BE DEMOLISHED (GFA)**

1 STOREY CONCRETE BUILDING	741.17 M <sup>2</sup>
-MEZZANINE	148.6 M <sup>2</sup>
<b>TOTAL</b>	<b>889.77 M<sup>2</sup></b>

**OBC BUILDING CLASSIFICATION:** 3.2.2.60 GROUP E, UP TO 3 STOREYS, SPRINKLERED 3.2.2.70 GROUP F2, UP TO 4 STOREYS, SPRINKLERED

**BUILDING AREA:** TOTAL: 2,517.16 m<sup>2</sup>

**COVERAGE:** 2,517.16 + 7,531.43 = 33.42%  
ALLOWABLE MAXIMUM 35.00%

**NUMBER OF STOREYS:** 2

**GROSS FLOOR AREA:** GROUND FLOOR: 2,514.15 m<sup>2</sup>  
2nd FLOOR: 2,244.76 m<sup>2</sup>  
TOTAL GFA: 4,758.91 m<sup>2</sup>

**NET FLOOR AREA (MARKHAM BY-LAW)**

GROUND FLOOR	1,964.03 m <sup>2</sup>
2nd FLOOR	497.72 m <sup>2</sup>
<b>TOTAL NET:</b>	<b>2,463.75 m<sup>2</sup></b>

(REFER TO A1.02)

**FLOOR AREA RATIO**

4,758.91 m<sup>2</sup> + 7,531.43 m<sup>2</sup> = .63

**SETBACKS:**

	REQUIRED	PROPOSED
FRONT YARD	12.0 m	20.22 m
WEST SIDE YARD	6.0 m	7.82 m
REAR YARD	12.0 m	12.26 m
EAST SIDE YARD	6.0 m	13.88 m

**HEIGHT:** ALLOWABLE MAXIMUM 12.00 m  
PROPOSED BUILDING HEIGHT 9.75 m

**LANDSCAPE BUFFER:** FRONT YARD REQUIRED 6.00 m PROPOSED 4.00m

**LANDSCAPE AREA: (AFTER ROAD WIDENING)**

PROPOSED: 385.2m<sup>2</sup> 5.1 %

**PARKING REQUIRED AS PER BY-LAW 28-97 AS AMENDED:** (REFER TO A1.02 NET AREA CALCULATION)

MOTOR VEHICLE SALES/ LEASING: 1 PARKING SPACE / 25 m<sup>2</sup> NET AREA

TOTAL NET AREA AS PER PARKING AREA CALCULATIONS 2,631.05 + 25 = 106 SPACES

TOTAL SPACES REQUIRED: 106 PARKING SPACES

REQUIRED BARRIER FREE PARKINGS: 5 PARKING SPACES

**PARKING PROVIDED:**

REGULAR SPACES:	97	PARKING SPACES
B.F. SPACES:	5	PARKING SPACES
<b>TOTAL SPACES PROVIDED:</b>	<b>102</b>	<b>PARKING SPACES</b>

**LOADING SPACES:** REQUIRED (GFA > 1860m<sup>2</sup>): 2 SPACES  
TOTAL PROVIDED: 2 SPACES

**OWNER INFORMATION**

NAME: CHANG HEEI CIO JOHN  
ADDRESS: 8210 KENNEDY ROAD  
UNIONVILLE, ON L3R 9K3  
PHONE: 905.474.1300 X101

**APPLICANT INFORMATION**

NAME: MARKVILLE FORD LINCOLN  
ADDRESS: 8210 KENNEDY ROAD  
UNIONVILLE, ON L3R 9K3  
PHONE: 905.474.1300 X101  
EMAIL: crogg@markfordlincoln.com

**Issue/Revision**

Rev	Description	DD/MM/YYYY
1	ISSUED FOR SPA	20/01/2020
2	ISSUED FOR COORDINATION	21/07/2020
3	ISSUED FOR SPA-2	17/08/2020
4	ISSUED FOR COORDINATION	16/11/2020

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**RH CARTER ARCHITECTS**

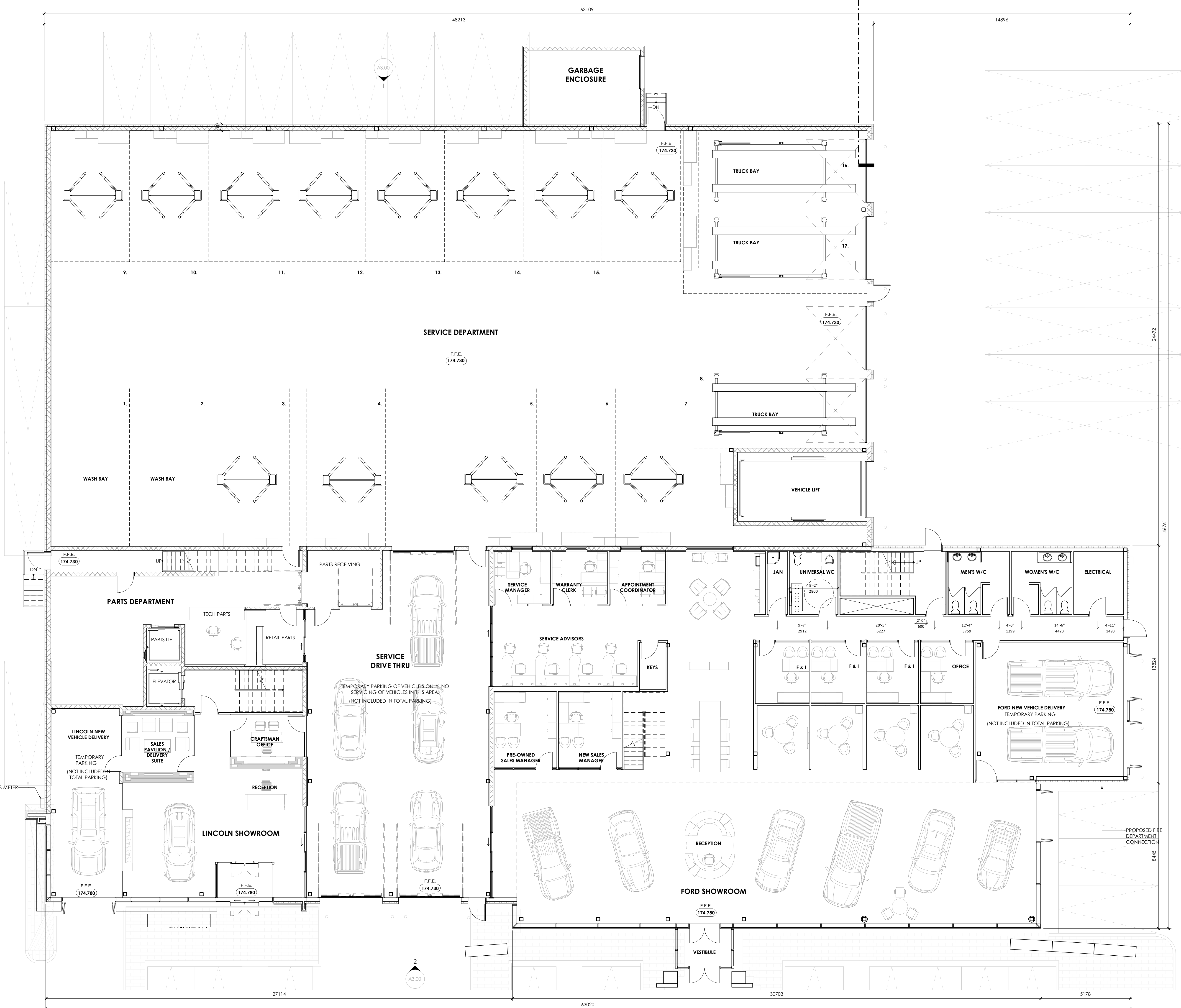
5040 Dundas St. West, Toronto, Ontario M9A 1B8  
p. 1.416.233.5588 f. 416.233.5585 www.rhcarter.com

**MARKVILLE FORD LINCOLN**

4600 HIGHWAY 7, MARKHAM, ONTARIO

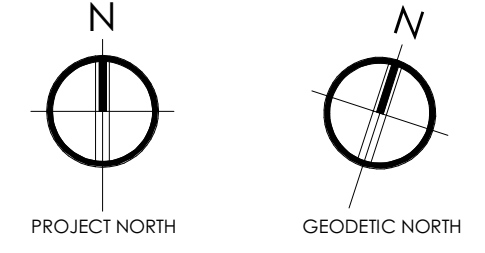
**SITE PLAN**

PROJECT No: 2019.016  
SCALE: As indicated  
DATE: 2020-12-21  
DRAWING No: **A1.00**  
SITE PLAN Application No: SPC 20 107959



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**OWNER INFORMATION**  
 NAME: CHANG RILEY LTD JOHN JAMIESON  
 ADDRESS: 8210 KENNEDY ROAD UNIONVILLE, ON L8R 5K3  
 PHONE: 905.474.1350/1301

**APPLICANT INFORMATION**  
 NAME: MARKVILLE FORD LINCOLN  
 ADDRESS: 8210 KENNEDY ROAD UNIONVILLE, ON L8R 5K3  
 PHONE: 905.474.1350/1301  
 EMAIL: cros@markvilleford.com

Rev	Description	DD/MM/YYYY
2	ISSUED FOR SPA-2	17/08/2020
1	ISSUED FOR SPA	20/01/2020

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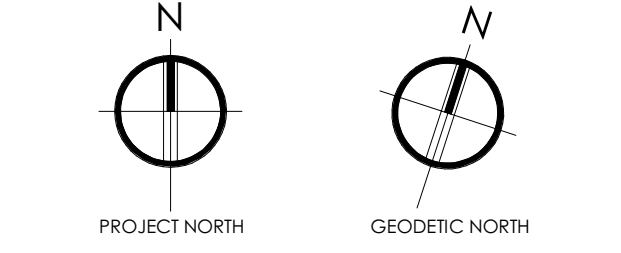
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 5040 Dundas St. West, Toronto, Ontario M9A 1B8  
 P: 1.416.233.5583 F: 416.233.5585 www.rhcarter.com

**MARKVILLE FORD LINCOLN**  
 4600 HIGHWAY 7, MARKHAM, ONTARIO  
**GROUND FLOOR PLAN**

PROJECT No: 2019.016  
 SCALE: 1:100  
 DATE: 2020-12-21  
 DRAWING No: **A2.00**  
 SITE PLAN APPLICATION No: **SPC 20 107969**

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**OWNER INFORMATION**  
 NAME: CHANG WAI LO JOHN JAMESON  
 ADDRESS: 8210 KENNEDY ROAD  
 UNIONVILLE, ON L8R 5K3  
 PHONE: 905.474.1330 X301

**APPLICANT INFORMATION**  
 NAME: MARKVILLE FORD LINCOLN  
 ADDRESS: 8210 KENNEDY ROAD  
 UNIONVILLE, ON L8R 5K3  
 PHONE: 905.474.1330 X301  
 EMAIL: cros@markvilleford.com

Rev	Description	Date
2	ISSUED FOR SPA-2	17/08/2020
1	ISSUED FOR SPA	20/01/2020
Rev	Description	DD/MM/YYYY
Issued/Revisions		

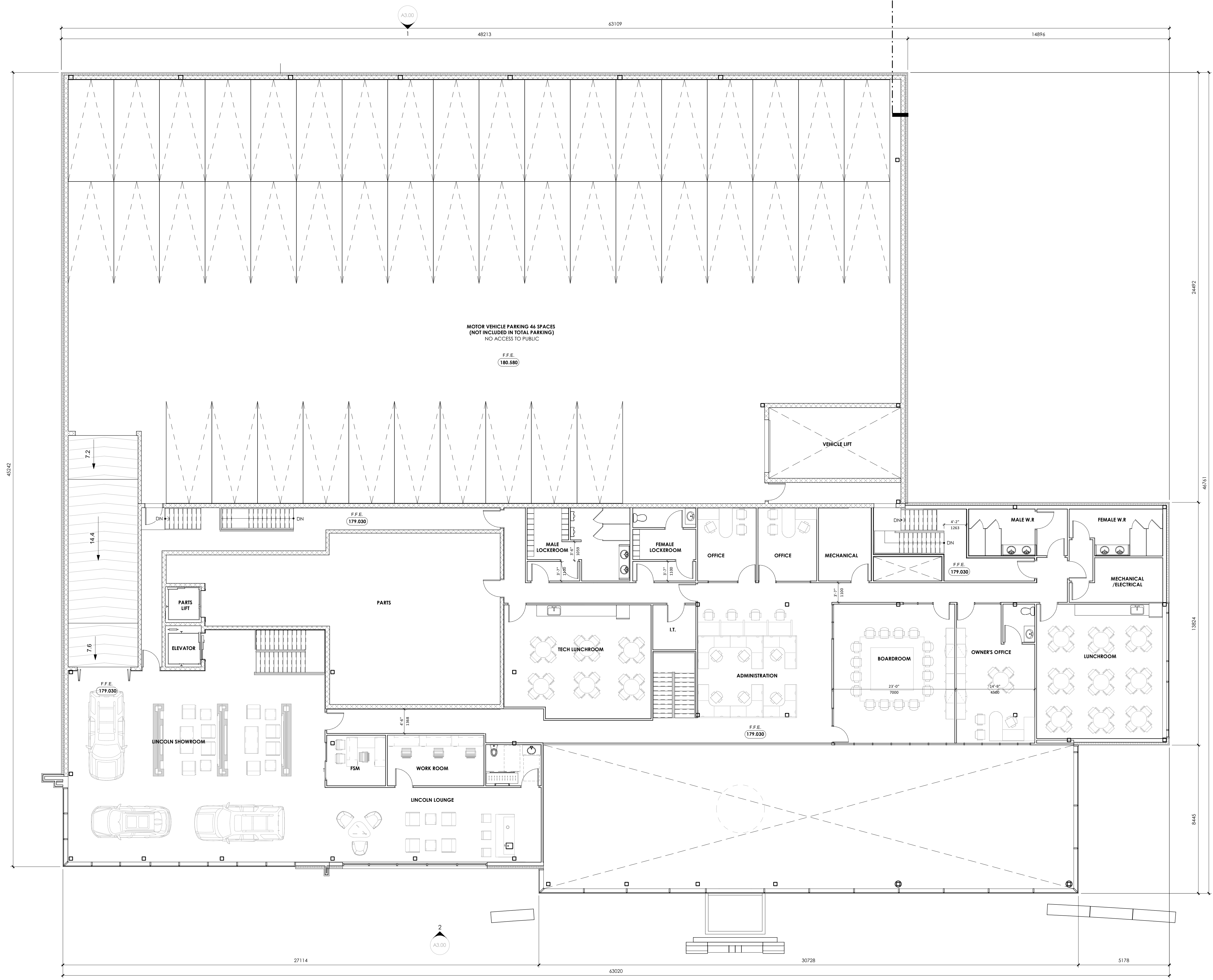
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**MARKVILLE FORD LINCOLN**  
 4600 HIGHWAY 7, MARKHAM,  
 ONTARIO

**SECOND FLOOR PLAN**

PROJECT No: 2019.016  
 SCALE: 1 : 100  
 DATE: 2020-12-21  
 DRAWING No: **A2.01**  
 SITE PLAN APPLICATION No: **SPC 20 107969**



**MARKHAM BIRD FRIENDLY SPECIFICATION CHECKLISTS FOR APPLICANT**

The City of Markham Council approved the *Bird Friendly Guidelines* on February 11, 2014. The development of *Bird Friendly Guidelines* was identified as a priority in the Greenprint - Markham's Sustainability Plan (2011) and Markham's new Official Plan (2014) in order to address and manage bird-window collisions over the long term. The *Guidelines* provide guidance on treatments and techniques for new development and retrofit design treatments, and identify appropriate implementation mechanisms consistent with City practices and guidelines.

As part of the *Guidelines*, the *Bird Friendly Specification Checklists* were also approved as an implementation tool to guide developers in the *Site Plan Approval* process. Refer to the following stages of the *Site Plan Approval* process for implementation requirements. It is the responsibility of the applicant to adhere to the *Guidelines* at first site plan submission in order for the application to be deemed complete.

The *Checklists* represent the mandatory requirements that apply to developments and developments under the *Site Plan Approval* process. The application of secondary treatments is recommended and can be further discussed during the site plan review process. Please refer to *Chapter 4.3 of the Guidelines* for details.

**STEP 1: Applicant to complete and include Bird Friendly Specification Checklist as part of the Elevation Drawing(s)** at first site plan submission. Drawing(s) are to be stamped and signed by an OAA member and identify all contiguous glass area that are larger than 2m

**STEP 2: Applicant to complete and submit the Bird Friendly Lighting Checklist.** Drawing(s) to be stamped and signed by a P.Eng. Drawings to include *Lighting Photometric and Light Fixture Specifications* from catalogue. Provide cost estimate of light fixtures.

**MARKHAM BIRD FRIENDLY BUILDING CHECKLIST**

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

**MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS**

**At Grade Condition (check to confirm the below is applied)**

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m<sup>2</sup>
- D within 1.6m from finished grade.

**Roof Landscape Condition (check to confirm one of the below is applied)**

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m<sup>2</sup>
- D 1.6

**Treatment (check to confirm one of the below is applied)**

- Stripes
- Dots
- Netting
- Frit and Etched Patterns

**Specifications (check to confirm one of the below is applied)**

- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

**MARKHAM BIRD FRIENDLY LIGHTING CHECKLIST**

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

**MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS (check to confirm below is applied)**

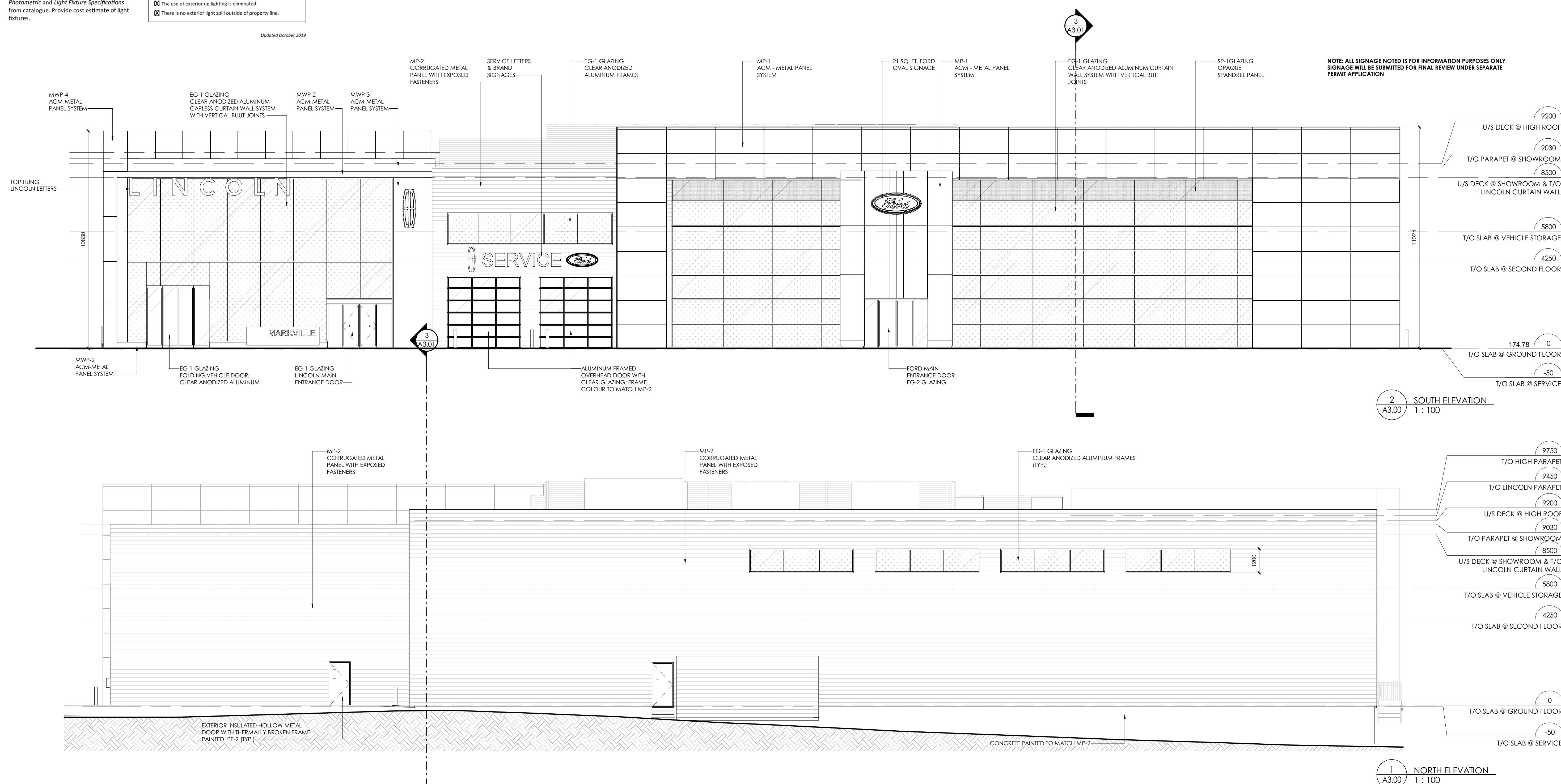
- The use of exterior up lighting is eliminated.
- There is no exterior light spill outside of property line.

Updated October 2019

**EXTERIOR FINISH SCHEDULE**

FINISH CODE	COLOUR & MATERIAL SPECIFICATIONS	FINISH CODE	COLOUR & MATERIAL SPECIFICATIONS
MP-1	ACM - ALPOLIC COLOUR - HARLINE ALUMINUM - 4MM4HLZ	EG-1	CURTAIN WALL STOREFRONT GLAZING SYSTEM CLEAR ANODIZED FRAME
MP-2	CORRUGATED METAL PANEL GREY - 7/8" PROFILE VICWEST COLOUR 55090 GREY BERRY	SP-1	GLASS SPANDEL PANEL OPACI-COAT-300 #1-0016 CHARCOAL
MP-3	RIBBED METAL PANEL GREY - CL7040 - VICWEST COLOUR - GREY BERRY 55090	SGS-1	CLEAR ANODIZED ALUMINUM CAPLESS CURTAIN WALL SYSTEM WITH AND CLEAR GLAZING C/W BIRD FRIENDLY TREATMENT
MP-6	ACM - ALPOLIC COLOUR - FORD MICA M2G - 4MM4M2G	MS-1	MECHANICAL SCREEN- ALUMINUM LOUVER FINISH TO MATCH CORRUGATED METAL PANEL MP-2
MWP-2	ACM - ALPOLIC COLOUR - FORD LINCOLN WHITE RVW	MB-1	MECHANICAL SCREEN- ALUMINUM LOUVER FINISH TO MATCH CORRUGATED METAL PANEL MP-2
MWP-3	ACM - ALPOLIC COLOUR - BROWN - 737L839 (FEVE) VAFLOX 12438		FRITTED PATTERN BIRD PROTECTION GLASS CERAMIC FRIT PATTERN 3MM DOTS AT 50MM X 100MM SPACING
MWP-4	ACM - ALPOLIC COLOUR - WHITE - SWT WHITE		
PE-1	PAINT LIGHT GREY - BENJAMIN MOORE COLOUR 2132-20 MINERAL ICE		
PE-2	PAINT DARK GREY - BENJAMIN MOORE COLOUR 2121-20 STEEL WOOL		
PE-3	PAINT MEDIUM GREY - BENJAMIN MOORE COLOUR - 2112-50 STORMY MONDAY		

**Appendix C**  
 File: 20190901001001  
 Date: 03/02/2021



**OWNER INFORMATION**  
 NAME: CHAS WILEY / JOHN JAMIESON  
 ADDRESS: 8210 KENNEDY ROAD, UNIONVILLE, ON, BR 5A3  
 PHONE: 905.474.1350 X301

**APPLICANT INFORMATION**  
 NAME: MARKVILLE FORD LINCOLN  
 ADDRESS: 8210 KENNEDY ROAD, UNIONVILLE, ON, BR 5A3  
 PHONE: 905.474.1350 X301  
 EMAIL: crosig@markville.com

**REVISIONS**

Rev	Description	Date
2	ISSUED FOR SPA-2	17/08/2020
1	ISSUED FOR SPA	20/01/2020

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 P: 1.416.233.5583 F: 416.233.5585 www.rhcarter.com

**MARKVILLE FORD LINCOLN**  
 4600 HIGHWAY 7, MARKHAM, ONTARIO

**BUILDING ELEVATIONS**

PROJECT No: 2019.016  
 SCALE: 1 : 100  
 DATE: 2020-12-21  
 DRAWING No: **A3.00**  
 SITE PLAN APPLICATION No: SPC 20 107959



The City of Markham Council approved the Bird Friendly Guidelines on February 11, 2014. The development of Bird Friendly Guidelines was identified as a priority in the Greenprint - Markham's Sustainability Plan (2011) and Markham's new Official Plan (2014) in order to address and manage bird-window collisions over the long term. The Guidelines provide guidance on treatments and techniques for new development and retrofit design treatments, and identify appropriate implementation mechanisms consistent with City practices and guidelines.

As part of the Guidelines, the Bird Friendly Specification Checklists were also approved as an implementation tool to guide developers in the Site Plan Approval process. Refer to the following stages of the Site Plan Approval process for implementation requirements. It is the responsibility of the applicant to adhere to the Guidelines at first site plan submission in order for the application to be deemed complete.

The Checklists represent the mandatory requirements that apply to developments and redevelopments under the Site Plan Approval process. The application of secondary treatments is recommended and can be further discussed during the site plan review process. Please refer to Chapter 4.3 of the Guideline for details.

**STEP 1: Applicant to complete and include Bird Friendly Specification Checklist as part of the Elevation Drawing(s)** at first site plan submission. Drawing(s) are to be stamped and signed by an OAA member and identify all contiguous glass area that are larger than 2m

**STEP 2: Applicant to complete and submit the Bird Friendly Lighting Checklist.** Drawing(s) to be stamped and signed by a P.Eng. Drawings to include Lighting Photometric and Light Fixture Specifications from catalogue. Provide cost estimate of light fixtures.

**MARKHAM BIRD FRIENDLY BUILDING CHECKLIST**

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**MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS**

At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m<sup>2</sup> within 16m
- D from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)

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- D

Treatment (check to confirm one of the below is applied)

- Stripes
- Dots
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**MARKHAM BIRD FRIENDLY LIGHTING CHECKLIST**

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

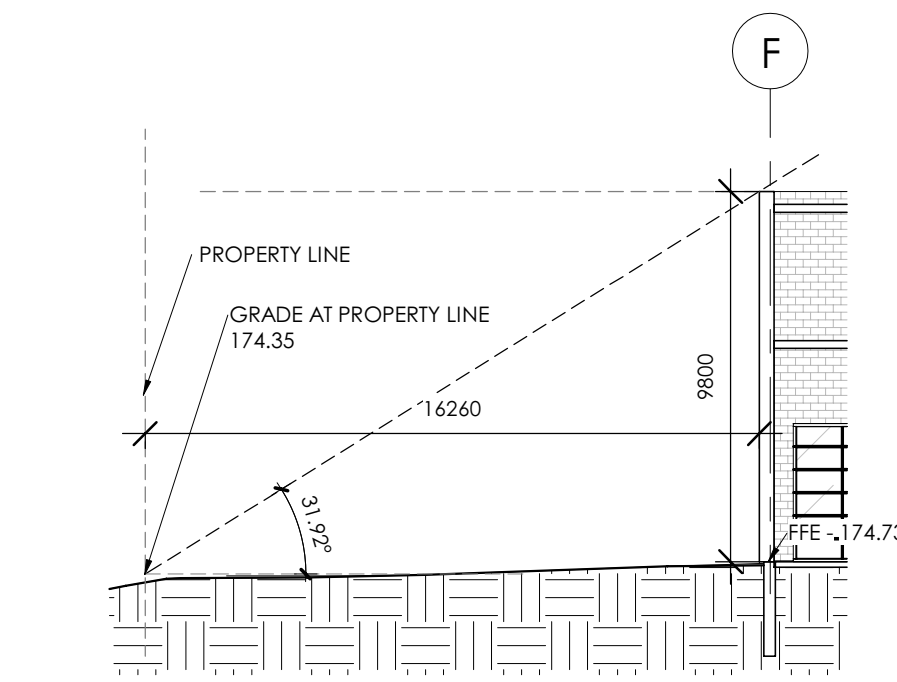
**MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS**

- The use of exterior up lighting is eliminated.
- There is no exterior light spill outside of property line.

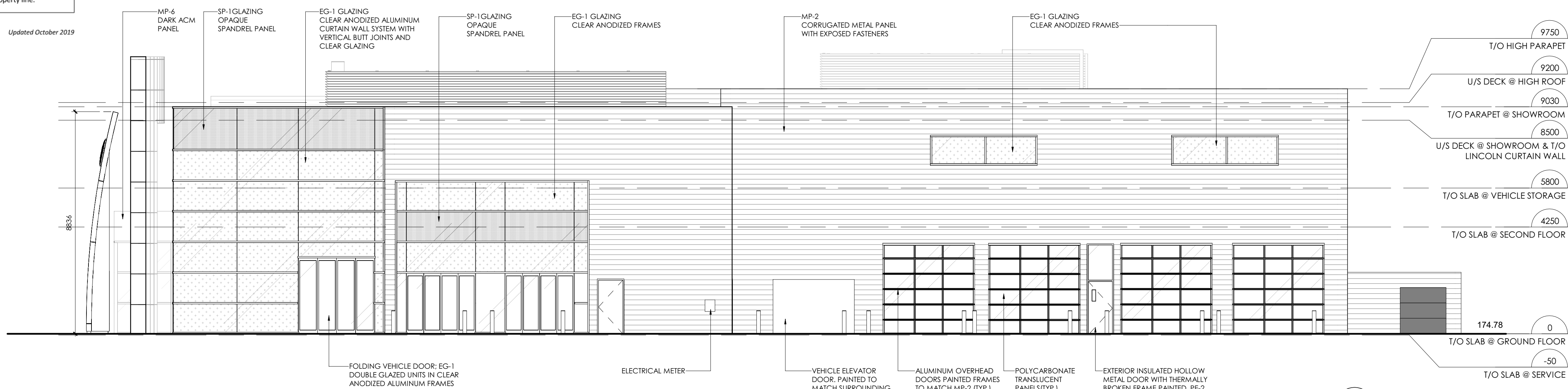
Updated October 2019

**EXTERIOR FINISH SCHEDULE**

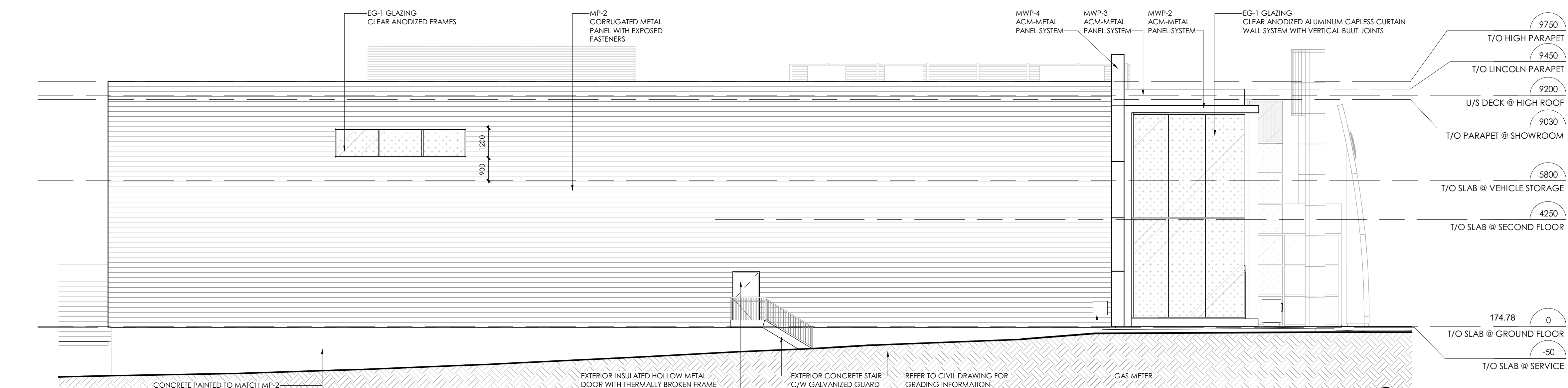
FINISH CODE	COLOUR & MATERIAL SPECIFICATIONS	FINISH CODE	COLOUR & MATERIAL SPECIFICATIONS
MP-1	ACM - ALPOLIC COLOUR - HARLINE ALUMINUM - 4MM4HLZ	EG-1	CURTAIN WALL STOREFRONT GLAZING SYSTEM CLEAR ANODIZED FRAME
MP-2	CORRUGATED METAL PANEL GREY - 7/8" PROFILE VICWEST COLOUR 55090 GREY BERRY	SP-1	GLASS SPANDEL PANEL OPACI-COAT-300 #1-0016 CHARCOAL
MP-3	RIBBED METAL PANEL GREY - CL7040 - VICWEST COLOUR - GREY BERRY 55090	SGS-1	CLEAR ANODIZED ALUMINUM CAPLESS CURTAIN WALL SYSTEM WITH AND CLEAR GLAZING C/W BIRD FRIENDLY TREATMENT
MP-6	ACM - ALPOLIC COLOUR - GREY MICA M2G - 4MM4M2G	MS-1	MECHANICAL SCREEN- ALUMINUM LOUVER FINISH TO MATCH CORRUGATED METAL PANEL MP-2
MWP-2	ACM - ALPOLIC COLOUR - FORD LINCOLN WHITE RVW	MB-1	MECHANICAL SCREEN- ALUMINUM LOUVER FINISH TO MATCH CORRUGATED METAL PANEL MP-2
MWP-3	ACM - ALPOLIC COLOUR - BROWN - 737L839 (FEVE) VAFLOX 12438		FRITTED PATTERN BIRD PROTECTION GLASS CERAMIC FRIT PATTERN 5MM DOTS AT 50MM X 100MM SPACING
MWP-4	ACM - ALPOLIC COLOUR - WHITE - SWT WHITE		
PE-1	PAINT LIGHT GREY - BENJAMIN MOORE COLOUR 2132-70 MINERAL ICE		
PE-2	PAINT DARK GREY - BENJAMIN MOORE COLOUR 2121-20 STEEL WOOL		
PE-3	PAINT MEDIUM GREY - BENJAMIN MOORE COLOUR - 2112-50 STORMY MONDAY		



3 A3.01 ANGULAR PLAN ANALYSIS - NORTH PROPERTY LINE 1 : 200



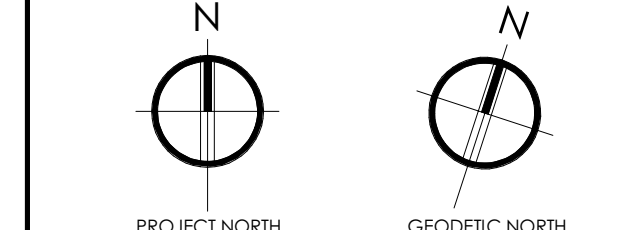
2 A3.01 EAST ELEVATION 1 : 100



1 A3.01 WEST ELEVATION 1 : 100

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Rev	Description	DD/MM/YYYY
2	ISSUED FOR SPA-2	17/08/2020
1	ISSUED FOR SPA	20/01/2020

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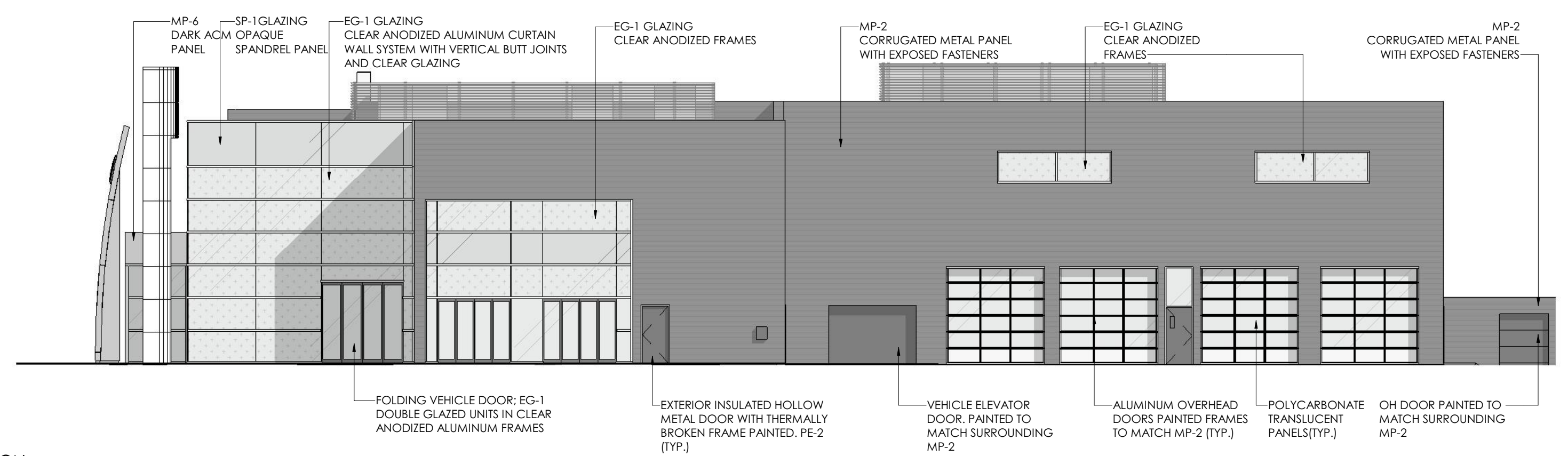
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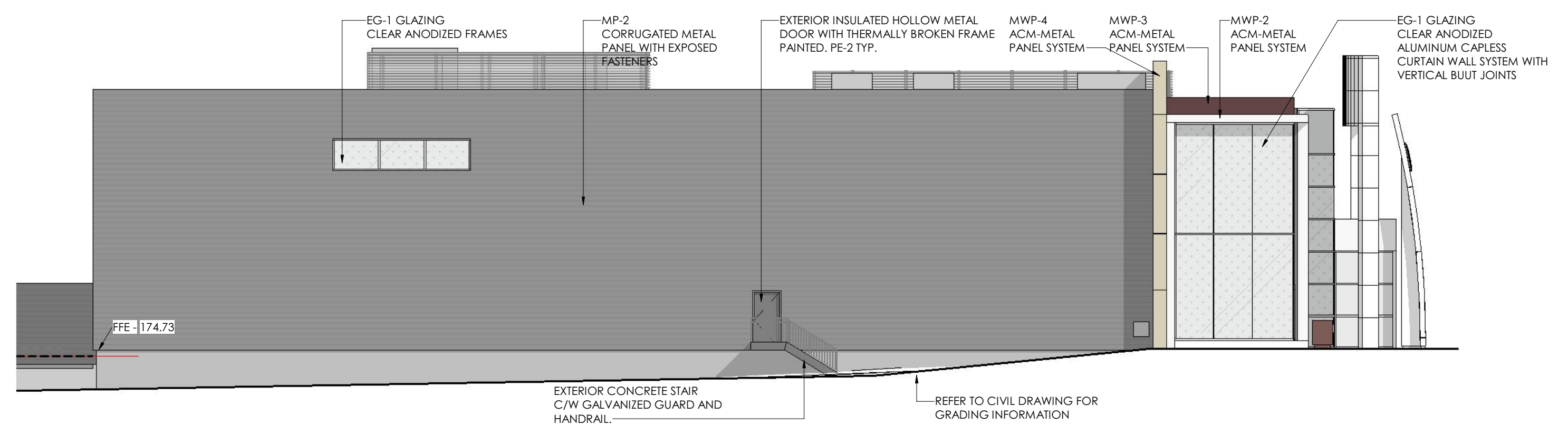
**BUILDING ELEVATIONS**

PROJECT No: 2019.016  
SCALE: As indicated  
DATE: 2020-12-21  
DRAWING No: **A3.01**  
SITE PLAN APPLICATION No: **SPC 20 107959**

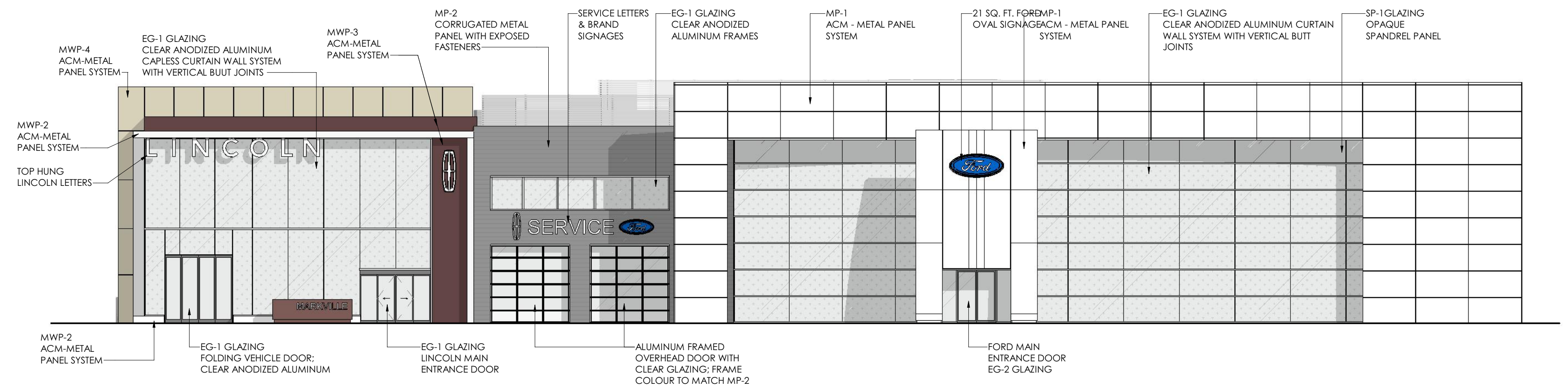
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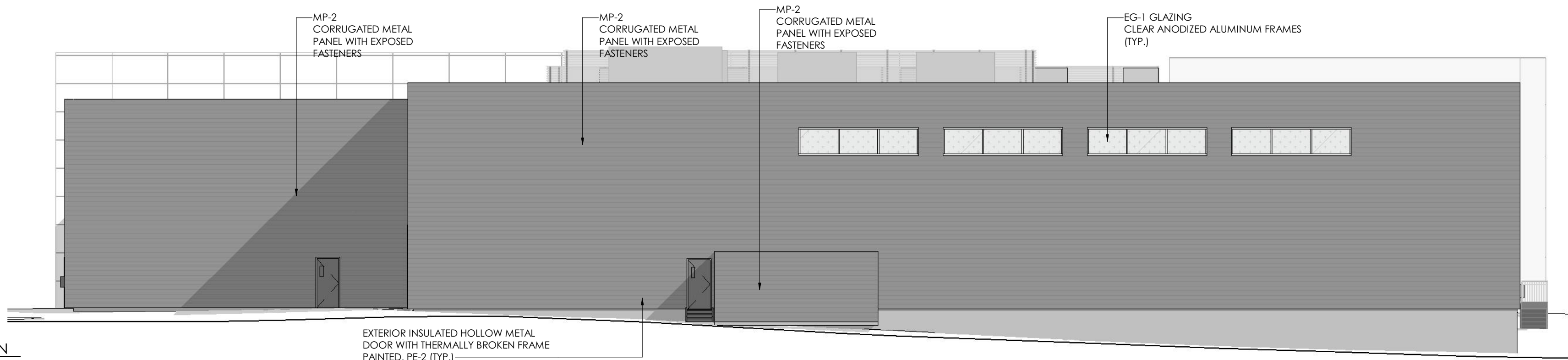
4 EAST ELEVATION  
A3.02 1 : 150



3 WEST ELEVATION  
A3.02 1 : 150



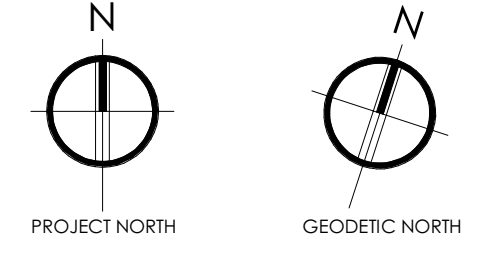
2 SOUTH ELEVATION  
A3.02 1 : 150



1 NORTH ELEVATION  
A3.02 1 : 150

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 SITE PLAN APPLICATION No: **SPC 20 107969**