

# Memorandum to the City of Markham Committee of Adjustment

April 11, 2019

**File:** A/27/19  
**Address:** 107 Wootten Way N, Markham  
**Applicant:** Rustom Sethna  
**Agent:** Barrett Municipal Consulting (Graham Barrett)  
**Hearing Date:** Wednesday May 08, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 163-78, R6 as amended:

- a) **Section 7.2:**  
a minimum front yard of 4.99 m for a 1 storey building, whereas the By-law requires a minimum of 6.0 m;
- b) **Section 5.7(b):**  
an uncovered stair to project 2.21 m into the front yard, whereas the By-law permits a maximum of 1.5 m to project into the required front or rear yard only;
- c) **Section 7.2:**  
a minimum side yard setback of 1.71 m for a 2 storey building, whereas the By-law requires a minimum side yard setback of 1.8 m;
- d) **Section 7.2:**  
a maximum lot coverage of 37.2 percent, whereas the By-law permits a maximum lot coverage of 33-1/3 percent;
- e) **Section 7.2:**  
one secondary dwelling suite, whereas the By-law permits a Single Family Dwelling;
- f) **Section 5.7:**  
an uncovered and unenclosed walk-up stair to project 0.47 m into the required side yard, whereas the By-law permits a maximum of 1.5 m to project into the required front or rear yard only;
- g) **Section 5.7(a):**  
a canopy to project a maximum of 0.48 m into the required yard, whereas the By-law permits a maximum projection of 0.45 m into the required yard;
- h) **Parking By-law 28-97, Section 6:**  
a minimum size of parking space of 2.6 m x 5.1 m, whereas the By-law requires 2.6 m x 5.8 m for the 2 required parking space in the existing private garage;

as they relate to a proposed addition to a residential dwelling under construction.

## BACKGROUND

### Property Description

The 510.06 m<sup>2</sup> (5,490.24 ft<sup>2</sup>) subject property is located on the east side of Wootten Way North, south of 16<sup>th</sup> Avenue and west of Ninth Line. The property is located within a residential neighbourhood comprised of a mix of one and two-storey detached dwellings. There is an existing two-storey detached 274.52 m<sup>2</sup> (2,955 ft<sup>2</sup>) dwelling on the property, which according to

assessment records was constructed in 1982. Mature vegetation exists across the property including one large mature tree in the front yard.

### **Proposal**

The applicant has received a building permit to demolish and re-construct portions of the first and second storeys of the existing residential dwelling. The applicant is proposing a basement and ground floor addition to the dwelling currently under construction. The proposal also includes a secondary suite in the existing basement of the dwelling. The proposed secondary suite would have direct and separate access provided by a proposed door on the north (left) side of the dwelling.

### **Provincial Policies**

#### Strong Communities through Affordable Housing Act - Province of Ontario

In 2011, the Strong Communities through Affordable Housing Act amended various sections of the Ontario Planning Act to facilitate the creation of second units by:

- Requiring municipalities to establish Official Plan policies and Zoning By-law provisions allowing secondary units in detached, semi-detached and row houses, as well as in ancillary structures
- Providing authority for the Minister of Municipal Affairs and Housing to make regulations authorizing the use of, and prescribing standards for, second units.

Under the *Strong Communities through Affordable Housing Act*, 'Second Units' also known as secondary suites are defined as "self-contained residential units with kitchen and bathroom facilities within dwellings or within structures accessory to dwellings."

### **Official Plan and Zoning**

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. In considering applications for development approval in a 'Residential Low Rise' area, which includes variances, infill development is required to meet the general intent of Section 8.2.3.5 of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood. Planning staff have had regard for the requirements of the infill development criteria in the preparation of the comments provided below.

The definition of a "Secondary Suite" in the 2014 Official Plan is "a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons."

Section 8.13.8 states that it is the policy of Council that in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in the 2014 Official Plan, that Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including: The building type in which the secondary suite is contained;

- a) The percentage of the floor area of the building type devoted to the secondary suite;
- b) The number of dwelling units permitted on the same lot
- c) The size of the secondary suite;
- d) The applicable parking standards; and
- e) The external appearance of the main dwelling

As part of the City initiated zoning by-law consolidation project, Council recently considered the issue of second suites within the City. On May 29<sup>th</sup>, 2018, Council voted not to permit second suites as of right in any single detached, semi-detached, or townhouse dwelling.

Zoning By-Law 163-78

The subject property is zoned R6 – ‘Sixth Density – Single Family Residential’ under By-law 163-78, as amended, which permits a single detached dwelling. The proposed development does not comply with the infill By-law requirements with respect to minimum front yard, maximum lot coverage, minimum side yard setback, uncovered stair projection, uncovered and unenclosed walk-up stair, secondary dwelling suite and the maximum canopy projection.

Parking Standards By-law 28-97

The proposed secondary suite also does not comply with the standard of the Parking By-law 28-97 with respect to minimum size of parking spaces in the garage.

**Applicant’s Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, *“variances are required to provide additional space for family and allow secondary basement suite”*.

**Zoning Preliminary Review (ZPR) Undertaken**

The applicant has completed a Zoning Preliminary Review (ZPR) to confirm the initial variances required for the proposed development. The applicant submitted revised drawings on April 04, 2019. The applicant has not conducted a Zoning Preliminary Review for the revised drawings. Consequently it is the owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

**COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

**Requested Variances**

The applicant has requested variances for minimum front yard, maximum lot coverage, minimum side yard setback, uncovered stair projection, uncovered and unenclosed walk-up stair, secondary dwelling suite, parking and the maximum canopy projection. It is unclear to Staff from the plans submitted by the applicant with this minor variance application, whether the requested variances are attributable to the proposed additions, original home and/or, the "existing dwelling".

Wooten Way North is characterized by modest one and two-storey detached dwellings. Staff have concerns with the overall impact of the proposed dwelling and encroachments on the character of the street and on neighbouring properties. Additionally, the requested variance to reduce the dimensions of the parking spaces in the garage will also set an undesirable precedent in the City and have City-wide implications. As such, while Staff have supported variances for secondary suites in the past, the culmination of the variances as shown in the proposal attached as appendix B will result in an undesirable development. According to digital records maintained by the City of Markham there are 4 other homes along Wooten Way North which have applied for Minor Variances since 1973. Of the variances requested, none has been to the extent requested in this application.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of April 10, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance requests do not meet the four tests of the Planning Act and recommend the application be denied. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



\_\_\_\_\_  
Stacia Muradali, Senior Planner, East District

File Path: Amanda\file\ 19 115003 \Documents\District Team Comments Memo

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
1315 LAWRENCE AVE EAST, TORONTO ON  
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FAX: 416-393-8833  
EMAIL: info@sensusdesign.ca  
www.sensusdesign.ca

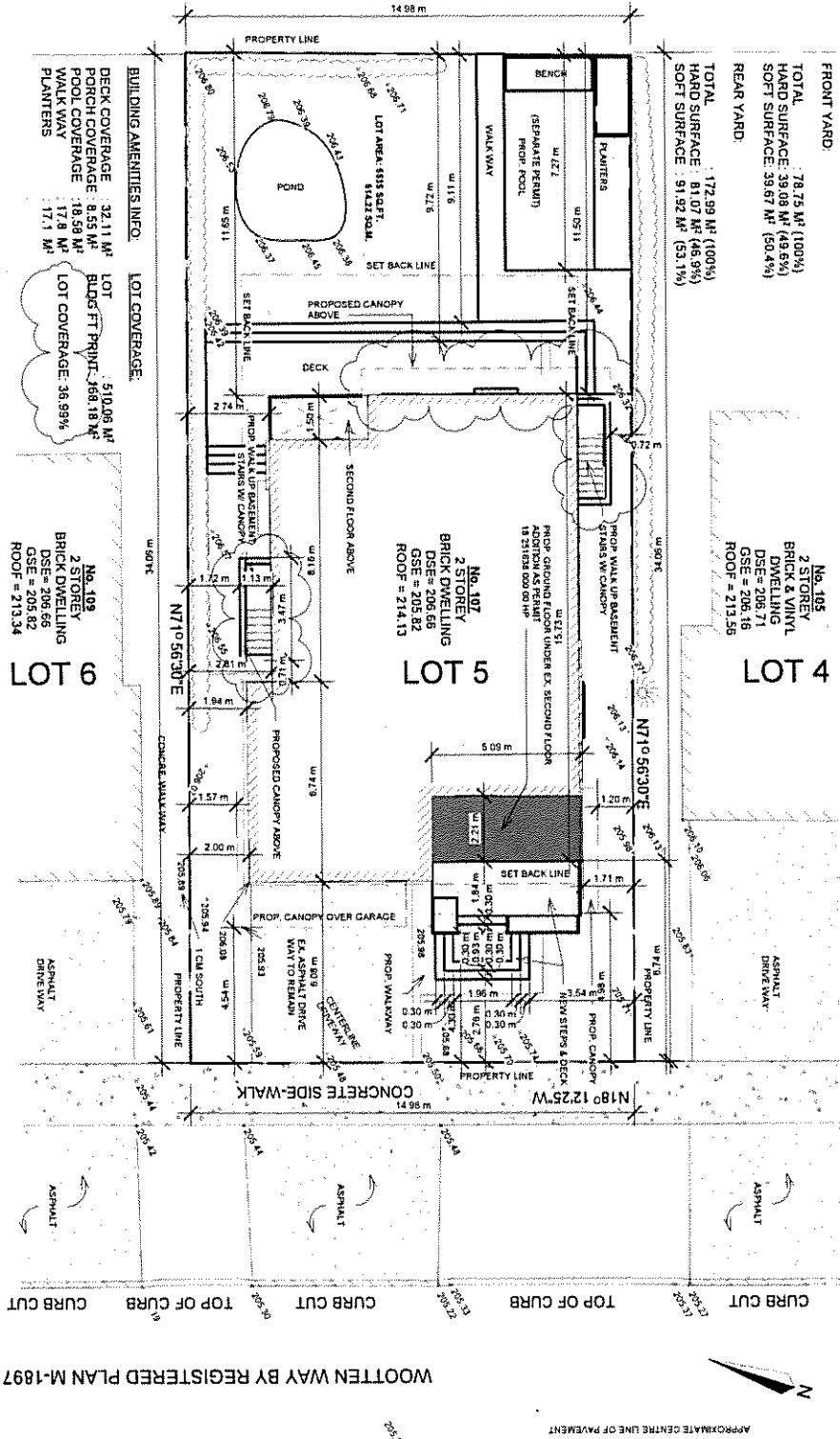
**NOTES:**  
1. CHANGES INDICATED BY CIRCLED DIMENSIONS TO BE MADE IN CONFORMANCE WITH THE GENERAL NOTES AND THE DATE.  
2. AS A SERVICE TO THE CLIENT, SENSUS DESIGN & BUILD INC. HAS PROVIDED THIS PRELIMINARY DESIGN. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.  
3. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.  
4. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

DESIGNED BY: JESSE SAMRANI  
DRAWN BY: DANIE BUCHANAN  
CHECKED BY: JESSE SAMRANI  
DATE: 2019-04-03

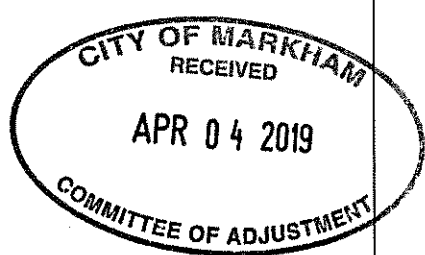
ADDRESS:  
107 Woodlawn Way North,  
Markham, ON

PROJECT:  
ADDITION  
SITE PLAN

Date: 2019-04-03  
Drawn By: R.C.  
Checked By: A.E.  
Scale: 1 : 150



**1 SITE PLAN**  
1 : 150



# SITE STATISTICS

MUNICIPAL ADDRESS	107 Woolten Way North
ZONING	Lot 5, registered plan M-1879
LOT AREA	510.06 m <sup>2</sup> 5490.23 ft <sup>2</sup>

ZONING INFORMATION	PERMITTED		EXISTING		PROPOSED	
	(metre)	(feet)	(metre)	(feet)	(metre)	(feet)
FRONTAGE	15	49.2	16.00	49.20	15	49.20
FRONT YARD SETBACK	6	19.68	6.09	19.98	4.98	16.33
SIDE (NORTH) YARD SETBACK	1.8	5.90	1.93	6.33	1.93	6.33
SIDE (SOUTH) YARD SETBACK	1.8	5.90	1.71	5.61	1.71	5.61
REAR YARD SETBACK	7.50	24.60	11.50	37.72	11.50	37.72
BUILDING LENGTH	17.00	55.76	16.50	54.12	16.50	54.12
BUILDING DEPTH	16.80	55.10	16.40	53.79	16.40	53.79
BUILDING HEIGHT	10.70	35.10	7.83	25.68	7.83	25.68

	(m <sup>2</sup> )	(ft <sup>2</sup> )	(m <sup>2</sup> )	(ft <sup>2</sup> )	(m <sup>2</sup> )	(ft <sup>2</sup> )
FLOOR AREAS						
BASEMENT			113.55	1221.76	132.13	1421.72
GROUND FLOOR			139.18	1497.54	157.76	1697.50
SECOND FLOOR			172.60	1857.18	172.60	1857.18
GROSS FLOOR AREA			311.78	3,354.72	330.36	3,554.67
LOT COVERAGE	33.33%		31%	158.12	1701.36	36.99%
DENSITY	N/R		0.00	0.00	0.00	0.00

\*\*\*N/R - NOT RESTRICTED

**NOTES:**  
 DRAWINGS MUST NOT BE SCALED.  
 DIMENSIONS TO BE READ IN CONJUNCTION WITH THE  
 GENERAL NOTES AND THE C.O.C.  
 ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST  
 BE IN ACCORDANCE WITH THE C.O.C. UNLESS OTHERWISE  
 SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE  
 SPECIFIED.  
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE  
 SPECIFIED.

This drawing has been reviewed and taken responsibility for  
 the design and the construction and meets the  
 requirements of the Building Code of Ontario.  
 I, the undersigned, certify that I am a duly qualified  
 professional engineer in the Province of Ontario.  
 JESSE SAMA  
 ENGINEER  
 SENNUS DESIGN & BUILD INC.  
 4554  
 B.C.T.N.  
 4724  
 B.C.T.N.

**ADDRESS:**  
 107 Woolten Way North,  
 Markham, ON

**PROJECT:**  
 ADDITION  
**SITE STATISTICS**

Date: 2019-03-14  
 Drawn By: R.C.  
 Checked By: A.E.  
 Scale: A0.2



**SENSUS DESIGN & BUILD INC**  
 1316 LAWRENCE AVE EAST, TORONTO ON  
 PH: 416-491-5100  
 FAX: 416-491-5103  
 EMAIL: info@sensusedesign.ca  
 www.sensusedesign.ca

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SENSUS DESIGN & BUILD INC  
 1315 LAWRENCE AVE EAST, TORONTO ON  
 M3A 2K4  
 PHONE: 416-291-1433  
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 www.sensusedesignandbuild.ca

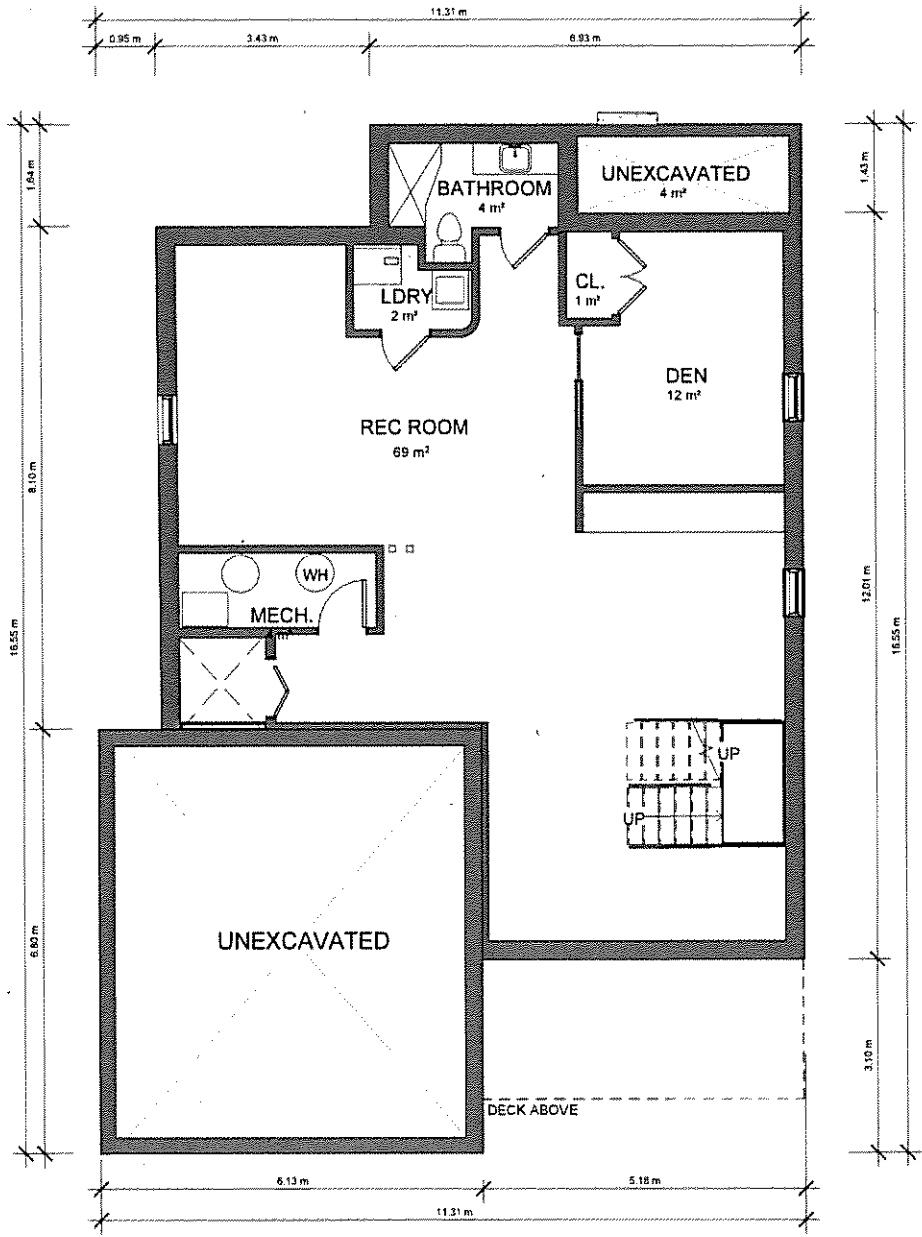
**NOTES:**  
 DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.  
 DIMENSIONS TO BE USED IN CONNECTION WITH THE GENERAL NOTES AND THE CODE.  
 AS A GUIDE, A SECTIONAL VIEW OF THE EXISTING STRUCTURE IS PROVIDED TO SHOW THE LOCATION OF THE EXISTING STRUCTURE AND THE LOCATION OF THE NEW STRUCTURE.  
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The undersigned has read and approved the drawings for the purpose of construction and is not responsible for the design of the building or the construction thereof.  
 JESSE SAHLMAN  
 ARCHITECT  
 SENSUS DESIGN & BUILD INC  
 B.C.C.M.  
 B.C.C.M.

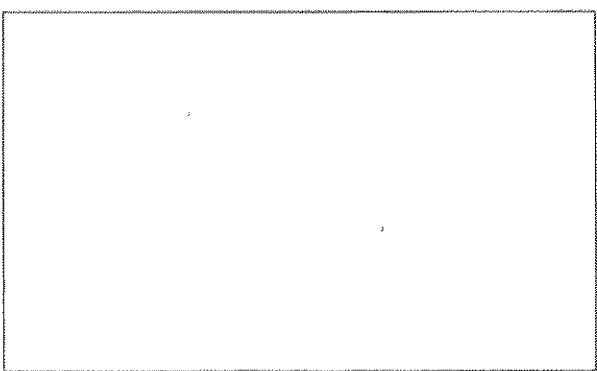
**ADDRESS:**  
 107 Wootton Way North,  
 Markham, ON

**PROJECT:**  
 ADDITION  
**EXISTING BASEMENT FLOOR PLAN**

Date: 2019-03-14  
 Drawn By: R.C.  
 Checked By: A.E.  
 Scale: 1/75



**1** EXISTING BASEMENT  
 1 : 75







**NOTES:**

1. DIMENSIONS SHOWN ARE NOT TO SCALE!  
2. DIMENSIONS FOR THE FLOOR PLAN SHALL BE TAKEN FROM THE CENTERLINE OF WALLS UNLESS OTHERWISE NOTED.  
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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DATE: 2019-03-14

SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN

DATE: 2019-03-14

DRAWN BY: R.C.

CHECKED BY: A.E.

SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN

DATE: 2019-03-14

DRAWN BY: R.C.

CHECKED BY: A.E.

SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN

DATE: 2019-03-14

DRAWN BY: R.C.

CHECKED BY: A.E.

SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN

DATE: 2019-03-14

DRAWN BY: R.C.

CHECKED BY: A.E.

SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN

DATE: 2019-03-14

DRAWN BY: R.C.

CHECKED BY: A.E.

SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN

DATE: 2019-03-14

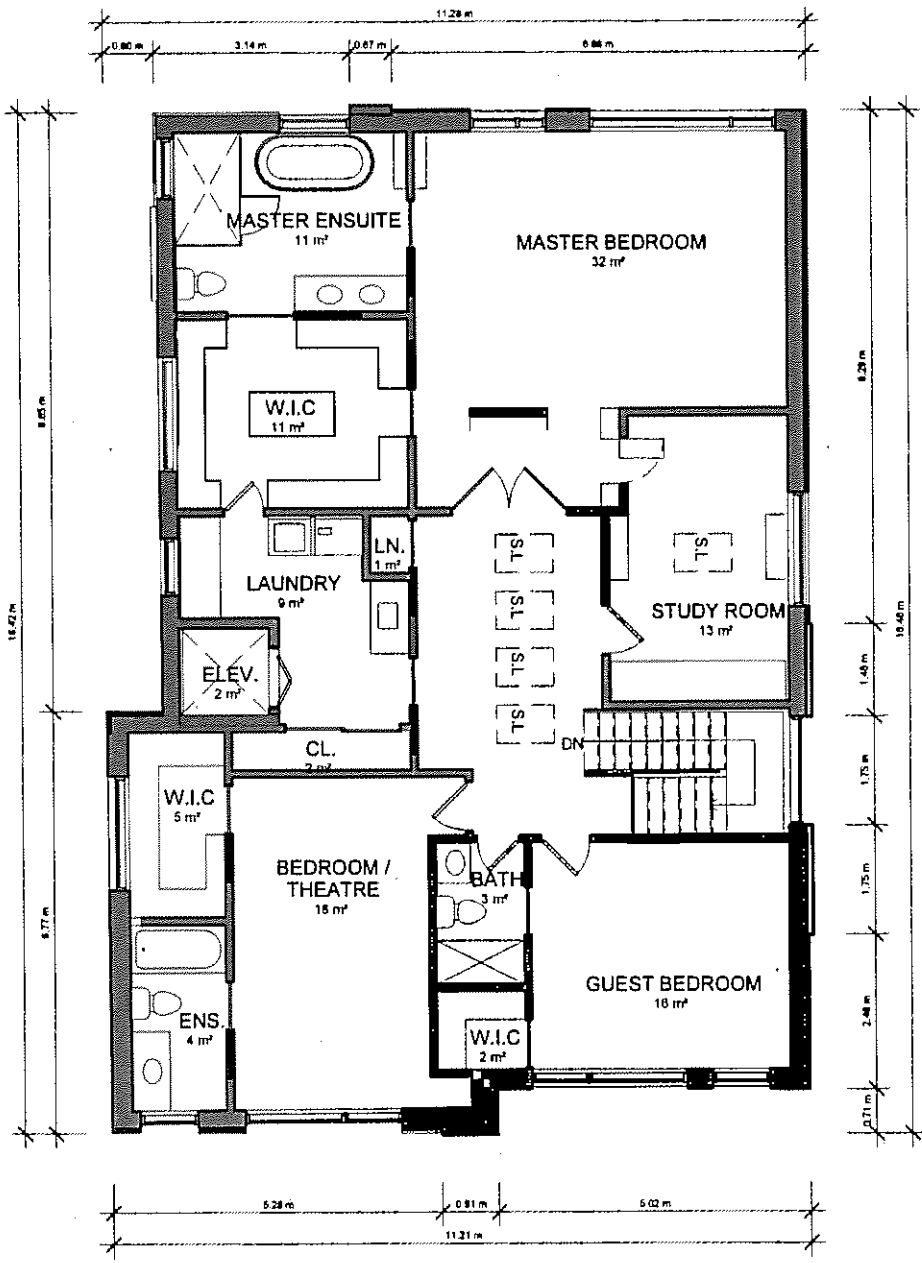
DRAWN BY: R.C.

CHECKED BY: A.E.

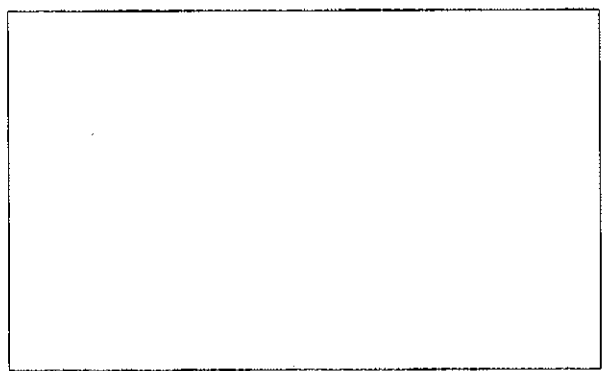
SCALE: 1:75

PROJECT: ADDITION

EXISTING SECOND FLOOR PLAN



1 EXISTING SECOND FLOOR  
1:75



**NOTES:**

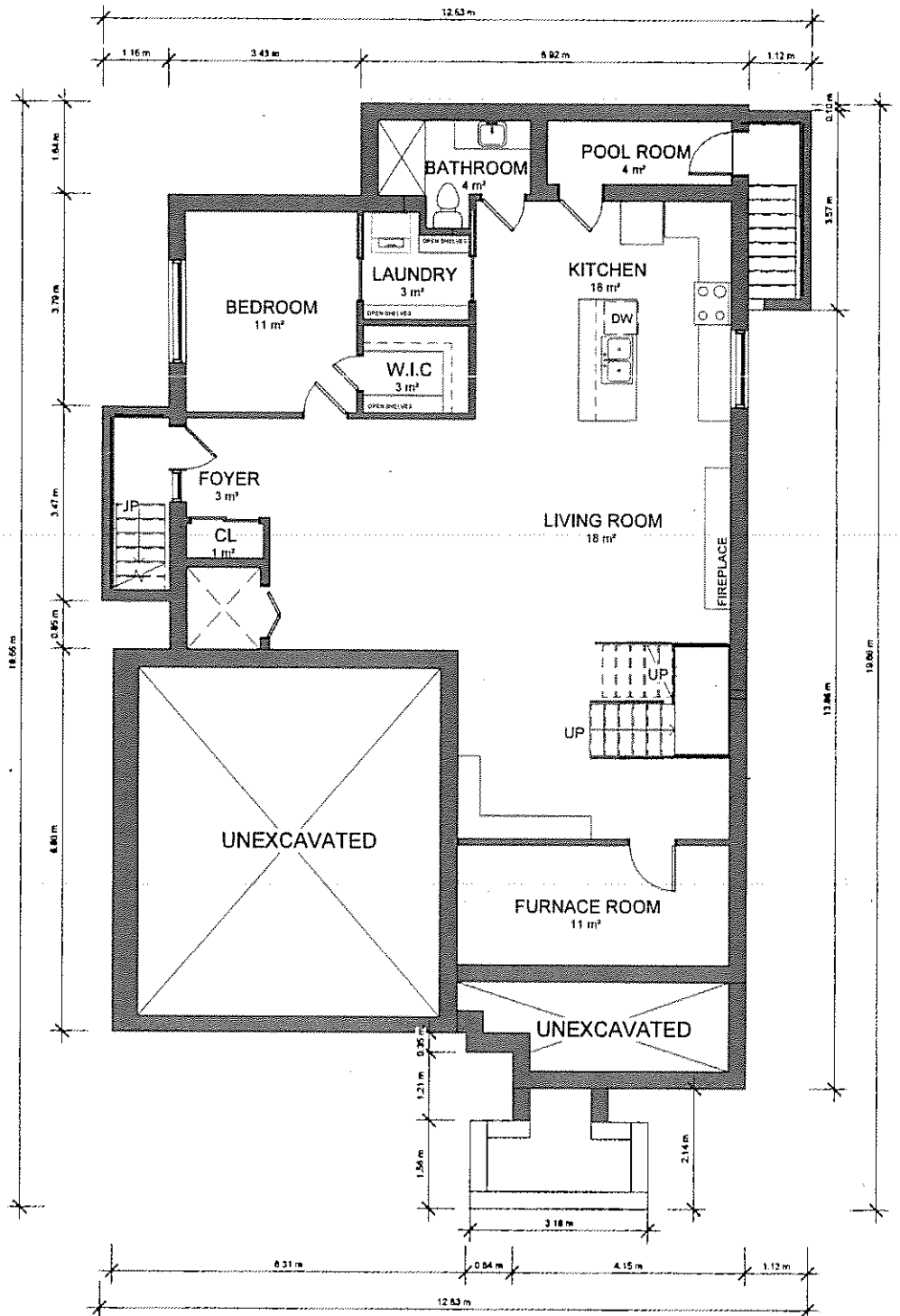
1. All dimensions are in meters unless otherwise specified.  
2. The contractor shall verify all dimensions and locations of existing conditions prior to construction.  
3. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.  
4. All work shall be completed in accordance with the approved drawings and specifications.  
5. The contractor shall maintain access to all existing services and structures at all times.  
6. The contractor shall be responsible for the removal and disposal of all waste materials.  
7. The contractor shall be responsible for the protection of all existing structures and services.  
8. The contractor shall be responsible for the safety of all workers and the public.  
9. The contractor shall be responsible for the completion of all work within the specified time frame.  
10. The contractor shall be responsible for the quality of all workmanship.

The undersigned has reviewed and approved the design for the proposed basement addition. This approval is based on the information provided and does not constitute a guarantee of the accuracy or completeness of the design. The contractor shall be responsible for the construction of the proposed basement addition in accordance with the approved drawings and specifications.

Professional Engineer  
Name: **ERNEST SAKALAK**  
Firm: **SENSUS DESIGN & BUILD INC.**  
Address: **107 Woodlark Way North, Markham, ON**

PROJECT: **ADDITION PROPOSED BASEMENT**

Date: 2019-01-11  
Drawn by: R.C.  
Checked by: A.E.  
Scale: 1:75



**1** PROPOSED BSMT PLAN  
1:75



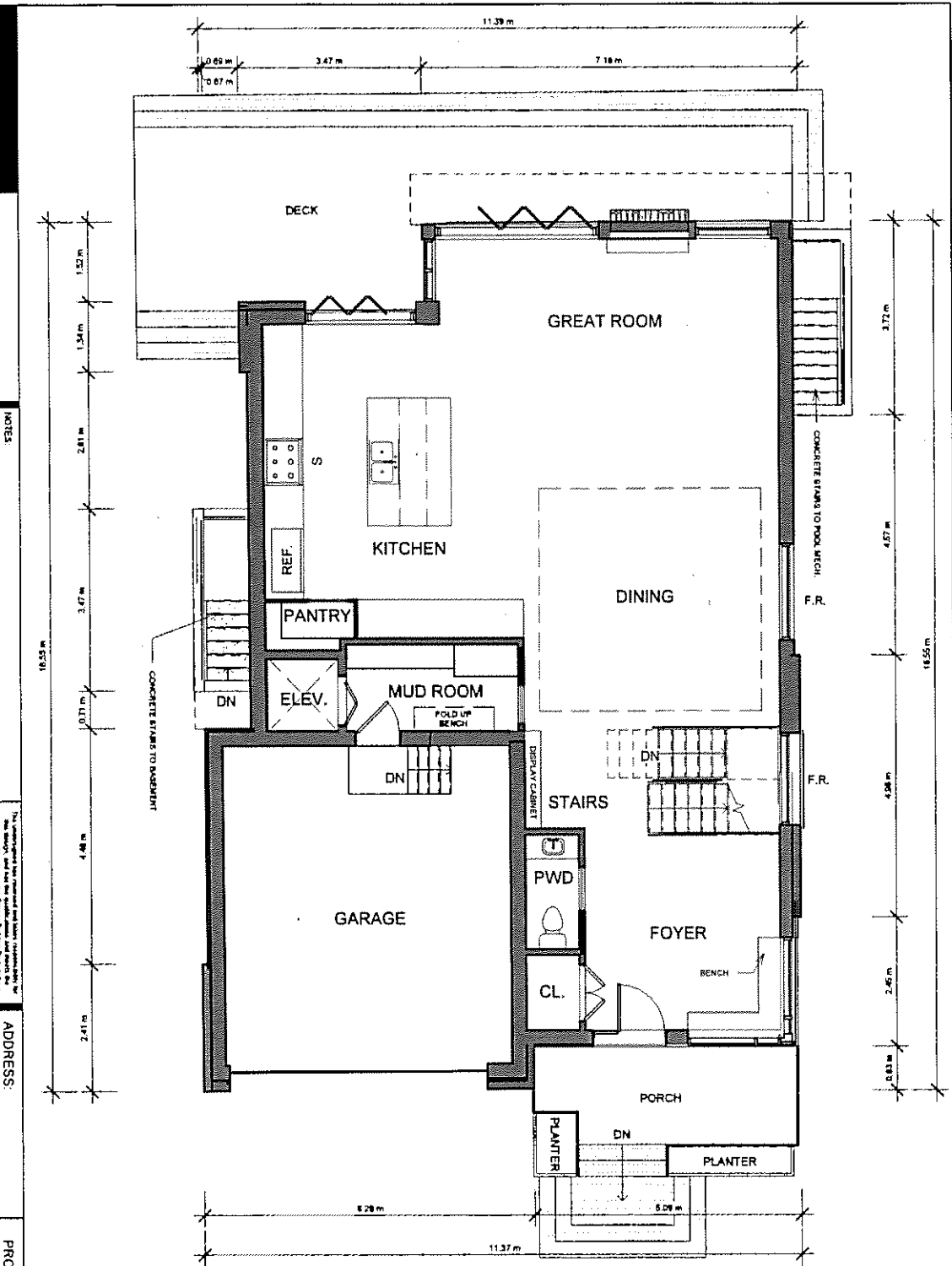
**NOTES:**  
DRAWINGS SHALL NOT BE SCALED  
CONTRACTOR TO VERIFY DIMENSIONS WITH THE  
OWNER AND ARCHITECT PRIOR TO CONSTRUCTION  
OF EACH STRUCTURE AND TO NOTIFY ARCHITECT  
OF ANY DISCREPANCIES IMMEDIATELY  
AFTER THE DISCOVERY OF SUCH DISCREPANCIES  
AND BEFORE PROCEEDING WITH CONSTRUCTION  
OF THE SAME  
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL  
NECESSARY PERMITS, LICENSES AND APPROVALS FROM ALL  
APPLICABLE AGENCIES AND TO COMPLY WITH ALL APPLICABLE  
REGULATIONS AND ORDINANCES AND TO OBTAIN ALL NECESSARY  
INSURANCE COVERAGE AND TO MAINTAIN THE SAME THROUGHOUT  
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Project Name: **107 Woodlawn Way North, Markham, ON**  
Client Name: **SENSUS DESIGN & BUILD INC.**  
Architect: **SENSUS DESIGN & BUILD INC.**  
Scale: **1:75**

**ADDRESS:**  
107 Woodlawn Way North,  
Markham, ON

**CLIENT NAME:**  
SENSUS DESIGN & BUILD INC.

**PROJECT:**  
ADDITION  
**PROPOSED GROUND FLOOR PLAN**



**1** PROP. GROUND FLR  
1 : 75

Date:	2019-04-03
Drawn By:	R.C.
Checked by:	A.E.
Scale:	1 : 75



**NOTES:**  
1. CONSULT THE ARCHITECT FOR ALL INFORMATION REGARDING THE PROJECT.  
2. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ARCHITECT'S OTHER PLANS AND SPECIFICATIONS.  
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4. ALL WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA.  
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6. ALL FINISHES ARE TO BE AS NOTED ON THE ARCHITECT'S OTHER PLANS.  
7. ALL MATERIALS ARE TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.  
8. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
9. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PROJECT SCHEDULE.  
10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PROJECT BUDGET.

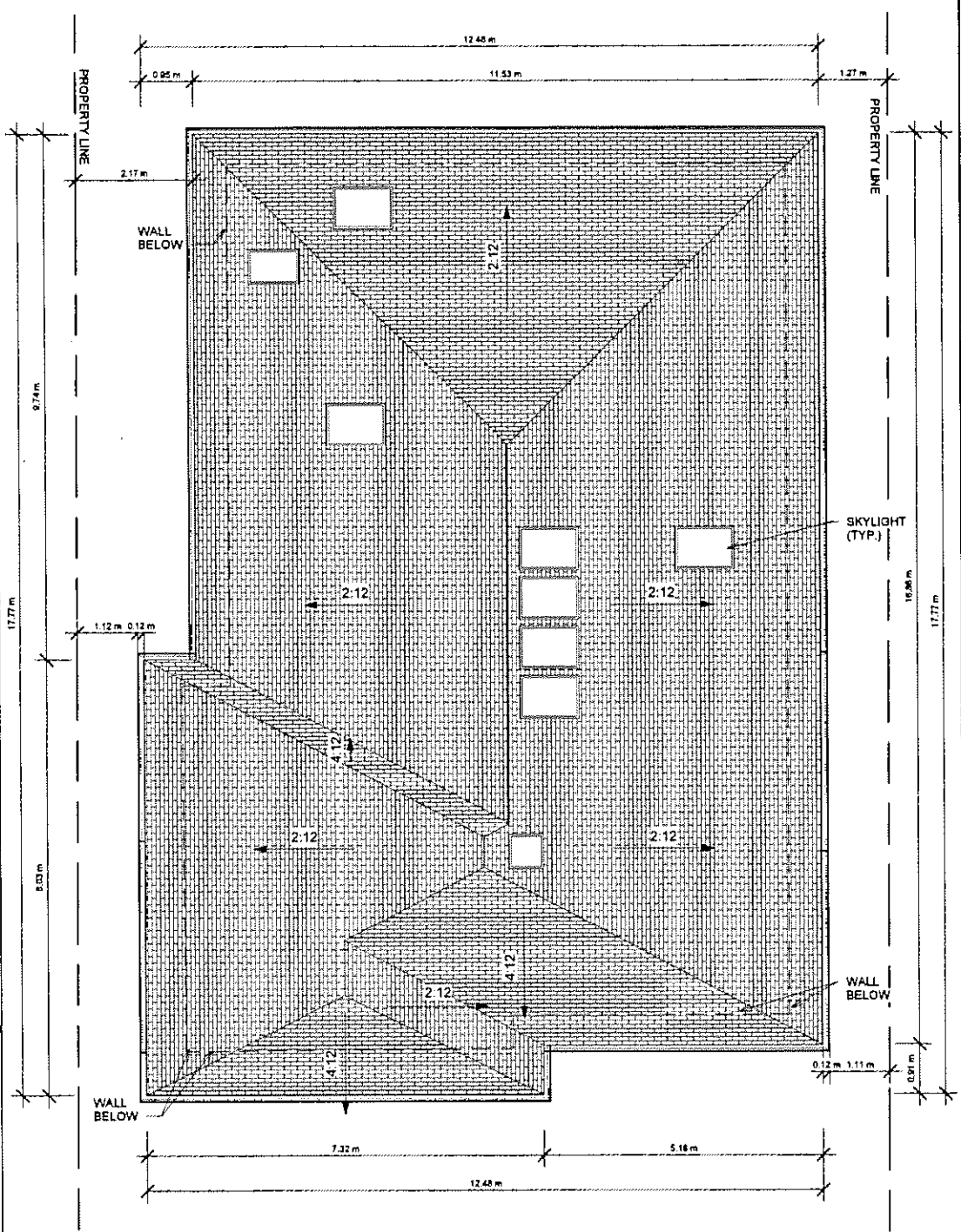
The Architect is not responsible for the construction of the building or for the safety of the building. The Architect is only responsible for the design of the building. The Architect is not responsible for the construction of the building or for the safety of the building. The Architect is only responsible for the design of the building.

**ADDRESS:**  
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Markham, ON

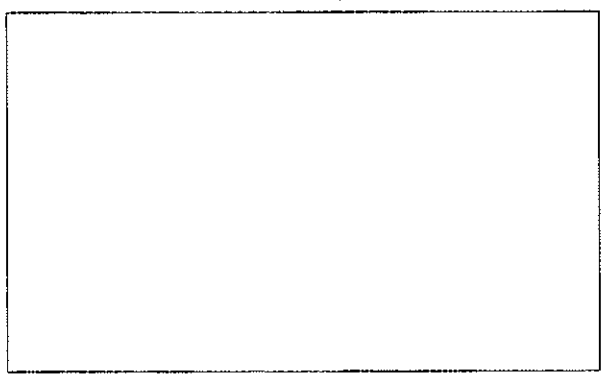
**CLIENT NAME:**  
[Redacted]

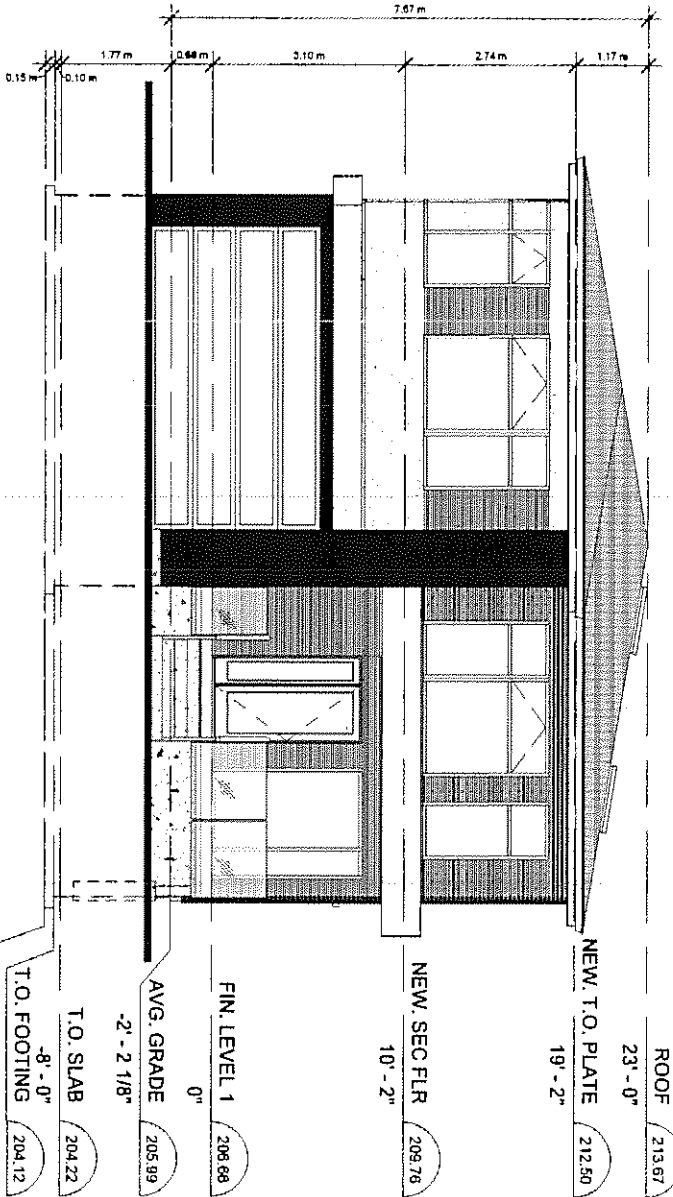
**PROJECT:**  
ADDITION  
**PROPOSED ROOF PLAN**

Date: 2018-04-03  
Drawn by: R.C.  
Checked by: A.E.  
Scale: 1:75



**1** PROPOSED ROOF PLAN  
1:75





1 EXISTING WEST ELEV.  
1 : 75

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
1315 LAWRENCE AVE EAST TORONTO ON  
M4M 4E7  
PHONE: 416-913-1423  
EMAIL: info@sensusdesignandbuild.ca  
www.sensusdesignandbuild.ca

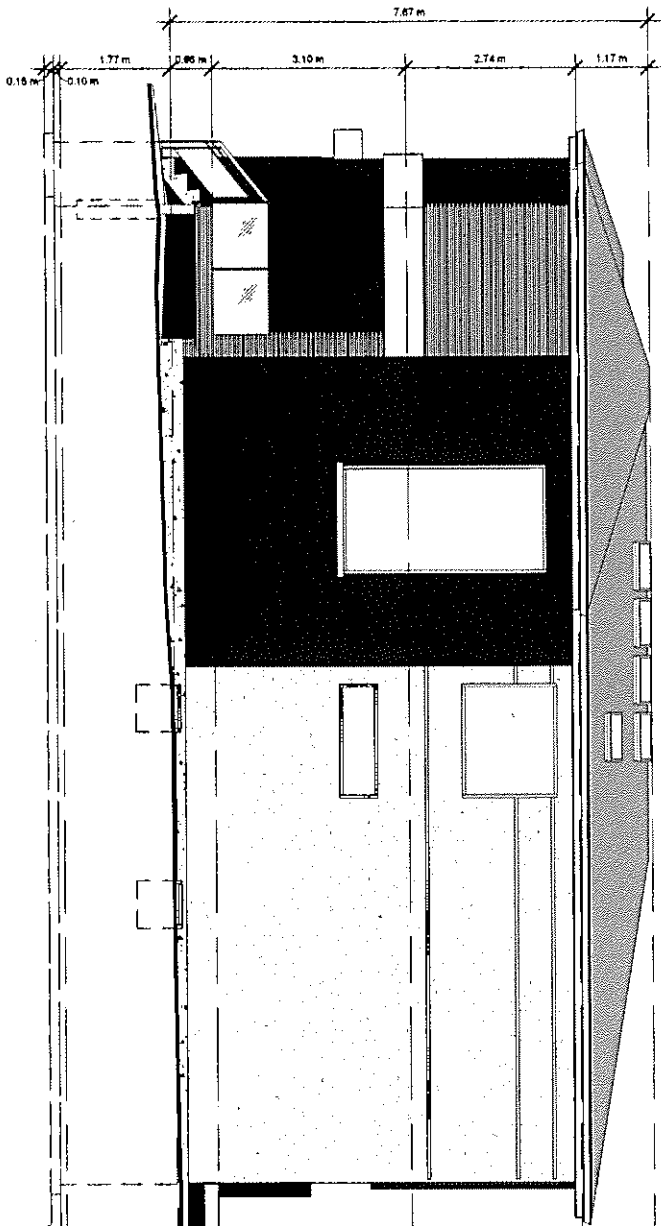
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2. THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.  
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4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR OTHER SOURCES.  
5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR THE QUALITY OF THE WORKMANSHIP.

The Architect is not responsible for the design and construction of the building and the client is responsible for obtaining all necessary permits and approvals from the local authorities. The Architect is not responsible for the construction of the project or the quality of the workmanship.

ADDRESS:  
107 Woodlawn Way North,  
Markham, ON

PROJECT:  
ADDITION  
EXISTING WEST  
ELEVATION

DATE: 2019-03-14  
DRAWN BY: R.C.  
CHECKED BY: A.E.  
SCALE: 1 : 75



1  
1 : 75  
EXISTING SOUTH ELEV.

ROOF	213.67
23' - 0"	
NEW, T.O. PLATE	212.50
19' - 2"	
NEW, SEC. FLR	209.76
10' - 2"	
FIN. LEVEL 1	208.69
0"	
AVG. GRADE	205.99
-2' - 2 1/8"	
T.O. SLAB	204.22
-8' - 0"	
T.O. FOOTING	204.12
-8' - 4"	
B.O. FOOTING	203.97
-8' - 10"	

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
1715 LAWRENCE AVE EAST TORONTO ON  
M4C 3S8  
PHONE: (416) 291-1433  
EMAIL: info@sensus.ca  
www.sensusdesignbuild.ca

**NOTES**

1. DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

The information on this plan and any other information contained herein is for informational purposes only and does not constitute a contract. The information on this plan and any other information contained herein is for informational purposes only and does not constitute a contract.

Project of record: 1715 Lawrence Ave East, Toronto, ON M4C 3S8

Client Name: Sensus Design & Build Inc

Architect: Sensus Design & Build Inc

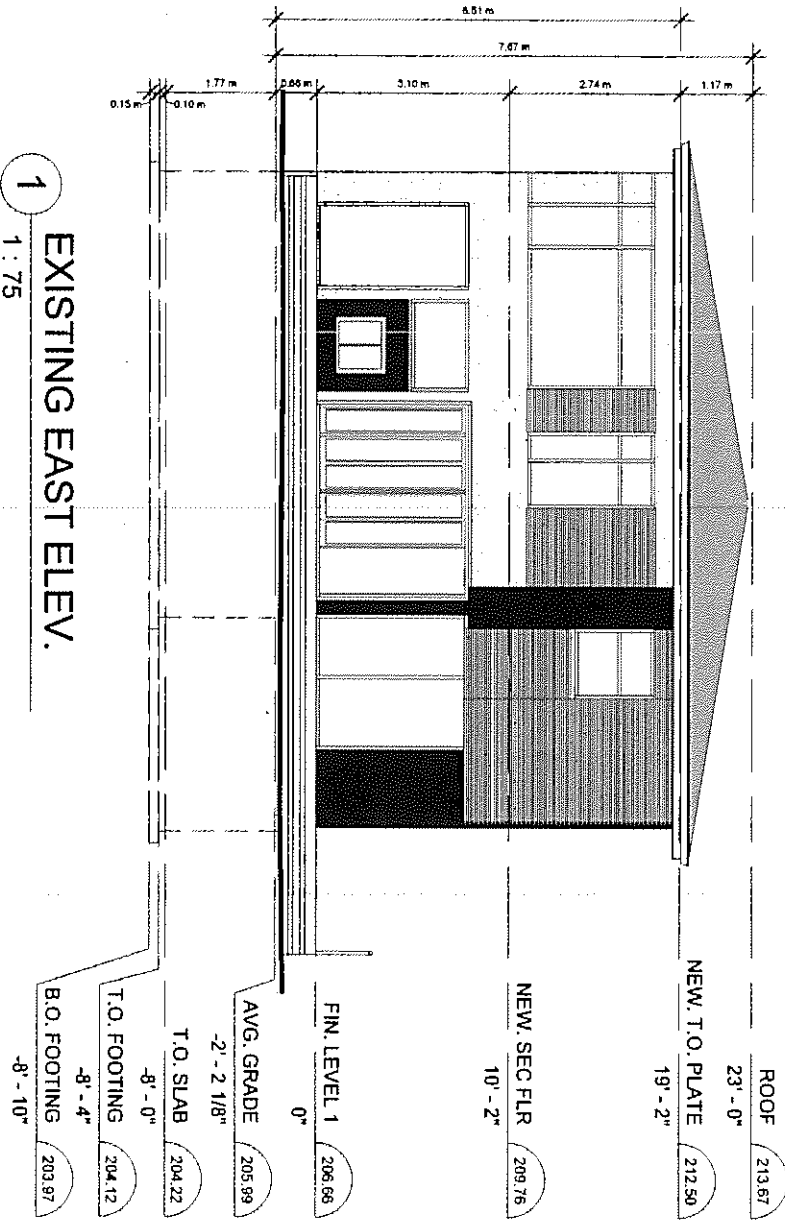
Scale: 1:75

ADDRESS:  
107 Woolton Way North,  
Markham, ON

CLIENT NAME:

PROJECT:  
ADDITION  
EXISTING SOUTH  
ELEVATION

Date: 2019-03-14  
Drawn by: R.C.  
Checked by: A.E.  
Scale: 1 : 75



**1**  
EXISTING EAST ELEV.  
1 : 75

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
1315 LAWRENCE AVE EAST TORONTO ON  
M5C 1K8  
PHONE: (416) 593-1433  
EMAIL: info@sensusdesign.ca  
www.sensusdesign.ca

**NOTES:**

1. CONSULT ARCHITECT'S SCALE DRAWINGS TO THE ELEVATION CONSTRUCTION WITH THE GENERAL NOTES AND THE G.D.C.

2. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS.

3. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.

4. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.

5. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.

Prepared by: **JESSE KAMMIE**  
Checked by: **BOB BROWN**  
Date: **4/28/14**  
Scale: **AS SHOWN**

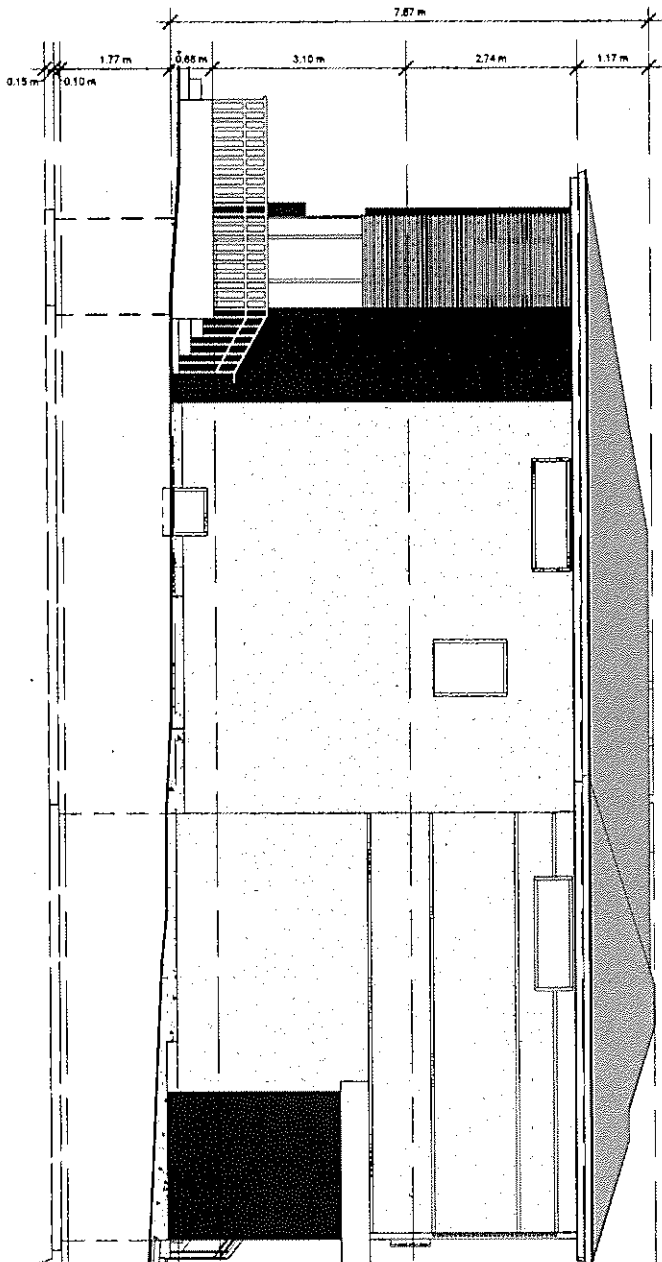
**ADDRESS:**  
107 Woodlawn Way North,  
Markham, ON

**CLIENT NAME:**

**PROJECT:**  
ADDITION  
EXISTING EAST  
ELEVATION

**Date:** 2019-03-14  
**Drawn by:** R.C.  
**Checked by:** A.E.  
**Scale:** 1 : 75





1  
1:75  
EXISTING NORTH ELEV.

ROOF	213.67
23' - 0"	212.50
NEW T.O. PLATE	212.50
19' - 2"	
NEW SEC FLR	208.76
10' - 2"	
FIN. LEVEL 1	206.66
0"	
AVG. GRADE	205.99
-2' - 2 1/8"	
T.O. SLAB	204.22
-8' - 0"	
T.O. FOOTING	204.12
-8' - 4"	
B.O. FOOTING	203.97
-8' - 10"	

**SENSUS DESIGN & BUILD**  
 SENSUS DESIGN & BUILD INC  
 1015 LAWRENCE AVE EAST TORONTO ON  
 M2M 1P4  
 TEL: 416-461-5100  
 FAX: 416-461-5101  
 WWW.SENSUSDESIGN.COM

**NOTES**

1. CONSULT THE ARCHITECT FOR ALL DIMENSIONS AND MATERIALS TO BE USED.

2. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECT'S CONTRACT DOCUMENTS.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND MATERIALS SHOWN ON THIS DRAWING.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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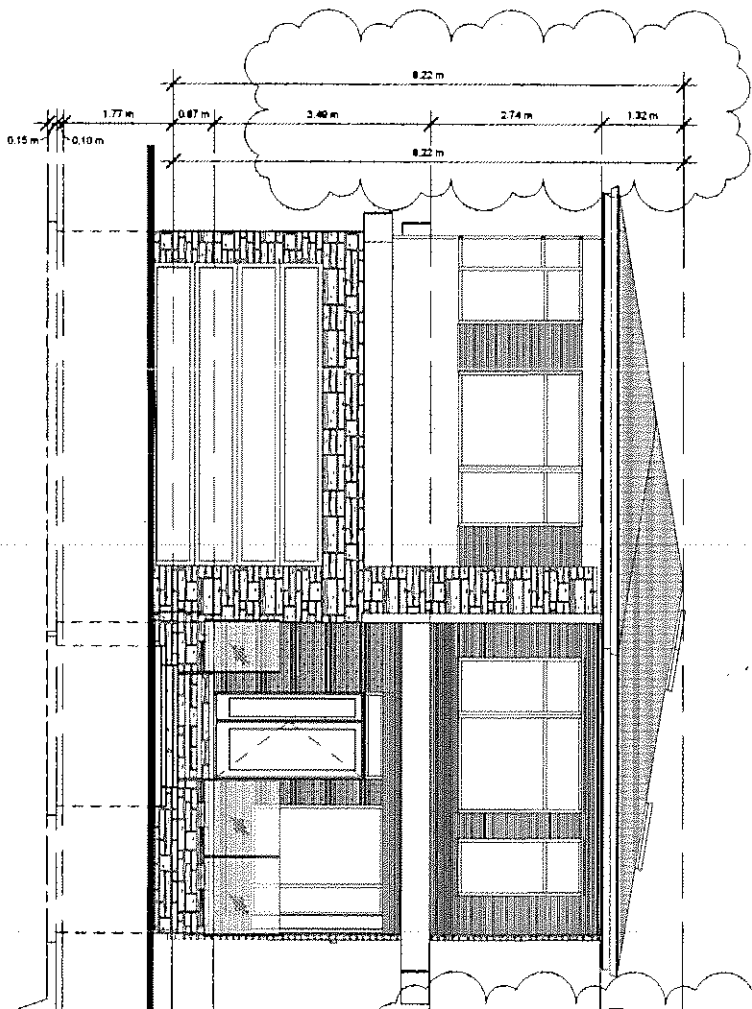
SENSUS DESIGN & BUILD INC.  
 ARCHITECT  
 1015 LAWRENCE AVE EAST  
 TORONTO, ONTARIO M2M 1P4  
 CANADA

**ADDRESS:**  
 107 Woodlawn Way North,  
 Markham, ON

**CLIENT NAME:**

**PROJECT:**  
 ADDITION  
 EXISTING NORTH  
 ELEVATION

**Date:** 2019-03-14  
**Drawn by:** R.C.  
**Checked by:** A.E.  
**Scale:** 1:75



**1**  
1 : 75  
**PROP WEST ELEV**

**PROPOSED ROOF PLAN** 214.21  
24' - 9 1/4"

**NEW U/S OF JOIST** 212.89  
20' - 5 1/4"

**NEW SEC FLR** 210.14  
11' - 5 1/4"

**FIN. LEVEL 1** 206.66  
0"

**AVG. GRADE** 205.99  
-2' - 2 1/4"

**T.O. SLAB** 204.22  
-8' - 0"

**T.O. FOOTING** 204.12  
-8' - 4"

**B.O. FOOTING** 203.97  
-8' - 10"

**SENSUS**  
DESIGN & BUILD

SENSUS DESIGN & BUILD INC  
1311 LAWRENCE AVE EAST TORONTO ON  
PHONE: 416-979-1433  
EMAIL: [info@sensusdesignandbuild.ca](mailto:info@sensusdesignandbuild.ca)  
www.sensusdesignandbuild.ca

**NOTES**

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The undersigned has read and approved the drawings for the design and construction of the building shown on the drawings and hereby certifies that the same conform to the requirements of the Ontario Building Code Act and the Ontario Building Code.

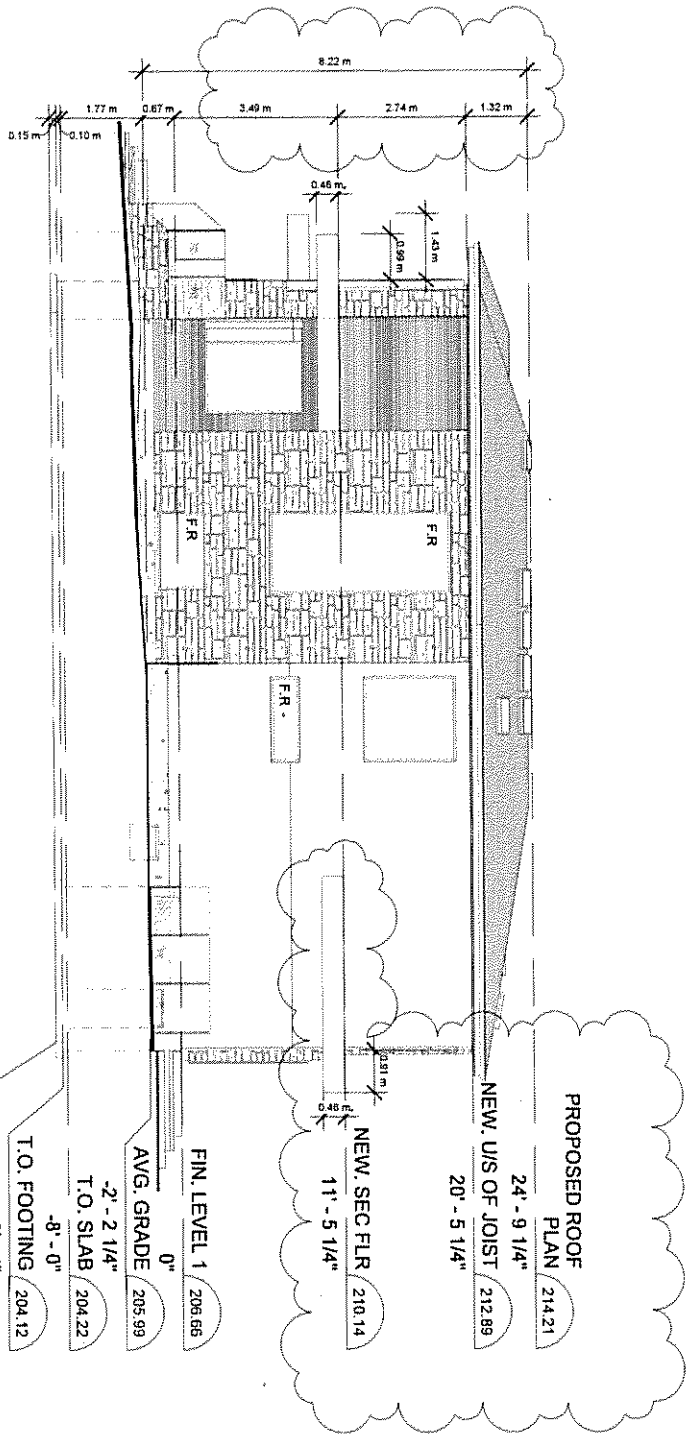
DATE: 2019-04-03  
SIGNATURE: JESSE KAMM  
NAME: JESSE KAMM  
FIRM: SENSUS DESIGN & BUILD INC.  
REG. NO.: 4449  
REG. TYPE: B.C.M.

**ADDRESS:**  
107 Woodlawn Way North,  
Markham, ON

**CLIENT NAME:**

**PROJECT:**  
ADDITION  
**PROPOSED WEST ELEVATION**

**Date:** 2019-04-03  
**Drawn by:** R.C.  
**Checked by:** A.E.  
**Scale:** 1 : 75



1 PROP SOUTH ELEV.  
1 : 100

**SENSUS DESIGN & BUILD INC**  
1315 LAWRENCE AVE EAST TORONTO ON  
M4M 4T8  
PHONE: 416-913-1424  
EMAIL: info@sensusedesignandbuild.ca  
www.sensusedesignandbuild.ca

**NOTES:**  
DRAWINGS MUST NOT BE SCALED  
DIMENSIONS TO BE FOUND IN CONSTRUCTION WITH THE  
GENERAL NOTES AND THE CD SET.  
AS A SERVICE & ADDITION TO OUR BEST DRAWING PRACTICE  
WE PROVIDE A 3D RENDERING OF THE PROPOSED DESIGN  
FOR YOUR REFERENCE. THIS IS NOT A CONTRACT DOCUMENT  
AND SHOULD NOT BE USED FOR CONSTRUCTION.  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL  
NECESSARY PERMITS, INCLUDING STREET CLOSURE, OR OTHER  
NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY  
PERMITS AND APPROVALS FROM THE APPROPRIATE  
AUTHORITIES. ALL DIMENSIONS ARE AS SHOWN UNLESS  
OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE  
UNLESS OTHERWISE SPECIFIED.

The design and drawings are the property of Sensus Design & Build Inc. and shall remain confidential. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Sensus Design & Build Inc.  
DESIGNER: JESSE SMYKAL  
DRAWN BY: JESSE SMYKAL  
CHECKED BY: JESSE SMYKAL  
DATE: 2019-04-03

ADDRESS:  
107 Woolhen Way North,  
Markham, ON

CLIENT NAME:

PROJECT:  
ADDITION  
PROPOSED SOUTH  
ELEVATION

Date: 2019-04-03  
Drawn by: R.C.  
Checked by: A.E.  
Scale: 1 : 100

**NOTES:**  
1. This drawing is the property of Sensus Design & Build Inc. It is to be used only for the project and location specified. No other use, reproduction, or distribution is permitted without the written consent of Sensus Design & Build Inc.  
2. All dimensions are in millimeters unless otherwise specified.  
3. All dimensions are to the centerline of the member unless otherwise specified.  
4. All dimensions are to the finished surface unless otherwise specified.  
5. All dimensions are to the centerline of the member unless otherwise specified.  
6. All dimensions are to the finished surface unless otherwise specified.

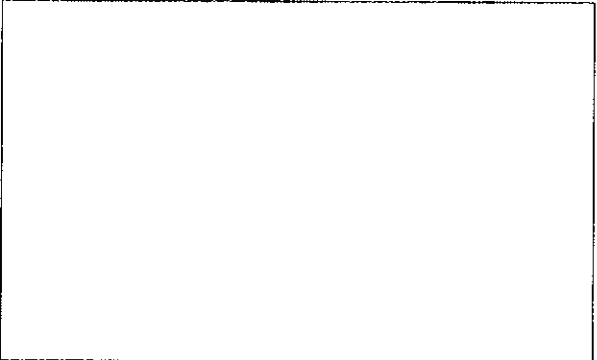
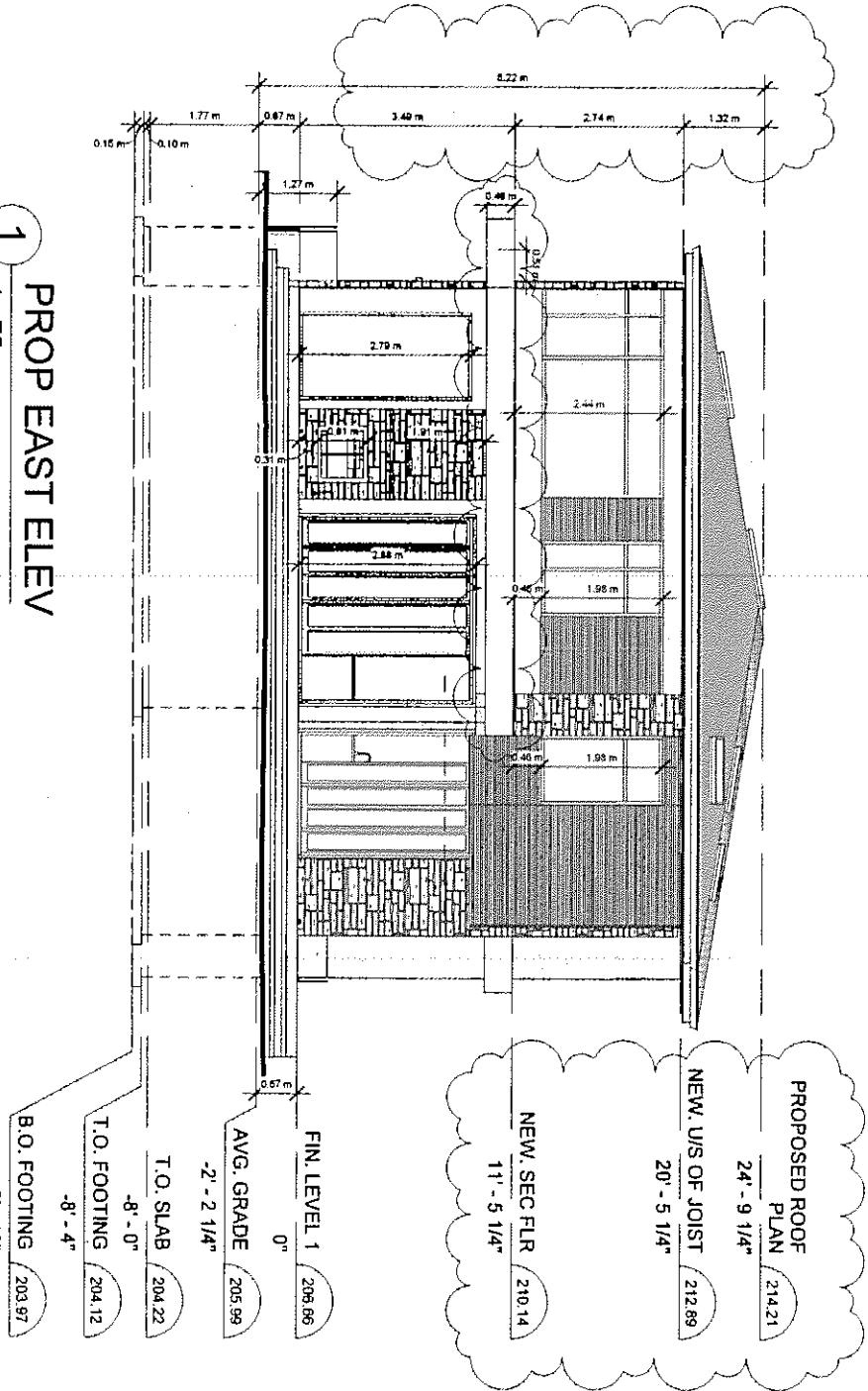
The design and construction of this building shall be in accordance with the Ontario Building Code and all applicable laws and regulations.  
JESSE SAMAN  
ARCHITECT  
SENSUS DESIGN & BUILD INC.  
4580 BLOOR ST. W.  
SCITAU ONTARIO

ADDRESS:  
107 Woodfin Way North,  
Markham, ON

PROJECT:  
ADDITION  
PROPOSED EAST  
ELEVATION

Date: 2019-04-03  
Drawn by: R.C.  
Checked by: A.E.  
Scale: 1:75

1  
PROP EAST ELEV  
1:75



**NOTES:**  
1. CONSULTING NOTATION TO BE SQUARE  
2. DIMENSIONS TO BE READ IN CONJUNCTION WITH THE  
GENERAL NOTES AND THE SPEC.  
3. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE  
IN METERS AND SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.  
10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE  
NOTED.

The undersigned hereby certifies that the drawings  
submitted are true and correct copies of the original  
drawings as shown to the Ontario Building Code in its  
entirety.  
Professional Engineer  
Name: JESSIE SZYMANKO  
No. 12345  
Date: 2019-04-03  
Sensus Design & Build Inc.  
P. Eng.

**ADDRESS:**  
107 Woodlawn Way North,  
Markham, ON

**CLIENT NAME:**

**PROJECT:**  
ADDITION  
PROPOSED NORTH  
ELEVATION

**Date:** 2019-04-03  
**Drawn By:** R.C.  
**Checked by:** A.E.  
**Scale:** 1 : 100  
**A2.8**

**1**  
**PROP NORTH ELEV**  
1 : 100

