

Memorandum to the City of Markham Committee of Adjustment

August 19, 2019

File: A/32/19
Address: 14 Buttonfield Rd, Markham
Applicant: Yue Sun & Zhang Ying
Agent: Henry He
Hearing Date: August 28, 2019

The following comments are provided on behalf of the Central Team:

The applicant is requesting relief from the following requirements of By-law 118-79, R6 as amended:


a) Section 6.1 & 7.1.1:

a second dwelling unit/basement apartment, whereas the By-law permits no more than one single detached dwelling unit on a lot; as it relates to a proposed basement apartment.

Comments

The applicant requested deferral to address concerns from the neighbours. Therefore, Staff recommends this application be deferred sine die.

PREPARED BY:



Aqsa Malik, Planner I, East District

REVIEWED BY:

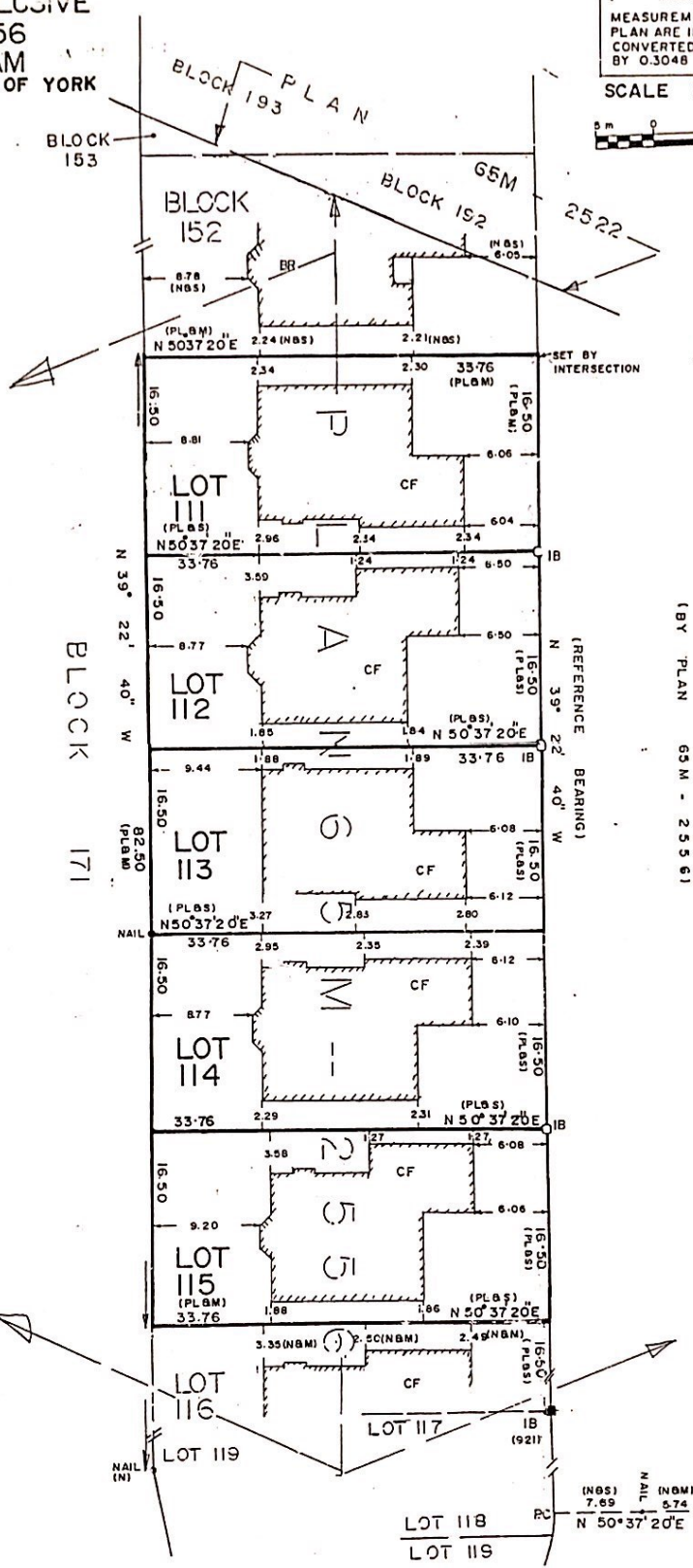
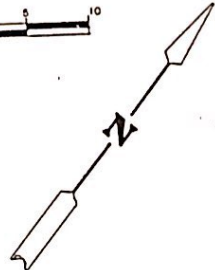


Stephen Lue, Interim Development Manager, Central District
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BUILDING LOCATION SURVEY
 LOTS III TO I15 INCLUSIVE
 PLAN 65M-2556
 TOWN OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK

METRIC
 MEASUREMENTS SHOWN ON THIS
 PLAN ARE IN METRES AND MAY BE
 CONVERTED TO FEET BY DIVIDING
 BY 0.3048

SCALE 1:400



BUTTONFIELD ROAD
 (BY PLAN 65M-2556)

LEGEND

- ⊙ DENOTES SURVEY MONUMENT SET
- DENOTES SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- DENOTES FOUND TEMPORARY WITNESS MONUMENT BY P.SALNA CO. LTD., O.L.S.
- N DENOTES NOTES BY P.SALNA CO. LTD., O.L.S.
- PL DENOTES PLAN 65M-2526
- S DENOTES SET
- M DENOTES MEASURED
- C DENOTES CALCULATED
- CF DENOTES CONCRETE FOUNDATION WALLS
- BR DENOTES 2 STOREY BRICK DWELLING
- (921) DENOTES P.SALNA CO. LTD., O.L.S.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY
 THAT THE FIELD SURVEY REPRESENTED
 ON THIS PLAN WAS COMPLETED ON THE
 2nd DAY OF APR., 1988

DATE: JULY 08, 1988

R. Salna
 R. SALNA
 ONTARIO LAND SURVEYOR

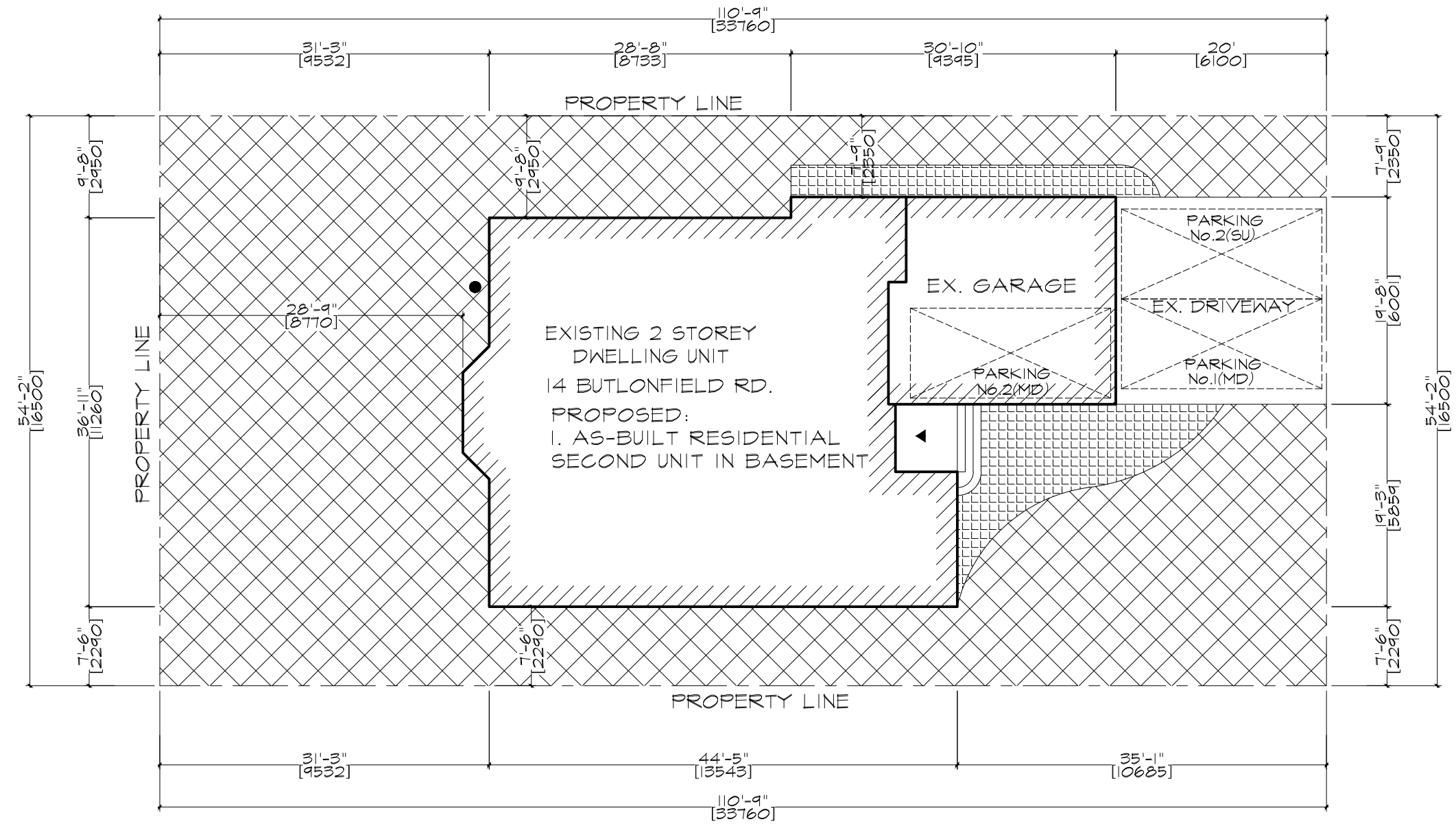
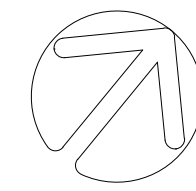
NOTES

BEARINGS ARE ASTRONOMIC AND
 ARE DERIVED FROM THE SOUTH WEST
 LIMIT OF BUTTONFIELD ROAD
 AS SHOWN ON REGISTERED
 PLAN 65M-2556
 HAVING A BEARING OF N 39° 22' 40" W

P.SALNA COMPANY LTD.
 ONTARIO LAND SURVEYORS

10225 YONGE STREET
 RICHMOND HILL, ONTARIO, L4C-3B2

NORTH



SITE PLAN 1:150

DESCRIPTION	FLOOR AREA	TOTAL	SETBACKS	NO CHANGE
GROUND FLOOR	144.9M ²	431.7M ²	FRONT YARD	6100mm
SECOND FLOOR	138.1M ²		REAR YARD	8770mm
BASEMENT	148.7M ²	28.9%	INTERIOR SIDE(NORTH)	2350mm
SECOND UNIT	124.7M ²		INTERIOR SIDE(SOUTH)	2290mm

LEGEND

- ▨ PARKING SPACE :2600X5800
- ▩ SOFT LANDSCAPE ◦ DOWN PIPE
- ▲ ENTRANCE OF MAIN DWELLING UNIT
- ENTRANCE OF SECOND DWELLING UNIT
- ▤ WALK WAY(WIDTH:1200mm)



NOBLE ELITE SOLUTIONS LTD
 2130 NORTHPARK DR.,
 UNIT 249, BRAMPTON, ON
 INFO@NOBLELTD.CA
 (437)888 1800
 (905)782 5261

PROJECT ADDRESS:
 14 BUTLONFIELD RD.,
 MARKHAM

PROJECT NUMBER: 18166

DRAWING SHEET: SITE PLAN

SCALE: 1:150

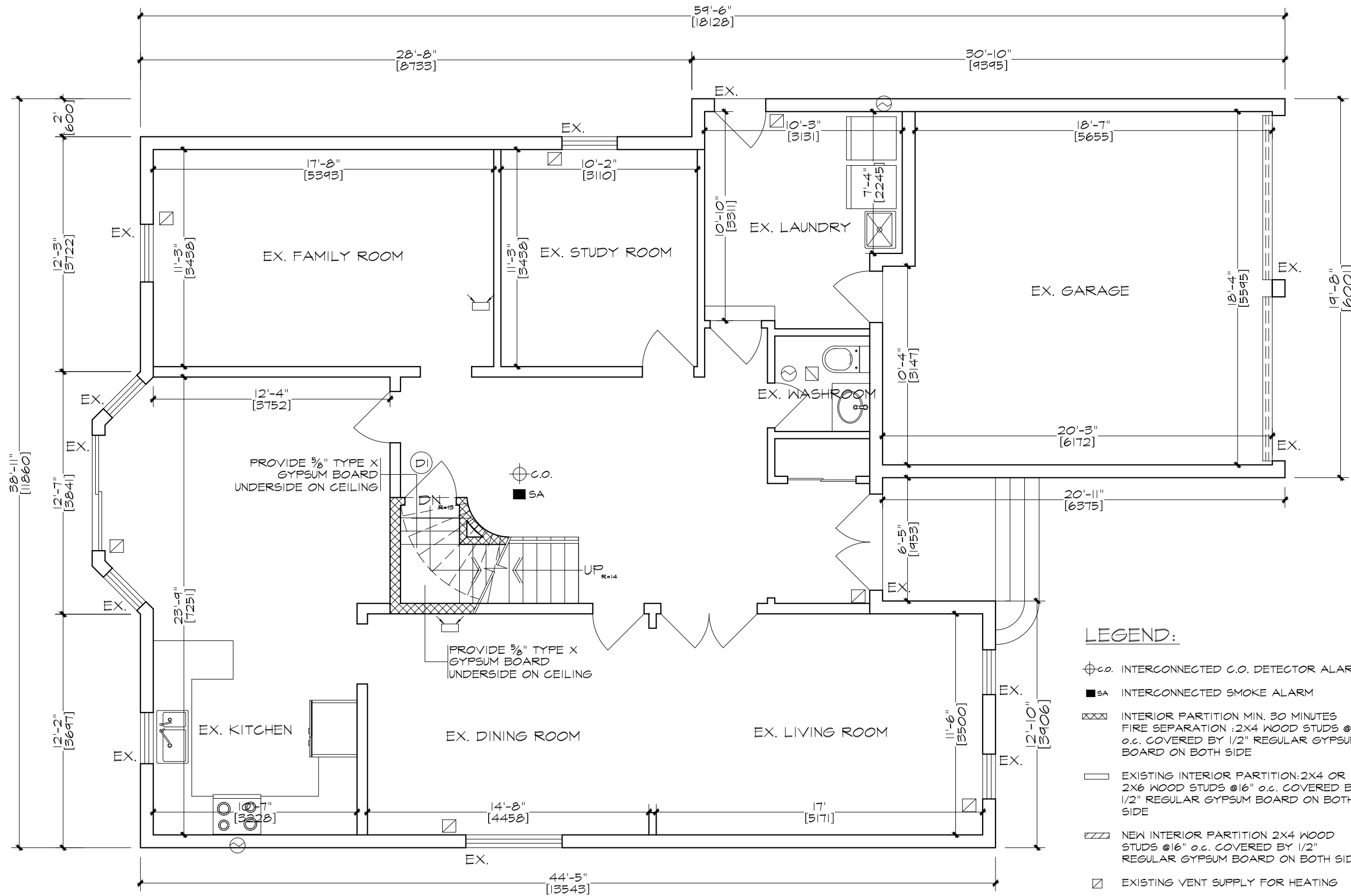
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GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

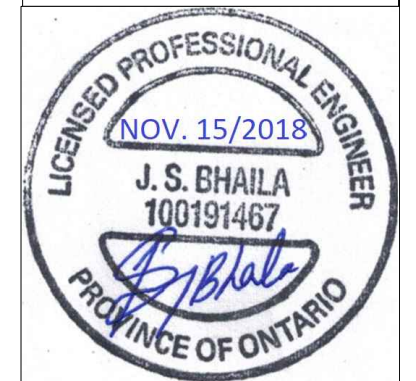
DOOR & WINDOW SCHEDULE

No.	SIZE	DESCRIPTION
(D)	32"X80"	FIRE DOOR(20 MIN) WITH SELF CLOSER

LEGEND:

- ⊕ c.o. INTERCONNECTED C.O. DETECTOR ALARM
- SA INTERCONNECTED SMOKE ALARM
- ▨ INTERIOR PARTITION MIN. 30 MINUTES FIRE SEPARATION :2X4 WOOD STUDS @16" o.c. COVERED BY 1/2" REGULAR GYPSUM BOARD ON BOTH SIDE
- ▭ EXISTING INTERIOR PARTITION:2X4 OR 2X6 WOOD STUDS @16" o.c. COVERED BY 1/2" REGULAR GYPSUM BOARD ON BOTH SIDE
- ▨ NEW INTERIOR PARTITION 2X4 WOOD STUDS @16" o.c. COVERED BY 1/2" REGULAR GYPSUM BOARD ON BOTH SIDE
- ⊠ EXISTING VENT SUPPLY FOR HEATING
- ⊙ EXHAUST VENT
- ⌞ EXISTING LOWER WALL AIR RETURN
- ⌘ EXISTING HIGH WALL AIR RETURN

KEEP EXISTING 1/2" DRYWALL INTERIOR CEILING(15 MIN HORIZONTAL FIRE SEPARATION)



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GROUND FLOOR PLAN

SCALE: 3/16" = 1'-0"

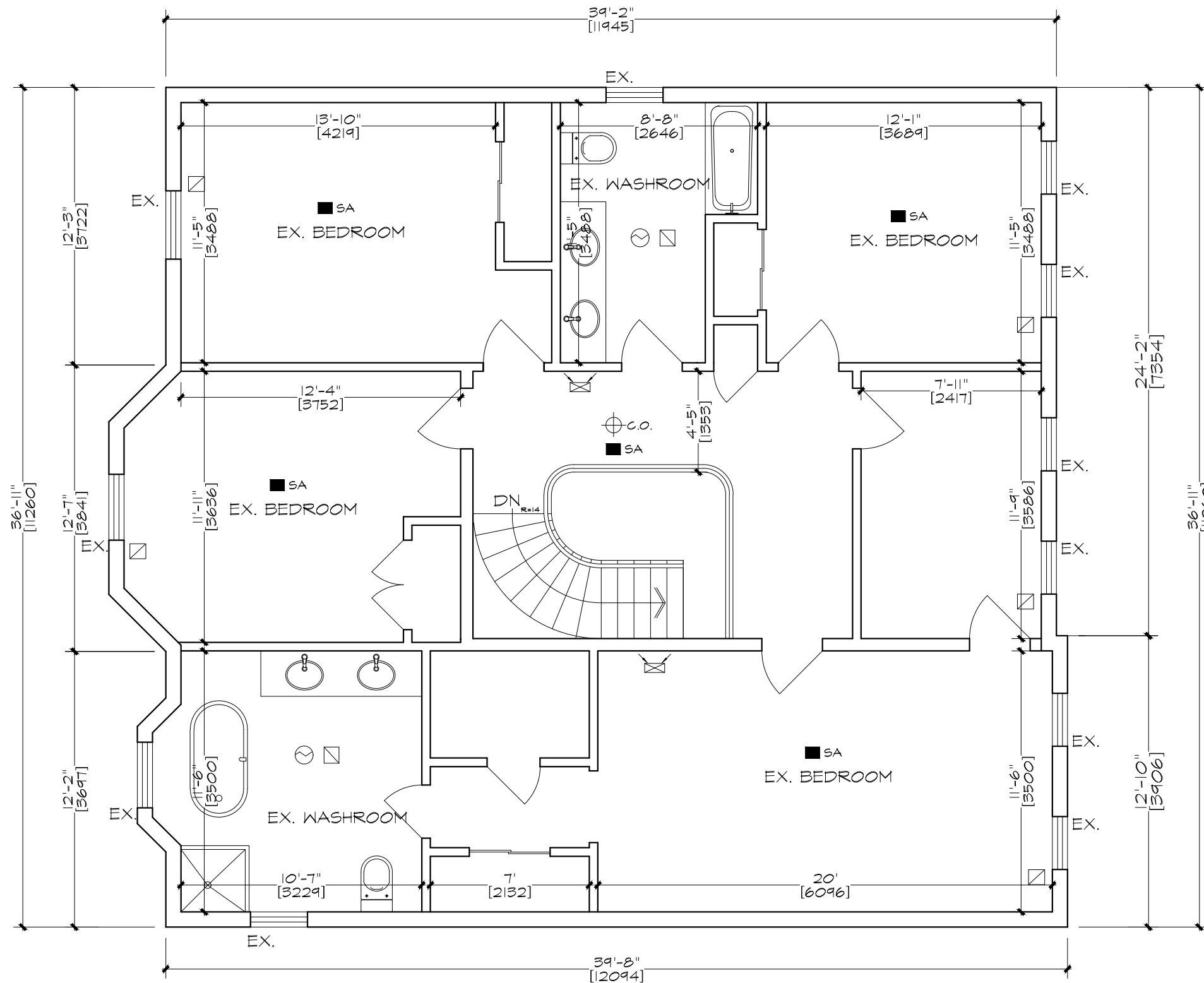
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LEGEND:

- ⊕ C.O. INTERCONNECTED C.O. DETECTOR ALARM
 - SA INTERCONNECTED SMOKE ALARM
 - ▤ INTERIOR PARTITION MIN. 30 MINUTES FIRE SEPARATION :2X4 WOOD STUDS @16" o.c. COVERED BY 1/2" REGULAR GYPSUM BOARD ON BOTH SIDE
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 - ⊠ EXISTING VENT SUPPLY FOR HEATING
 - ⊙ EXHAUST VENT
 - ⊞ EXISTING LOWER WALL AIR RETURN
 - ⊞ EXISTING HIGH WALL AIR RETURN
- KEEP EXISTING 1/2" DRYWALL INTERIOR CEILING(15 MIN HORIZONTAL FIRE SEPARATION)

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



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SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

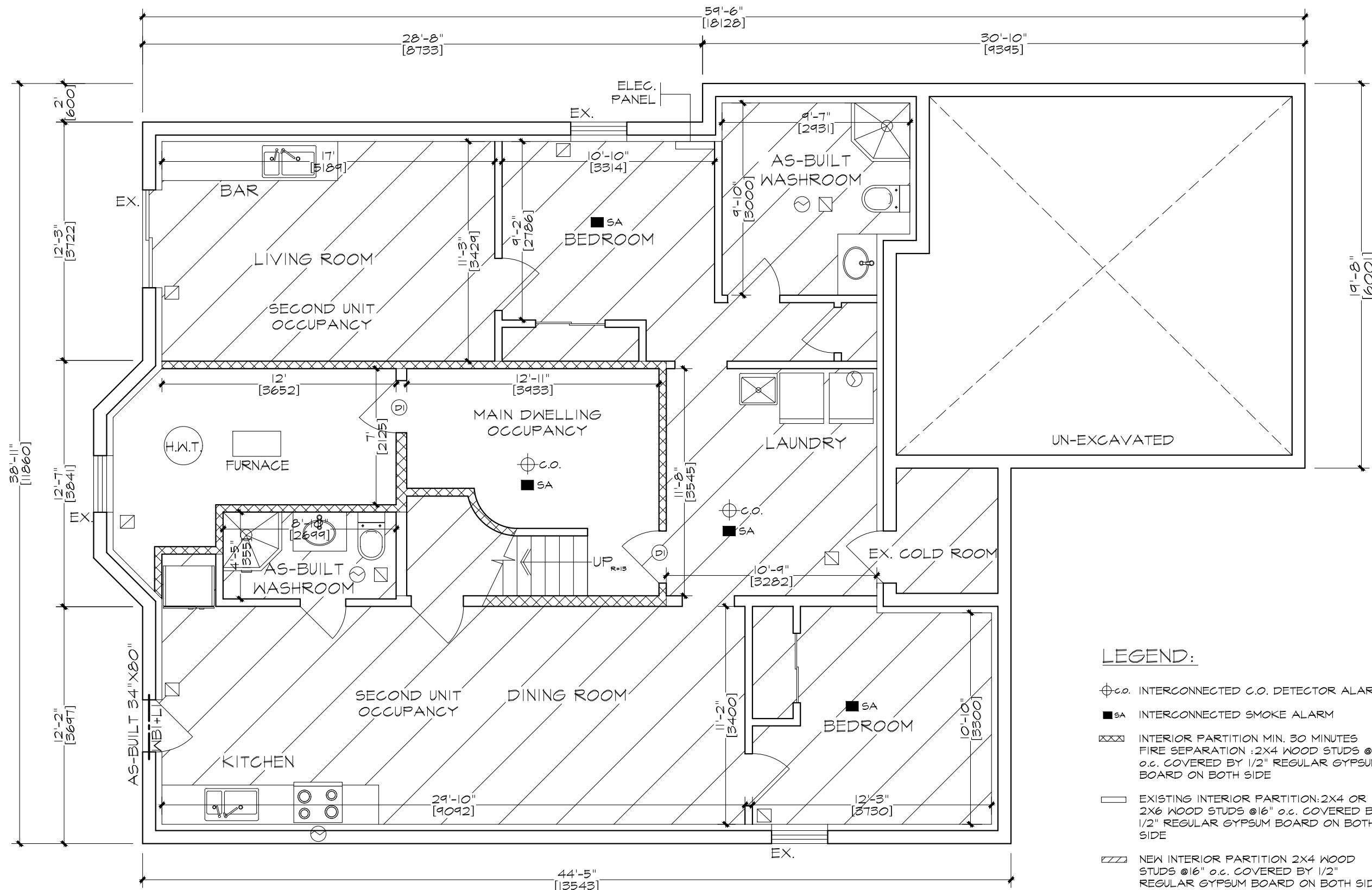
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DOOR & WINDOW SCHEDULE

No.	SIZE	DESCRIPTION
(D)	32"x80"	FIRE DOOR (20 MIN) WITH SELF CLOSER

WOOD LINTEL SCHEDULE

Code	UP TO	DESCRIPTION	SIZE
WB1	3'-6"	OPENING	3-2"x6"
WB2	5'-6"	OPENING	3-2"x8"
WB3	6'-6"	OPENING	3-2"x10"
WB4	7'-6"	OPENING	3-2"x12"

STEEL LINTEL SCHEDULE

Code	UP TO	DESCRIPTION	SIZE
L1	4'-6"	OPENING	L 3 1/2"x3 1/2"x3/8"
L2	5'-6"	OPENING	L 4"x3 1/2"x3/8"
L3	6'-6"	OPENING	L 5"x3 1/2"x3/8"
L4	7'-6"	OPENING	L 5"x3 1/2"x3/8"
L5	9'-10"	OPENING	L 6"x4"x3/8"
L6	11'-0"	OPENING	L 7"x4"x3/8"

BASEMENT PLAN

SCALE: 3/16" = 1'-0"

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KEEP EXISTING 1/2" DRYWALL INTERIOR CEILING (15 MIN HORIZONTAL FIRE SEPARATION)



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BASEMENT PLAN

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