

Memorandum to the City of Markham Committee of Adjustment

May 15, 2019

File: A/44/19
Address: 30 Rothsay Rd, Thornhill
Applicant: Bicheng Wang & Man Jiang Yu
Agent: Modular Home Additions Inc (Milan Lukovic)
Hearing Date: Wednesday May 29, 2019

The following comments are provided on behalf of the West Team:

The applicant is requesting relief from the following requirements of By-law 2150, R3A as amended:

a) **Section 6.1 (Building Height):**

a maximum building height of 25 ft 9 in (7.85 m), whereas the By-law permits a maximum building of 25 ft (7.62 m) from established grade to the mean level between the eaves and the ridge of the sloping roof;

b) **Section 6.1 (Side Yard Setback):**

a minimum westerly side yard setback of 4.56 ft (1.39 m), whereas the By-law requires a minimum side yard setback for a 2nd storey of 6 ft (1.82) on each side;

c) **Section 3.7 (Permitted Yard Encroachment):**

a maximum unenclosed roofed porch encroachment of 60 in (5 ft), whereas the By-law permits a maximum encroachment of 18 in (1.5 ft) into the required front yard setback;

as they relate to a proposed second storey addition to an existing single detached residential dwelling.

BACKGROUND

Property Description

The 695.88 m² (7,490.4 ft²) subject property is located on the north side of Rothsay Road, South of Highway 7 and west of Bayview Avenue. The property is located within a residential neighbourhood comprised of a mix of one and two-storey detached dwelling. There is an existing one-storey detached 158.59 m² (1,707.05 ft²) dwelling on the property, which according to assessment records was constructed in 1996. Mature vegetation exists across the property.

Proposal

The applicant is proposing to construct a 153.29 m² (1,650 ft²) addition above the existing one-storey detached dwelling. The proposal also includes alterations to the interior and exterior of the existing one-storey detached dwelling.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the 2014 Official Plan outlines development criteria for the 'Residential – Low Rise' designation with respect to height, massing and setbacks. This criteria is established to ensure that the development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street. In considering applications for development approval in a 'Residential Low

Rise' area, which includes variances, infill development is required to meet the general intent of these development criteria. Regard shall also be had for retention of existing trees and vegetation, the width of proposed garages and driveways and the overall orientation and sizing of new lots within a residential neighbourhood.

Zoning By-Law 2150

The subject property is zoned R3A 'Third Density Single Family Residential' under By-law 2150, as amended, which permits a single detached dwelling. The proposal does not comply with the by-law with respect to maximum building height, minimum westerly side yard setback and, permitted yard encroachment into the required yard.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, "*existing site conditions*".

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR) on April 23, 2019 to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Increase in Maximum Building Height

The applicant is requesting relief to permit a maximum building height of 25.75 ft (7.85 m), whereas the By-law permits a maximum building height of 25 ft (7.62 m). This represents an increase by approximately 0.75 ft (0.23 m) or, approximately 3 percent. Staff are of the opinion that the requested variance is minor in nature.

Reduced Westerly Side Yard Setback

The applicant is requesting a minimum westerly side yard setback of 4.56 ft (1.39 m) for the two-storey portion of the dwelling, whereas the By-law requires a minimum westerly side yard setback of 6 ft (1.82) for the two-storey portion of the dwelling.

The requested variance only applies to the two-storey portion above the existing garage and does not span the full length of the proposed dwelling. The remainder of the home maintains a setback of approximately 23.4 ft (7.13 m) from the west property line. Engineering staff have reviewed the application and have no concern with the variance respecting drainage. Given that the main floor complies with the minimum side yard setback requirement and that the requested variance only applies to the portion above the existing garage, Staff are of the opinion that the requested variance is minor in nature.

Increase in Unenclosed Roofed Encroachment

The applicant is requesting a maximum unenclosed roofed porch encroachment of 60 in (5 ft), into the front yard, whereas the By-law permits a maximum roofed porch encroachment of 18 in

(1.5 ft) into the required front yard setback. Given that the porch is unenclosed and maintains the permitted front and side yard setbacks, it will not add to the overall massing of the building. Staff are of the opinion that the requested variance is appropriate for the development of the site.

PUBLIC INPUT SUMMARY

No written submissions were received as of May 15, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

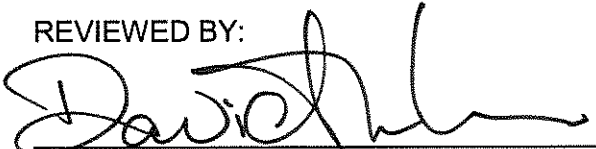
Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



David Miller, Development Manager, West District


File Path: Amanda\File\19 119418 \Documents\District Team Comments Memo

APPENDIX "A"

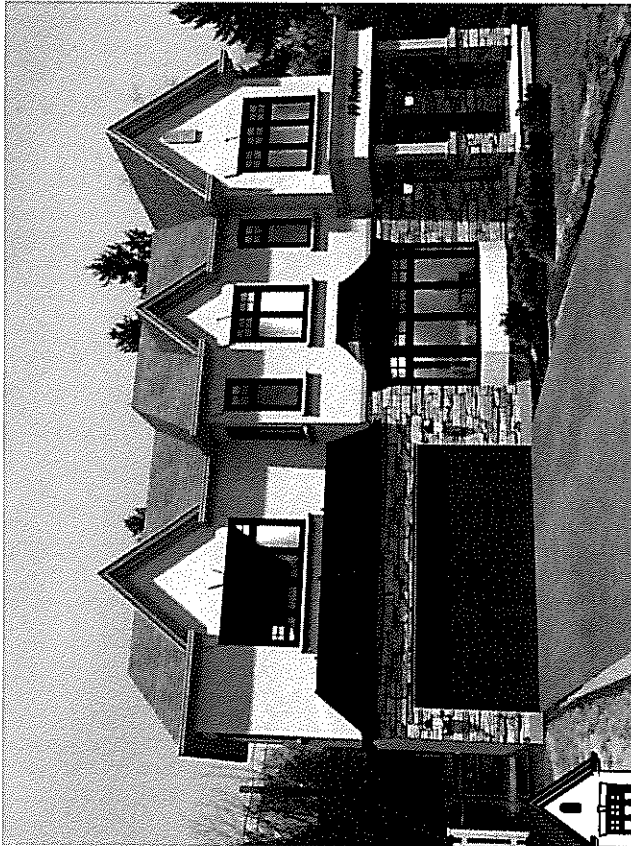
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/44/19

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on May 3rd, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations; and
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

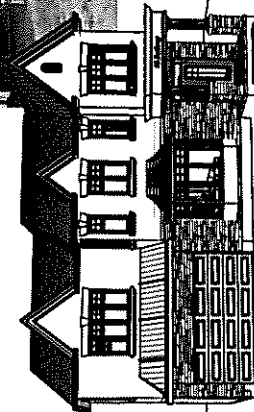
CONDITIONS PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

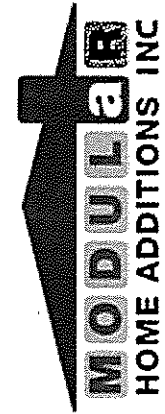


Concept



Before

*Proposed Second Storey Addition & Interior Renovations to:
 30 Rothsay Road, Markham Ontario
 Project No.: ACC201901001
 Client: Bichend Wang & Man Jiang Yu*



Accuvision

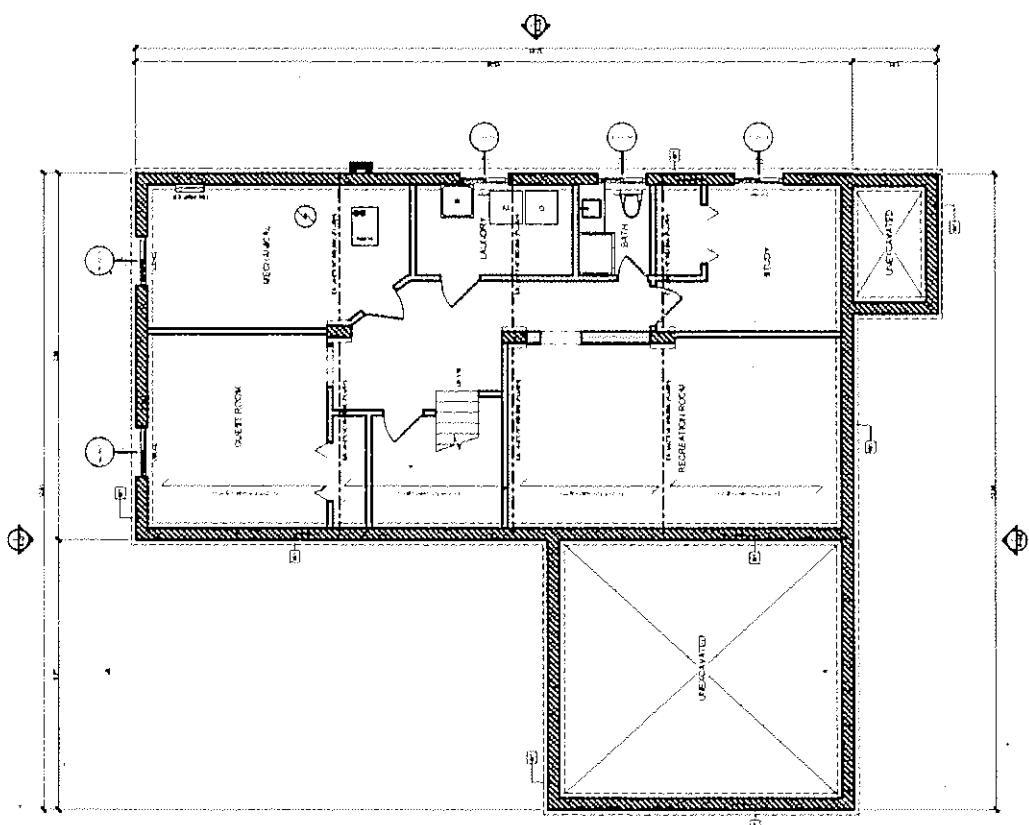
Design • Planning • Management
 Cambridge, ON N3C 2S3
 t: 519.241.9446

Printing Date: 24/04/2019



ID	STAFF NAME	DATE
A01	Lucy	
A02	Lucy	
A03	Lucy	
A04	Lucy	
A05	Lucy	
A06	Lucy	
A07	Lucy	
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A25	Lucy	

After



Existing Foundation Plan (Metric)
SCALE: 1:100

1

NO.	REVISION	DATE
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Declaration of Designer:
I, the undersigned, being a duly Licensed Professional Engineer, do hereby certify that I am the Designer of the above described project and that I am a duly Licensed Professional Engineer in the State of Illinois.

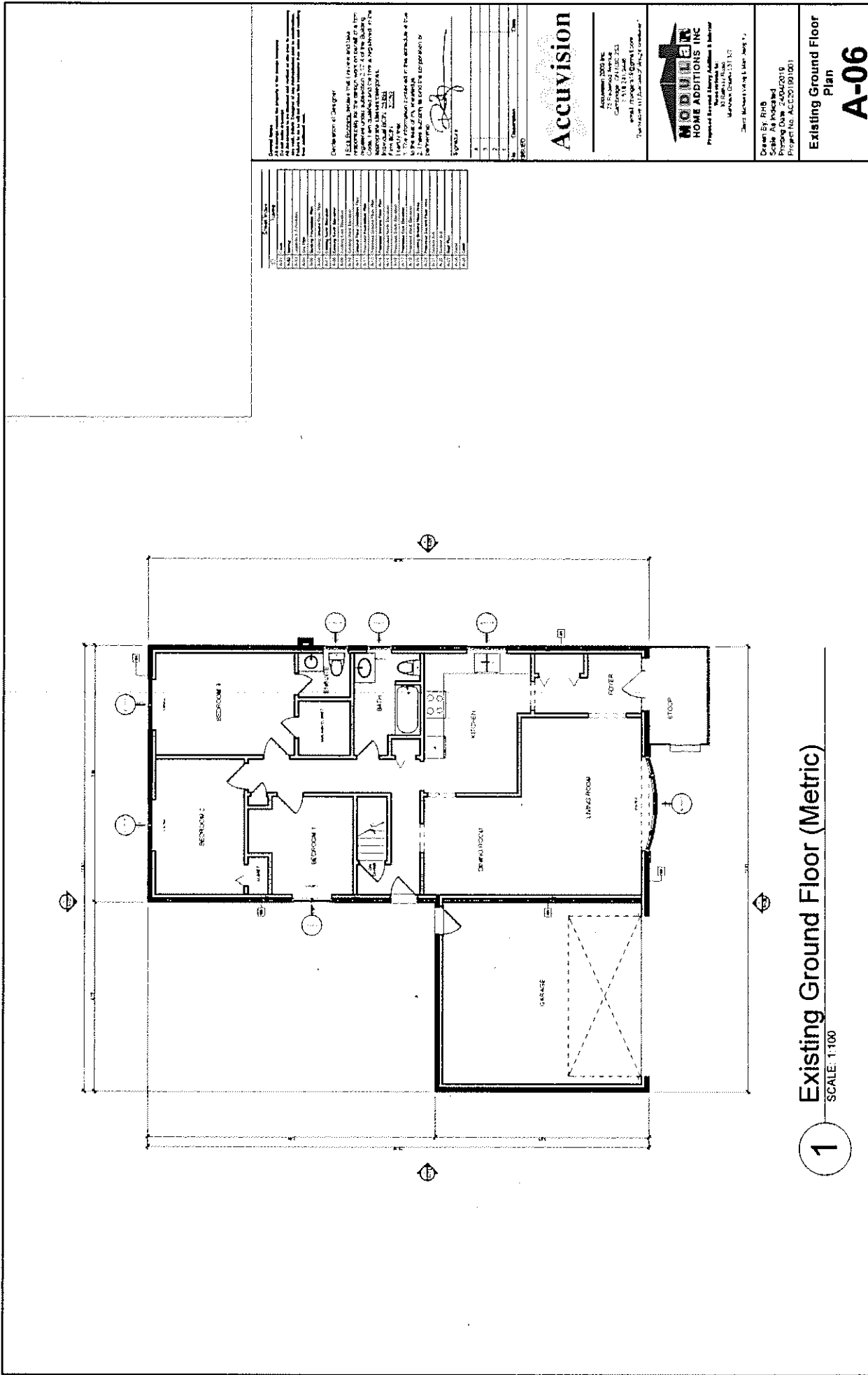
Declaration of Client:
I, the undersigned, being the duly authorized representative of the client, do hereby certify that I am the client of the above described project and that I am a duly Licensed Professional Engineer in the State of Illinois.

Project Information:
Project Name: _____
Client Name: _____
Address: _____
City: _____
State: _____
Zip: _____

Accuvision
Professional Engineer
Accuvision 2000, Inc.
Chicago, IL 60604
www.accuvision.com
Tel: 773.444.1111
Fax: 773.444.1112

HOME ADDITIONS, INC.
Professional Engineer
Home Additions, Inc.
Chicago, IL 60604
Tel: 773.444.1111
Fax: 773.444.1112

Existing Foundation Plan
A-05



Accuision

Accuision 1000 Ave
 2150 Grand Ave
 Cambridge, MA 02142-2533
 Email: info@accuision.com
 Telephone: (617) 442-2000

Drawn By: RMB
 Scale: As Indicated
 Project No.: ACC-2019-0016
 Property No.: ACC-2019-0016

Existing Ground Floor
 Plan
A-06

Revisions

No.	Description	Date
1	Issue for Review	08/14/2019
2	Revised	08/21/2019
3	Issue for Review	08/28/2019
4	Revised	09/04/2019
5	Issue for Review	09/11/2019
6	Revised	09/18/2019
7	Issue for Review	09/25/2019
8	Revised	10/02/2019
9	Issue for Review	10/09/2019
10	Revised	10/16/2019
11	Issue for Review	10/23/2019
12	Revised	10/30/2019
13	Issue for Review	11/06/2019
14	Revised	11/13/2019
15	Issue for Review	11/20/2019
16	Revised	11/27/2019
17	Issue for Review	12/04/2019
18	Revised	12/11/2019
19	Issue for Review	12/18/2019
20	Revised	12/25/2019
21	Issue for Review	01/01/2020
22	Revised	01/08/2020
23	Issue for Review	01/15/2020
24	Revised	01/22/2020
25	Issue for Review	01/29/2020
26	Revised	02/05/2020
27	Issue for Review	02/12/2020
28	Revised	02/19/2020
29	Issue for Review	02/26/2020
30	Revised	03/05/2020
31	Issue for Review	03/12/2020
32	Revised	03/19/2020
33	Issue for Review	03/26/2020
34	Revised	04/02/2020
35	Issue for Review	04/09/2020
36	Revised	04/16/2020
37	Issue for Review	04/23/2020
38	Revised	04/30/2020
39	Issue for Review	05/07/2020
40	Revised	05/14/2020
41	Issue for Review	05/21/2020
42	Revised	05/28/2020
43	Issue for Review	06/04/2020
44	Revised	06/11/2020
45	Issue for Review	06/18/2020
46	Revised	06/25/2020
47	Issue for Review	07/02/2020
48	Revised	07/09/2020
49	Issue for Review	07/16/2020
50	Revised	07/23/2020
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55	Issue for Review	08/27/2020
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58	Revised	09/17/2020
59	Issue for Review	09/24/2020
60	Revised	10/01/2020
61	Issue for Review	10/08/2020
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63	Issue for Review	10/22/2020
64	Revised	10/29/2020
65	Issue for Review	11/05/2020
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67	Issue for Review	11/19/2020
68	Revised	11/26/2020
69	Issue for Review	12/03/2020
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71	Issue for Review	12/17/2020
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95	Issue for Review	06/03/2021
96	Revised	06/10/2021
97	Issue for Review	06/17/2021
98	Revised	06/24/2021
99	Issue for Review	07/01/2021
100	Revised	07/08/2021

1 Existing Ground Floor (Metric)
 SCALE: 1:100

General Notes:
 1. All work shall be in accordance with the applicable building codes and standards.
 2. The contractor shall be responsible for obtaining all necessary permits.
 3. The contractor shall be responsible for protecting all existing utilities.
 4. The contractor shall be responsible for maintaining access to all adjacent properties.
 5. The contractor shall be responsible for maintaining the site in a safe condition at all times.

Definition of Designer:
 I, the undersigned, being a duly Licensed Professional Engineer in the State of North Carolina, do hereby certify that I am the Designer of the above described project and that I am a member in good standing of the North Carolina State Board of Engineering and Surveying.

Professional Seal: [Seal]

Signature: [Signature]

Date: _____

Accuvision

12000 W. 10th Ave.
 Charlotte, NC 28203
 Phone: (704) 532-1234
 Fax: (704) 532-1235
 Email: info@accuvision.com

The value of the work of the contractor is:

HOME ADDITIONS INC

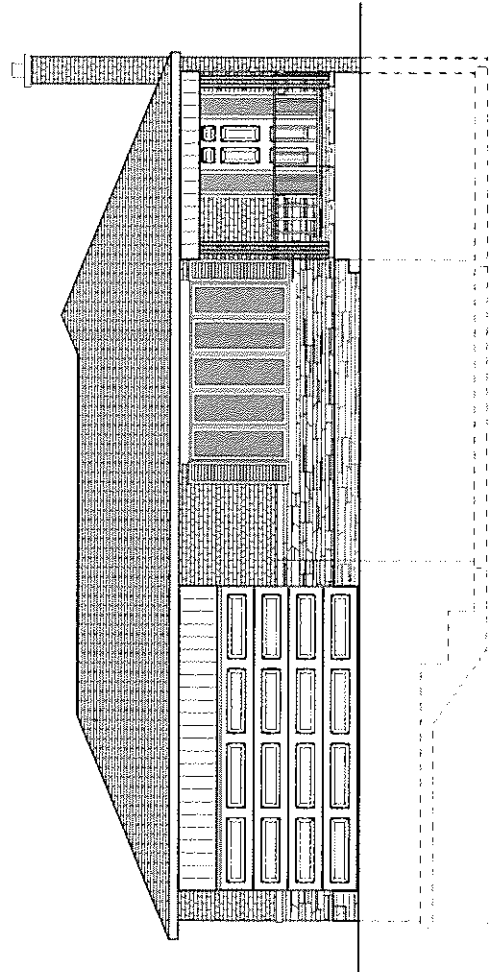
Professional Licensed Home Builders & Contractors
 Home Additions, Inc.
 12000 W. 10th Ave.
 Charlotte, NC 28203
 Phone: (704) 532-1234

Drawn By: RHB
 Scale: As Indicated
 Printing Date: 7/20/2019
 Project No.: ACC20191001

Existing South Elevation

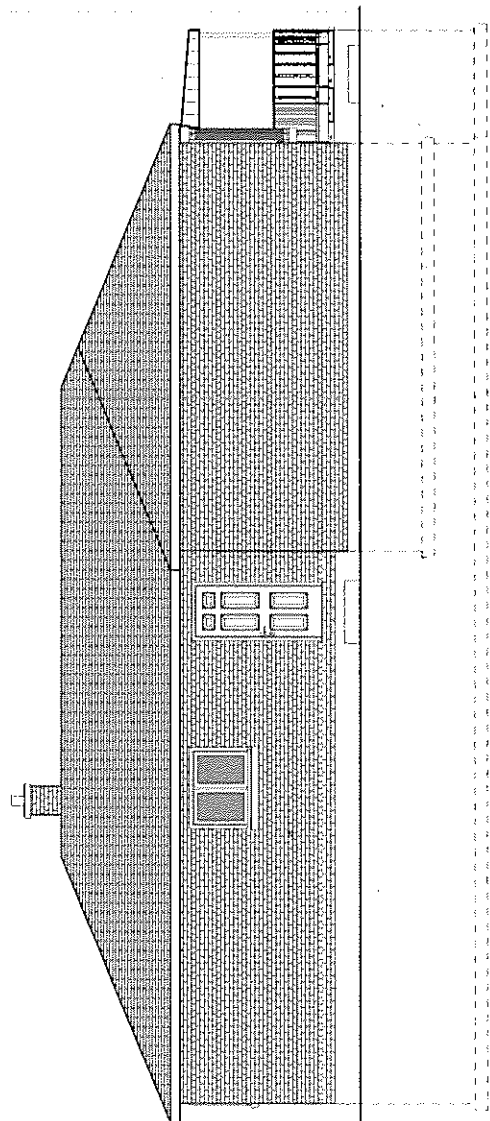
A-08

No.	Description	Quantity	Unit
1	Excavation		
2	Foundation		
3	Blockwork		
4	Brickwork		
5	Roofing		
6	Interior Finishes		
7	Exterior Finishes		
8	Paint		
9	Windows		
10	Doors		
11	Stairs		
12	Plumbing		
13	Electrical		
14	Mechanical		
15	Other		



1 Existing South Elevation
 SCALE: 1/75

Item	Description	Quantity	Unit	Notes
1	Asph/Flt Shingles	12,500	Sq Ft	
2	1/2" OSB Sheathing	12,500	Sq Ft	
3	1/2" Gypsum Board	12,500	Sq Ft	
4	1/2" Drywall	12,500	Sq Ft	
5	1/2" Cement Board	12,500	Sq Ft	
6	1/2" Insulation	12,500	Sq Ft	
7	1/2" Vapor Barrier	12,500	Sq Ft	
8	1/2" Siding	12,500	Sq Ft	
9	1/2" Trim	12,500	Sq Ft	
10	1/2" Windows	12,500	Sq Ft	
11	1/2" Doors	12,500	Sq Ft	
12	1/2" Roofing	12,500	Sq Ft	
13	1/2" Gutters	12,500	Sq Ft	
14	1/2" Downspouts	12,500	Sq Ft	
15	1/2" Scaffolding	12,500	Sq Ft	
16	1/2" Ladders	12,500	Sq Ft	
17	1/2" Safety Gear	12,500	Sq Ft	
18	1/2" Tools	12,500	Sq Ft	
19	1/2" Materials	12,500	Sq Ft	
20	1/2" Labor	12,500	Sq Ft	
21	1/2" Permits	12,500	Sq Ft	
22	1/2" Insurance	12,500	Sq Ft	
23	1/2" Contingency	12,500	Sq Ft	
24	1/2" Total	12,500	Sq Ft	



1 Existing West Elevation
SCALE: 1/75

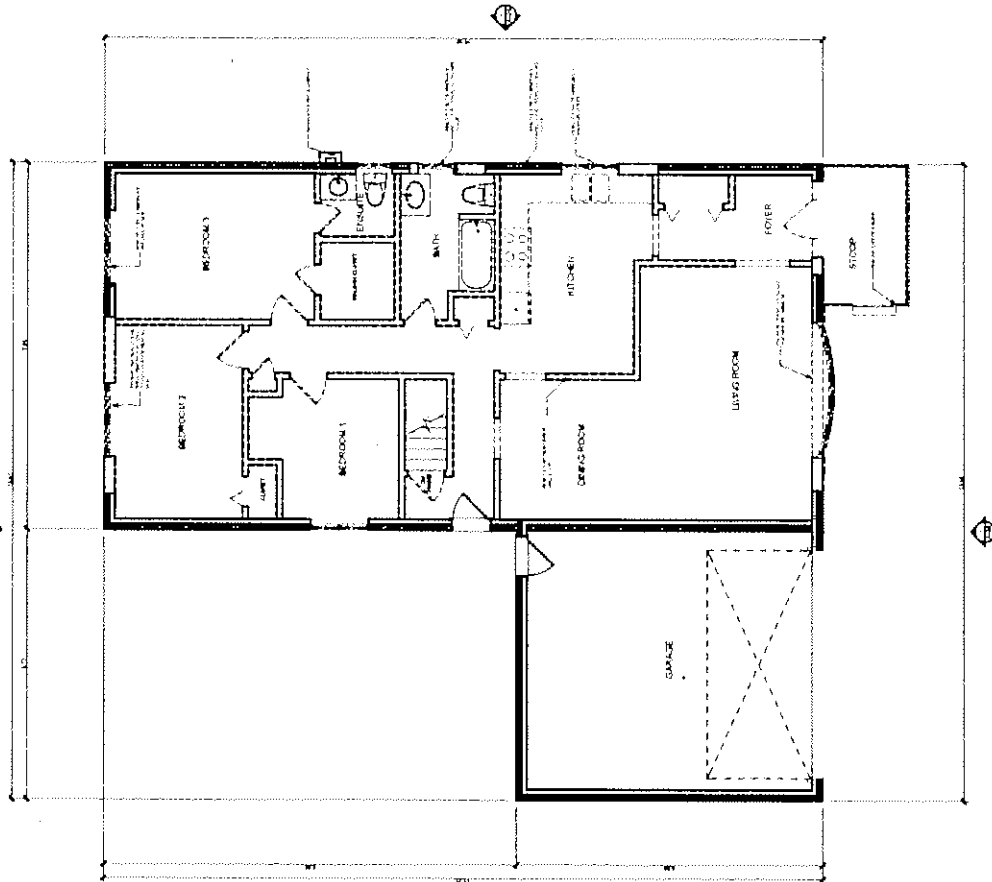
Accuvision

Accuvision, Inc.
2750 North Main Street
Cape Fear, NC 28405
Phone: (704) 733-7333
Fax: (704) 733-7334
www.accuvision.com

Drawn By: RHB
Scale: As Indicated
Printing Date: 2/08/2018
Project#: ACC201801

Existing West Elevation

A-10



NO.	DESCRIPTION
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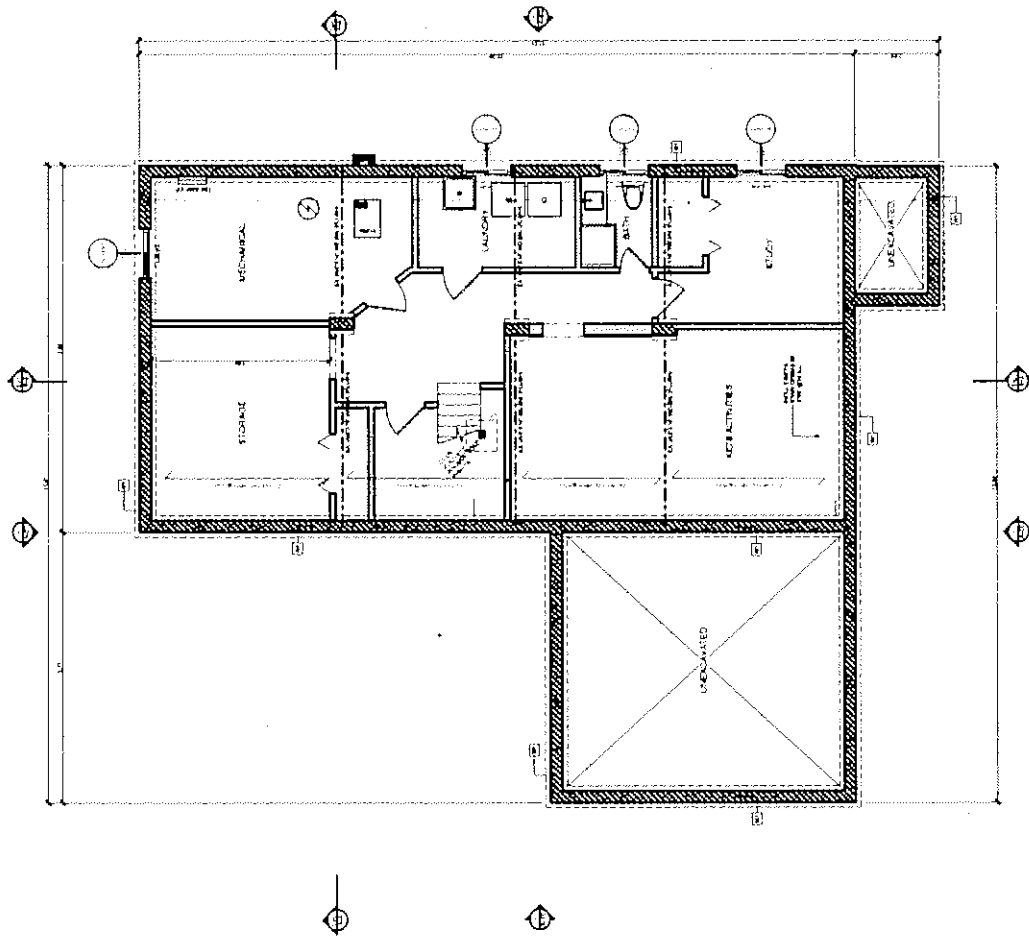
Accuvision
 Accuvision, 2028 Inc.
 Carlsbad, CA 92008-7953
 Phone: (760) 439-2400
 Fax: (760) 439-2401
 E-mail: info@accuvision.com
 Website: www.accuvision.com

HOME ADDITIONS INC.
 Prepared, Checked, Drawn, and Sealed by:
 Home Additions Inc.
 14000 Via Arroyo, Suite 101
 San Diego, CA 92127

Scale: As Indicated
 Drawing No.: ACC201901001
 Project No.: ACC201901001

1 Ground Floor Demolition Plan (Metric)
 SCALE: 1:100

A-11



1 Proposed Foundation Plan (Metric)
SCALE: 1:100

NO.	DESCRIPTION	DATE
1	FOUNDATION PLAN	01/15/2019
2	MECHANICAL PLAN	01/15/2019
3	ELECTRICAL PLAN	01/15/2019
4	PLUMBING PLAN	01/15/2019
5	STRUCTURAL PLAN	01/15/2019
6	GENERAL NOTES	01/15/2019
7	FOUNDATION PLAN	01/15/2019
8	MECHANICAL PLAN	01/15/2019
9	ELECTRICAL PLAN	01/15/2019
10	PLUMBING PLAN	01/15/2019
11	STRUCTURAL PLAN	01/15/2019
12	GENERAL NOTES	01/15/2019
13	FOUNDATION PLAN	01/15/2019
14	MECHANICAL PLAN	01/15/2019
15	ELECTRICAL PLAN	01/15/2019
16	PLUMBING PLAN	01/15/2019
17	STRUCTURAL PLAN	01/15/2019
18	GENERAL NOTES	01/15/2019
19	FOUNDATION PLAN	01/15/2019
20	MECHANICAL PLAN	01/15/2019
21	ELECTRICAL PLAN	01/15/2019
22	PLUMBING PLAN	01/15/2019
23	STRUCTURAL PLAN	01/15/2019
24	GENERAL NOTES	01/15/2019
25	FOUNDATION PLAN	01/15/2019
26	MECHANICAL PLAN	01/15/2019
27	ELECTRICAL PLAN	01/15/2019
28	PLUMBING PLAN	01/15/2019
29	STRUCTURAL PLAN	01/15/2019
30	GENERAL NOTES	01/15/2019

Checklist of Design

1. All drawings shall be prepared in the metric system.

2. All drawings shall be prepared in the metric system.

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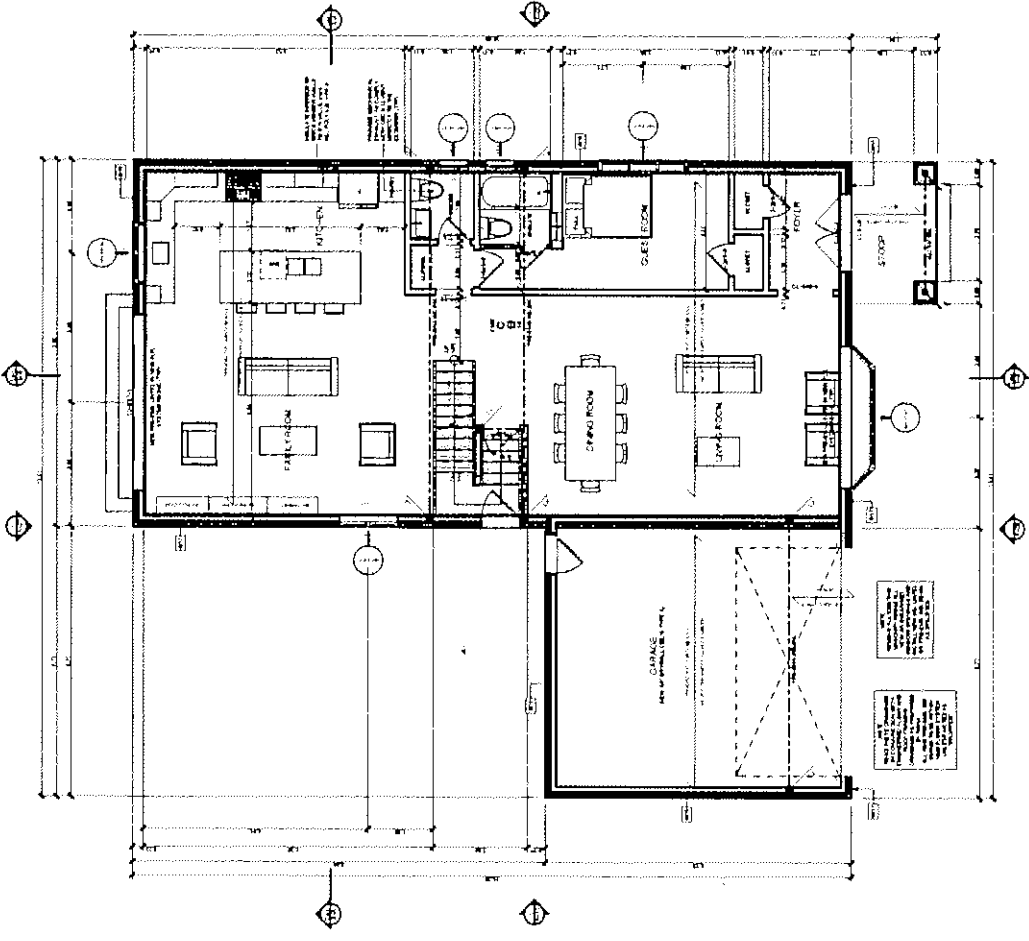
Accuvision

Accuvision 2020 Inc.
2745 Woodbine Ave.
Unit 10
Markham, Ontario L3R 9Y7
Tel: (905) 477-1100
Fax: (905) 477-1101
www.accuvision.com

Home Additions Inc.
Proposed Second Storey Addition & Basement
10000 Highway 7
Markham, Ontario L3R 9Y7

Drawn By: RHB
Checked By: RHB
Printed Date: 24/04/2019
Project No: ACC201301001

Proposed Foundation Plan
A-12



1 Proposed Ground Floor Plan (Metric)
SCALE: 1:100

NO.	REVISION	DATE
1	ISSUED FOR PERMITS	07/10/2019
2	REVISED PER COMMENTS	07/10/2019
3	REVISED PER COMMENTS	07/10/2019
4	REVISED PER COMMENTS	07/10/2019
5	REVISED PER COMMENTS	07/10/2019
6	REVISED PER COMMENTS	07/10/2019
7	REVISED PER COMMENTS	07/10/2019
8	REVISED PER COMMENTS	07/10/2019
9	REVISED PER COMMENTS	07/10/2019
10	REVISED PER COMMENTS	07/10/2019
11	REVISED PER COMMENTS	07/10/2019
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14	REVISED PER COMMENTS	07/10/2019
15	REVISED PER COMMENTS	07/10/2019
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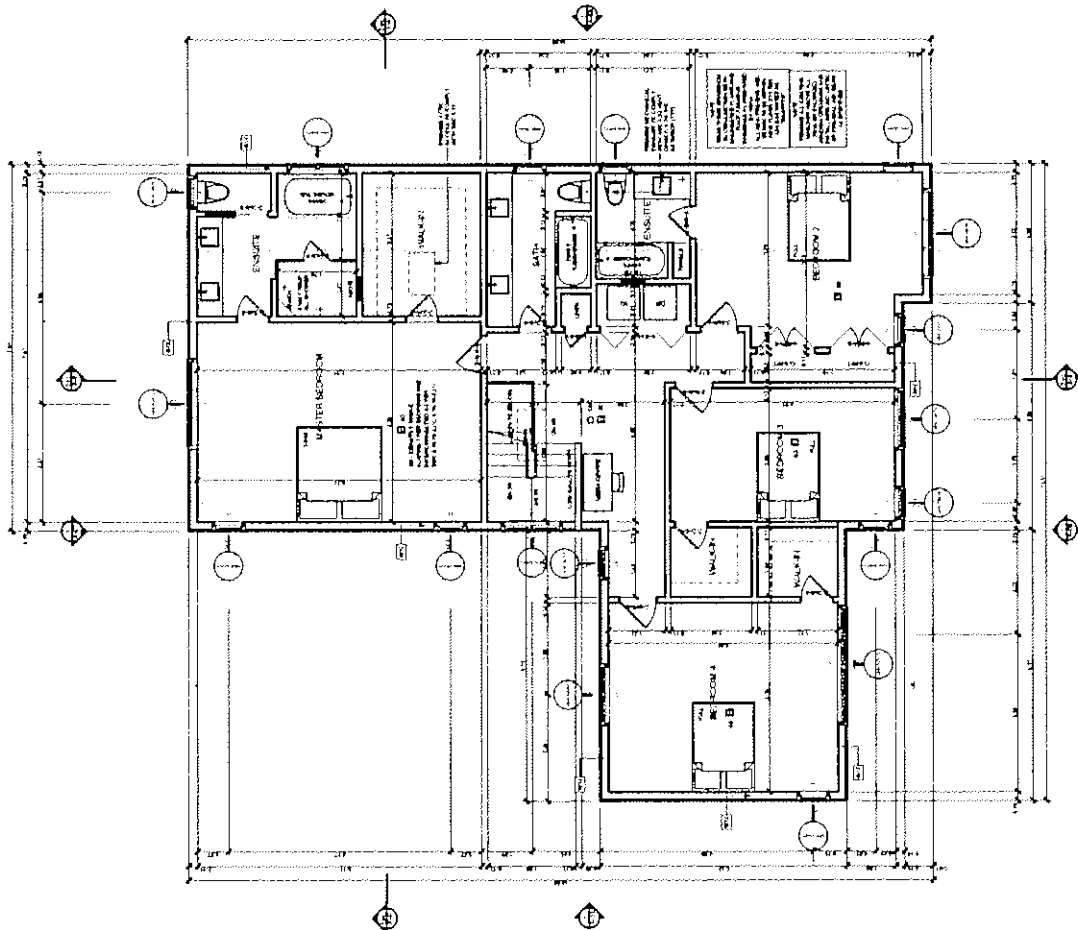
Accuvision
 Accuvision 2020 Inc.
 1111 11th Street
 Cambridge, MA 02142
 Telephone: 617-552-1111
 Fax: 617-552-1112
 Website: www.accuvision.com

HOME ADDITIONS, INC.
 Proposed Second Floor Addition & Interior Remodeling
 1111 11th Street
 Cambridge, MA 02142

Sheet: Proposed Ground Floor Plan

Drawn By: RIB
 Scale: As Indicated
 Printing Date: 2/10/2019
 Project No: ACC201901001

Proposed Ground Floor Plan
A-13



1 Proposed Second Floor Plan (Metric)
SCALE: 1:100

C. Sheet Index

Sheet No.	Description
ACC-201-01	Site Plan
ACC-201-02	Foundation Plan
ACC-201-03	First Floor Plan
ACC-201-04	Second Floor Plan
ACC-201-05	Roof Plan
ACC-201-06	Section A-A
ACC-201-07	Section B-B
ACC-201-08	Section C-C
ACC-201-09	Section D-D
ACC-201-10	Section E-E
ACC-201-11	Section F-F
ACC-201-12	Section G-G
ACC-201-13	Section H-H
ACC-201-14	Section I-I
ACC-201-15	Section J-J
ACC-201-16	Section K-K
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ACC-201-21	Section P-P
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ACC-201-25	Section T-T
ACC-201-26	Section U-U
ACC-201-27	Section V-V
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ACC-201-29	Section X-X
ACC-201-30	Section Y-Y
ACC-201-31	Section Z-Z

Accuision

Accuision 1000 Inc.
75 St. James Street
Calgary, Alberta T2C 1S4
Phone: (403) 270-1100
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MODULERE HOME ADDITIONS INC
Professional Second Floor Addition & Renovation
10700 14th Avenue
Calgary, Alberta T2C 1S7

Drawn By: RHB
Scale: As Indicated
Project No.: ACC201J01001

Proposed Second Floor Plan
A-14

Credits:
1. The architect is responsible for the design and construction of the building.
2. The architect is not responsible for the design or construction of any other building or structure.
3. The architect is not responsible for the design or construction of any other building or structure.

Accuvision

2750 South Main Street
 Suite 100
 Littleton, CO 80120
 Phone: 303.733.1100
 Fax: 303.733.1101
 Website: www.accuvision.com

HOME ADDITIONS INC

10000 E. South Platte
 Suite 100
 Denver, CO 80231
 Phone: 303.755.1100
 Fax: 303.755.1101
 Website: www.homeadditions.com

Project No. ACC201901001

Drawn By: RHB
 Scale: As Indicated
 Printing Date: 7/04/2018
 Project No. ACC201901001

Proposed South Elevation
A-16

Item	Description	Quantity	Unit
1	Asph/Flt Shingles	1200	Sq Ft
2	3" x 6" Plywood	100	Sq Ft
3	2x6 Studs	100	Lf
4	2x8 Studs	100	Lf
5	2x10 Studs	100	Lf
6	2x12 Studs	100	Lf
7	2x4 Studs	100	Lf
8	2x6 Studs	100	Lf
9	2x8 Studs	100	Lf
10	2x10 Studs	100	Lf
11	2x12 Studs	100	Lf
12	2x4 Studs	100	Lf
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275	2x10 Studs	100	Lf
276	2x12 Studs	100	Lf
277	2x4 Studs	100	Lf
278	2x6 Studs	100	Lf
279			

General Notes:
 1. All work shall be in accordance with the applicable building codes and standards.
 2. All materials shall be of the highest quality and shall be approved by the architect.
 3. All work shall be completed in accordance with the schedule of values.
 4. All work shall be completed in accordance with the contract documents.

Contractor's Signature: _____
 Date: _____

By the Design Professional:

 Date: _____

Project No. ACC201901001

ACCUVISION

Accuvision 2000, Inc.
 10000 10th Street, Suite 100
 San Diego, CA 92121
 Phone: (619) 444-1111
 Fax: (619) 444-1112
 Website: www.accuvision.com

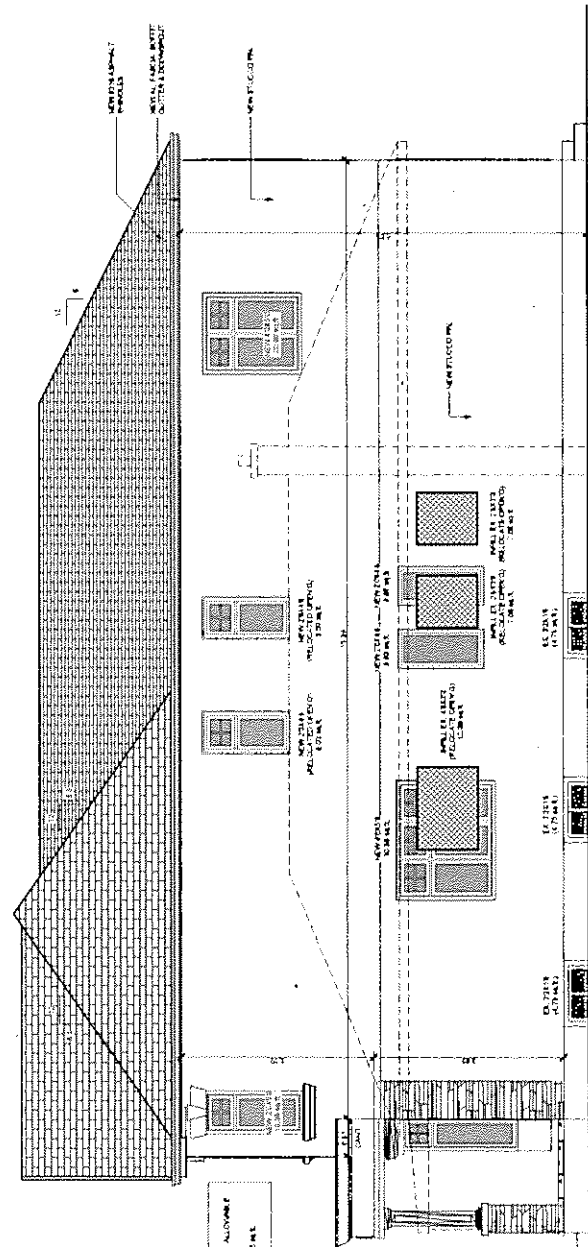
HOME ADDITIONS INC

Proposed General Home Addition & Interior
 Project No. ACC201901001
 10000 10th Street, Suite 100
 San Diego, CA 92121

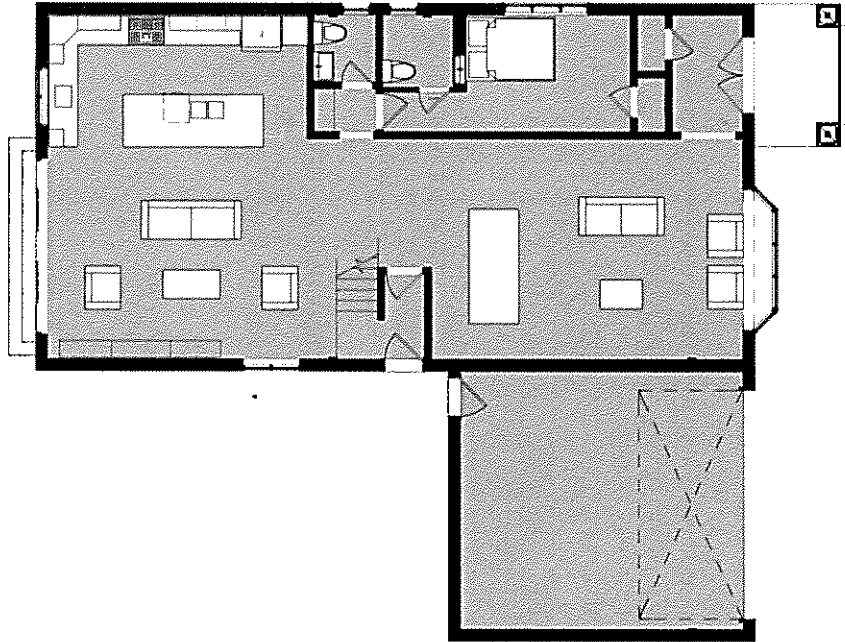
Drawn By: RMB
 Scale: As Indicated
 Printing Date: 7/20/2018
 Project No: ACC201901001

Proposed East Elevation
A-17

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1
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1 Proposed East Elevation (Metric)
 SCALE: 1/75



Existing Ground Floor Area
002
A: 158.59 m²

1 Existing Ground Floor Area (Metric)
SCALE: 1:100

Item No.	Description	Quantity	Unit	Notes
1
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Accuvision
 15000 150th Street, Suite 100
 Richmond, BC V6V 2G9
 Tel: 604-273-1111
 Fax: 604-273-1112
 Email: info@accuvision.com
 Website: www.accuvision.com

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Project No. ACCU01901001

Accuvision

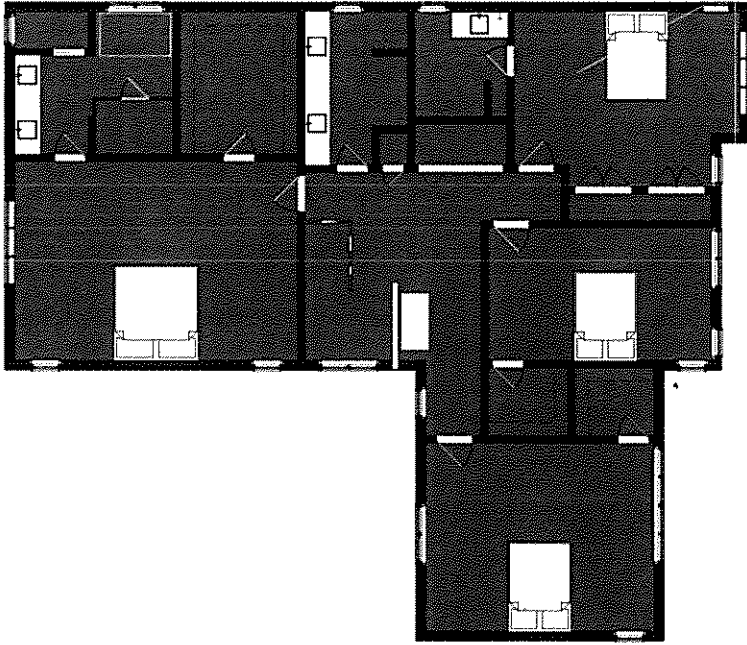
Accuvision Inc.
 15000 150th Street, Suite 100
 Richmond, BC V6V 2G9
 Tel: 604-273-1111
 Fax: 604-273-1112
 Email: info@accuvision.com
 Website: www.accuvision.com

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Project No. ACCU01901001

Existing Ground Floor Area
A-19



Proposed Second Floor Area
001
A: 153.29 m2

1 Proposed Second Floor Plan (Metric)
SCALE: 1:100

Room No.	Room Name	Area (m ²)
101	Living Room	15.2
102	Dining Room	12.5
103	Kitchen	10.8
104	Bathroom	5.5
105	Bedroom	18.0
106	Bedroom	15.0
107	Bedroom	12.0
108	Bedroom	10.0
109	Bedroom	8.0
110	Bedroom	7.0
111	Bedroom	6.0
112	Bedroom	5.0
113	Bedroom	4.0
114	Bedroom	3.0
115	Bedroom	2.0
116	Bedroom	1.5
117	Bedroom	1.0
118	Bedroom	0.5
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200	Bedroom	0.5

Declaration of Designer:
I, the undersigned, being duly qualified and licensed as an Architect under the laws of the State of California, do hereby certify that I am the author of the design of the building herein shown, and that I am a duly licensed Architect under the laws of the State of California.

Signature: [Signature]
Name: [Name]

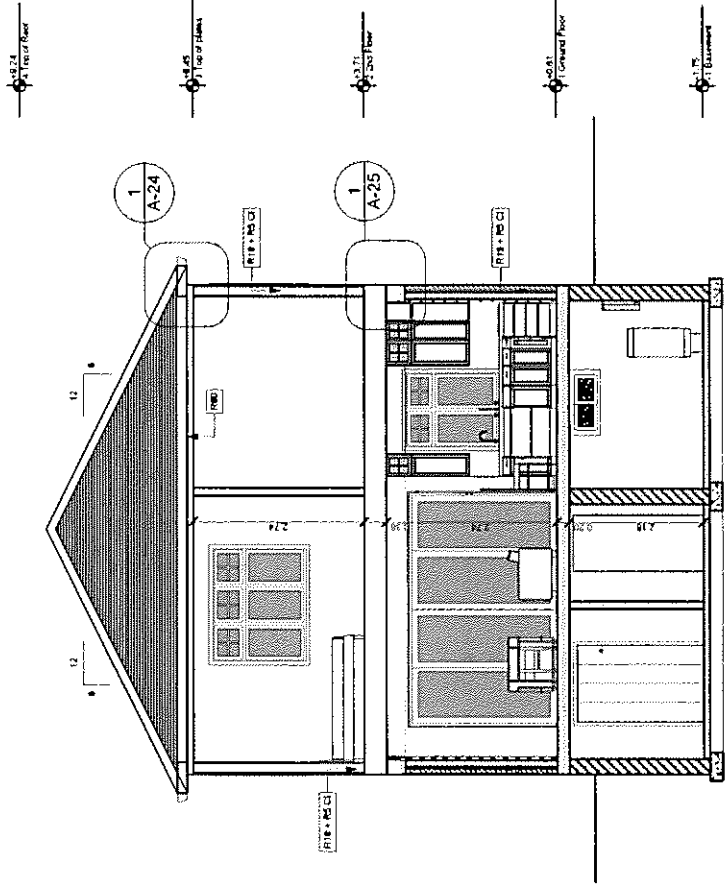
Accuvision

Accuvision 3D Inc.
25 S. Main Street
Camarillo, CA 93010
Phone: (805) 486-7653
Email: info@accuvision.com
Website: www.accuvision.com

HOME ADDITIONS INC
Proposed Second Floor Addition & Interior
1234 Main Street
Camarillo, CA 93010
Phone: (805) 486-7653
Email: info@homeadditions.com

Drawn By: RHB
Scale: As Indicated
Project No.: ACC20190019
Property No.: ACC20190019

Proposed Second Floor Area
A-20



1 Section A-A (Metric)
SCALE: 1:75

NO.	REVISION	DATE
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General Notes:
1. See Schedule for details of the building.
2. See Schedule for details of the building.
3. See Schedule for details of the building.
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50. See Schedule for details of the building.

Accuvision

Accuvision 2008 Inc.
1000 Highway 102, Unit 203
St. John's, NL A1B 2X3
Canada
Tel: (709) 753-1111
Fax: (709) 753-1112
www.accuvision.com

WILMINGTON HOME ADDITIONS INC.
Proposed Second Storey Addition & Interior
Renovations to
1000 Highway 102, Unit 203
St. John's, NL A1B 2X3
Canada

Drawn By: RHB
Scale: As Indicated
Printing Date: 24/04/2018
Project No.: ACC201801001

Section A-A
A-21

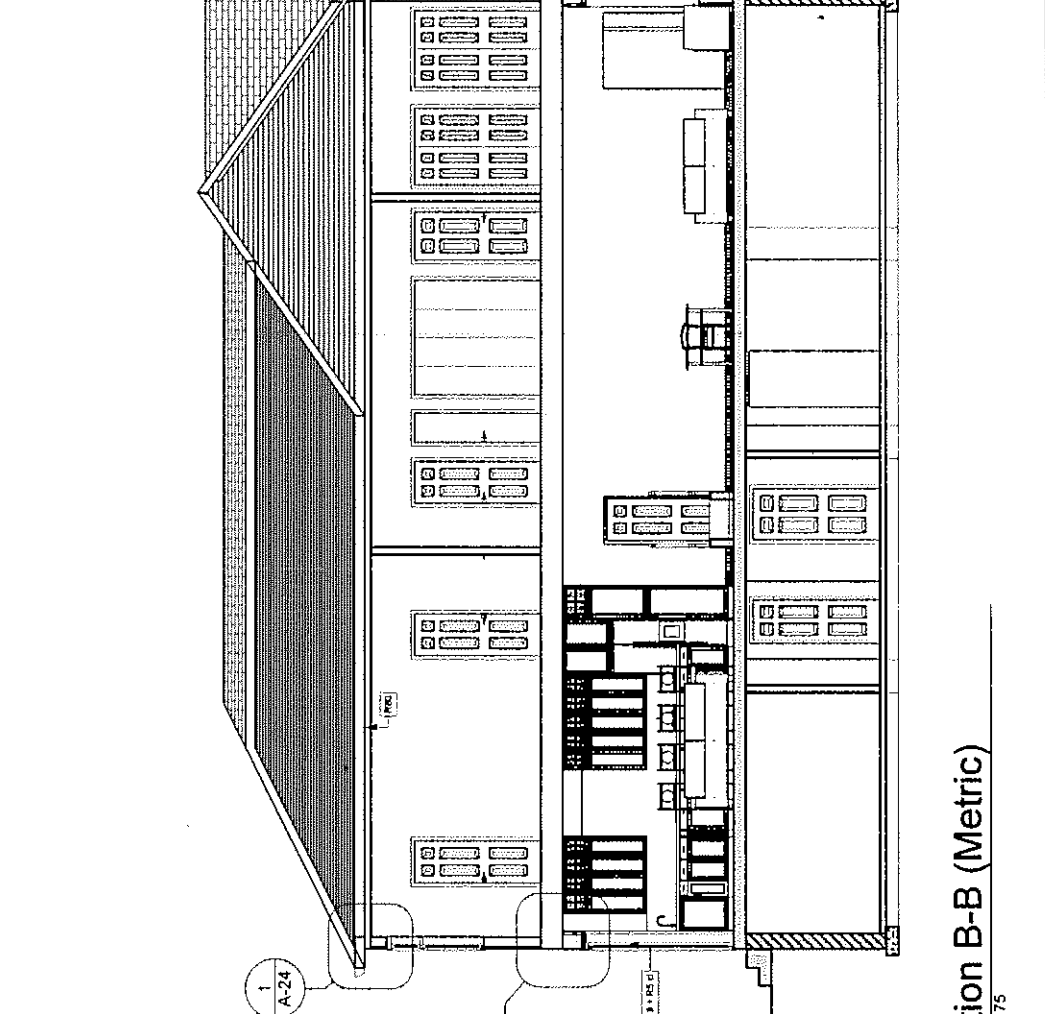
Accuvision

AccuVision 2020 Inc.
 17 Industrial Avenue
 Cambridge, MA 02142
 Phone: (617) 552-1100
 Fax: (617) 552-1101
 Email: info@accuvision.com
 Website: www.accuvision.com

Drawn By: RMB
 Scale: As Indicated
 Date: 07/20/2019
 Project No.: ACC201901001

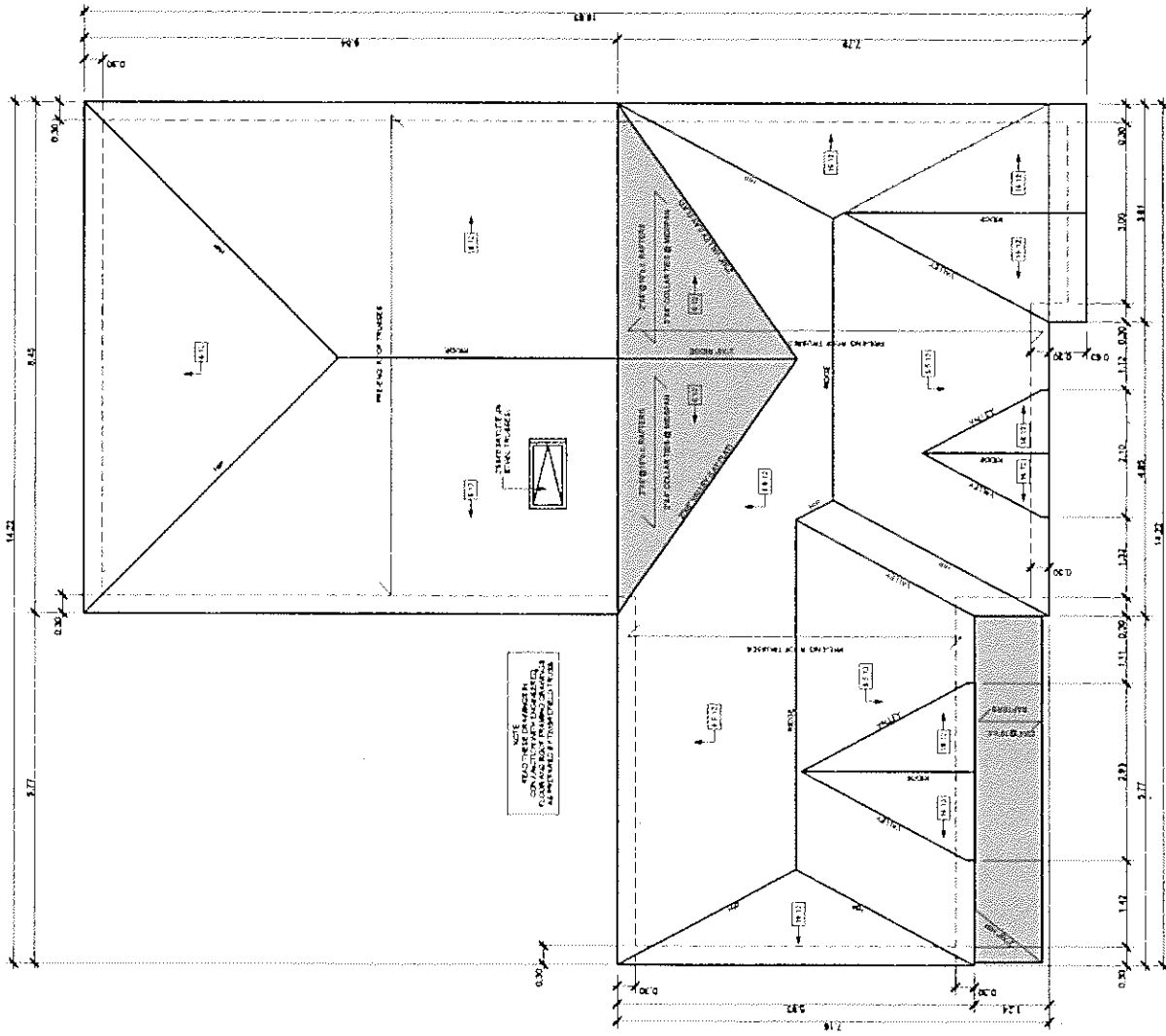
Section B-B
A-22

No.	Revised	Description
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1 Section B-B (Metric)
 SCALE: 1/75

1. Top of Floor
 2. Top of Ceiling
 3. Top of Floor
 4. Top of Ceiling
 5. Top of Floor
 6. Top of Ceiling



NO.	REVISION	DATE
1	ISSUED	03/11/2019
2	REVISED	03/11/2019
3	REVISED	03/11/2019
4	REVISED	03/11/2019
5	REVISED	03/11/2019
6	REVISED	03/11/2019
7	REVISED	03/11/2019
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45	REVISED	03/11/2019
46	REVISED	03/11/2019
47	REVISED	03/11/2019
48	REVISED	03/11/2019
49	REVISED	03/11/2019
50	REVISED	03/11/2019

General Note:
 1. All dimensions are in feet and inches.
 2. All dimensions are to the centerline of the member unless otherwise noted.
 3. All dimensions are to the finished surface unless otherwise noted.
 4. All dimensions are to the centerline of the member unless otherwise noted.
 5. All dimensions are to the finished surface unless otherwise noted.
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 48. All dimensions are to the centerline of the member unless otherwise noted.
 49. All dimensions are to the finished surface unless otherwise noted.
 50. All dimensions are to the centerline of the member unless otherwise noted.

ACCUVISION

Accuvision 2000 Inc.
 10000 Highway 101
 Cambridge, MA 02142-1000
 Phone: (617) 552-1000
 Fax: (617) 552-1001
 E-mail: info@accuvision.com
 Website: www.accuvision.com



Drawn By: RMB
 Scale: As Indicated
 Printing Date: 24/04/2019
 Project No.: ACCU01801001

Roof Plan
A-23

1 Roof Plan (Metric)
 SCALE: 1:75

