

# Memorandum to the City of Markham Committee of Adjustment

June 13<sup>th</sup>, 2019

**File:** A/51/19 & A/52/19  
**Address:** 8 & 6 Sam Priestley Avenue, Markham  
**Applicant:** Madison Homes Cornell Limited  
**Agent:** Cornell Rouge Development Corp.  
**Hearing Date:** Wednesday June 26, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirement of By-law 177-96, as amended, as it relates to two proposed detached dwellings at 6 and 8 Same Priestley Avenue, to permit:

**a) Section 7.190.2 (a)(i):**

a minimum front yard setback of 2.80 m (9.19 ft), whereas the By-law requires a minimum front yard setback of 3.0 m (9.84 ft).

## **BACKGROUND**

### **Property Description**

The subject properties are located on the north side of Sam Priestley Avenue, south of 16<sup>th</sup> Avenue, west of Donald Cousens Parkway. The property is located within a residential neighbourhood comprised of a mix of two-storey semi-detached and detached dwellings.

### **Official Plan and Zoning**

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential Low Rise", which provides for low rise housing forms including single detached dwellings.

### Zoning By-Law 177-96

The subject property is zoned Residential Two (R2\*190\*192\*514) under By-law 177-96, as amended, which permits a single detached dwelling. Exception \*190 provides area specific zone standards which includes permission of accessory dwellings located above a private garage in either the main building or an accessory building on the same lot (i.e. above an attached or detached garage). The proposal does not comply with the by-law with respect to the minimum front yard setback set out in exception \*190.

Exception \*192 provides specific development standards for corner lots and semi-detached dwellings with attached private garages. Exception \*514 provides zone standards for minimum rear yard and maximum driveway. Exception \*192 and \*514 are not applicable in the context of assessing the variance application

### **Reduction in Front and Rear Yard Setback**

The applicant is requesting a minimum front yard setback of 2.80 m (9.19 ft) for two properties at 6 and 8 Sam Priestly Avenue, whereas the By-law requires a minimum front yard setback of 3.0 m (9.84 ft). This is a reduction of 0.2 m (0.66 ft). Staff are of the opinion that the requested variance is minor in nature, meets the purpose and intent of the Zoning By-Law and Official Plan, and is appropriate for the subject properties.

**Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, "due to pie shape of lot".

**Zoning Preliminary Review (ZPR) Not Undertaken**

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of June 13<sup>th</sup>, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

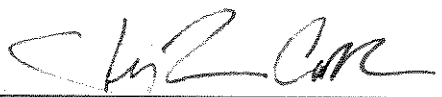
Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



\_\_\_\_\_  
Stephen Corr, Senior Planner, East District

File Path: Amanda\File\ 19 122183 \Documents\District Team Comments Memo

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/52/19**

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *May 30<sup>th</sup>, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;

CONDITIONS PREPARED BY:

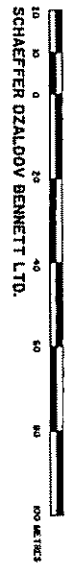


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Aqsa Malik, Planner, Zoning and Special Projects

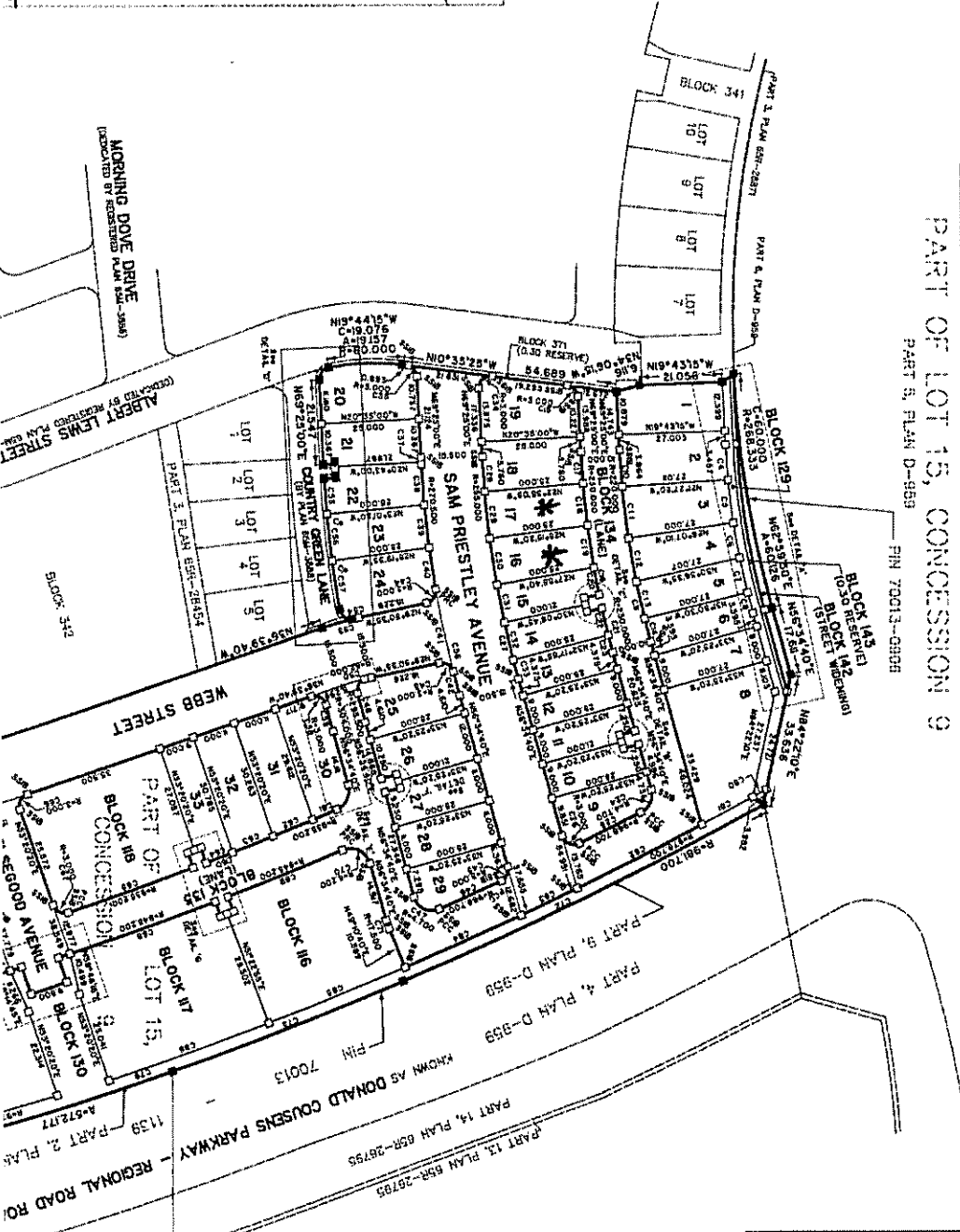
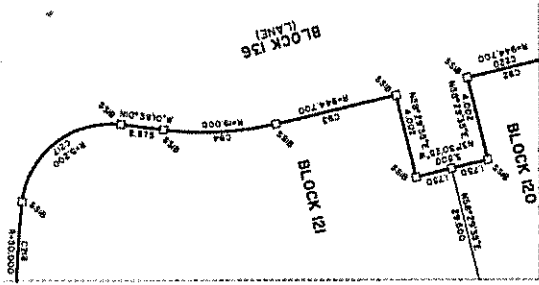
**APPENDIX B**

PLAN OF SUBDIVISION OF  
**PART OF LOTS 14 AND 15**  
**CONCESSION 9**  
 (GEOGRAPHIC TOWNSHIP OF MARKHAM, COUNTY OF YORK)  
**CITY OF MARKHAM**  
 REGIONAL MUNICIPALITY OF YORK  
 SCALE 1 : 1000



KNOWN AS **16th AVENUE - REGIONAL ROAD NO. 73**  
 ORIGINAL ROAD ALLOWANCE BETWEEN LOTS 15 AND 16, CONCESSION 9  
 PIN 03084-0031

**PART OF LOT 15, CONCESSION 9**  
 PART 5, PLAN D-859  
 PIN 70013-0808



**PLAN 65M-4544**

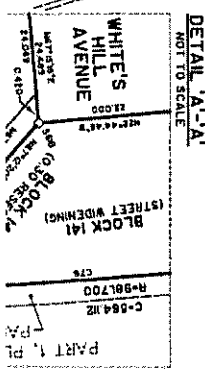
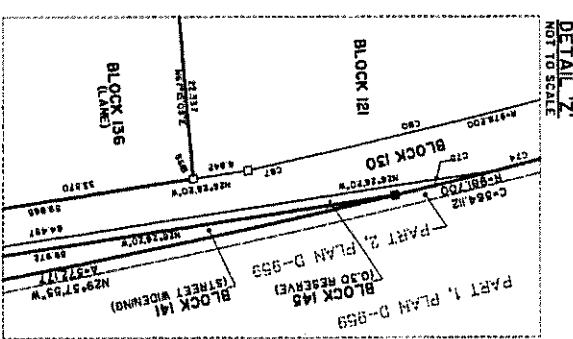
I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION NO. 65 AT 4:38 O'CLOCK ON THE 15 DAY OF FEBRUARY 2018 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER NO. 70013-0583

AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. YR2626153

\_\_\_\_\_  
**"C.R. BUMER"**  
 Representative For Land Registrar

THIS PLAN COMPRISES ALL OF PIN 70013-0583.

AREA SCHEDULE	BLOCK	AREA (SQM)
	B6	1294.9
	B7	1413.7
	B8	1200.5
	B9	1087.7
	B10	1008.4
	B11	943.3
	B12	862.5
	B13	862.2
	B14	1151.3
	B15	990.3
	B16	1631.6
	B17	1007.6
	B18	986.6
	B19	296.6
	B20	628.3
	B21	830.2

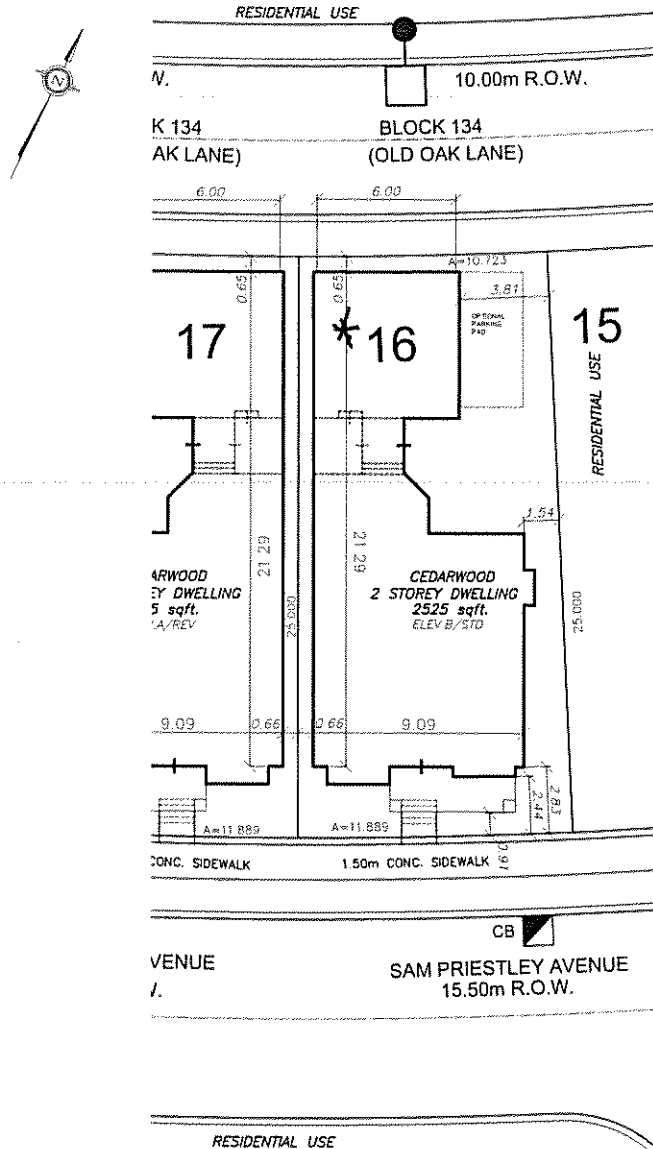


## GENERAL NOTES

- \* 1. Builder and Surveyor to confirm 2.74 difference between FFL and USF before proceeding with excavation Report discrepancies to the Architect.
2. Surveyor is to comply with current subdivision zoning regarding setbacks in laying out the work. Any discrepancies are to be reported to the Architect and the builder immediately.
3. The builder shall comply with all current standards for Local Municipal Subdivision Lot Drainage and Grading as they relate to max & min. slopes for yards, swales & drives and clearances to street furniture and services for driveways.
4. The builder shall check and verify all given grade elevations and drainage prior to commencement of construction. Builder shall verify location of existing and proposed utilities prior to commencement of construction.
5. Footings to bear on natural undisturbed soil and be a min. of 1.22m below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
6. All dimensions and grade elevations are shown in metres.
7. Unless otherwise indicated, finished floor level is 0.40m above Specified House Grade at entry points to house and provision of 2 risers at entries must be made to gain entry into house. Maintain top of foundation wall min. 0.15m above finished grade.
8. Unprotected openings (windows, doors) must be min 1.2m from lot lines. Builder to verify location of all windows relative to lot line to maintain min. setback for unprotected openings.
9. These General Notes apply to all drawings for Siting & Grading including siting on individual sheets.
10. All front and rear yards shall be graded at a 2% - 5% grade within 6.0m of the dwelling unit.
11. Base curb elevation to be checked vs garage slab elevation to ensure adequate driveway grade before constructing garage.
12. Downspouts to discharge onto ground via splash pan.
13. For details of the laneway & privacy fence refer to the landscape drawings.

## LEGEND

286.0	PROPOSED GRADES
⊙	LOT CORNER
×	286.0 PROPOSED GRADE
→	DIRECTION OF FLOW
FFL	FINISHED FLOOR LEVEL
FGF	FINISHED GROUND FLOOR
FLH	FINISHED LANDING HEIGHT
TFW	TOP OF FOUNDATION WALL
FFER/F	FINISHED FLOOR ENTRY REAR/FRONT
USFR/F	UNDERSIDE OF FOOTINGS REAR/FRONT
FBS	FINISHED BASEMENT SLAB
⊞	AMENITY SPACE
⊙	STREET LIGHT
⊙	LANEWAY STREET LIGHT
⊙	HYDRANT
⊙	TRANSFORMER
⊙	VALVE CHAMBER
⊙	WATER SERVICE
▽	STORM & SANITARY CONNECTION
⊞	CABLE TV PEDESTAL
⊞	BELL PEDESTAL
⊞	CATCH BASIN
⊞	EXTERIOR DOOR LOCATION
→	SWALE DIRECTION
W.O.D	WALK OUT DECK
W.O.B	WALK OUT BASEMENT
R	REVERSE PLAN
○	DOWNSPOUT
⊞	ENGINEERED FILL
⊞	STREET SIGN
⊞	HYDRO TAIL



DATE	REF	DESCRIPTION
05.14.19	FP	ISSUE FOR COMMITTEE OF ADJUSTMENT APPLIC.

DO NOT SCALE DRAWING



MADISON HOMES  
CORNELL ROUGE PHASE 7  
HOUSE SITING & GRADING  
LOT 16

Date	05.14.19	Checked By	
Job Number	17-1327	Drawn By	FP
Scale	1:250		
Cad Dwg	LOT 16	Sheet Number	

## NOTES

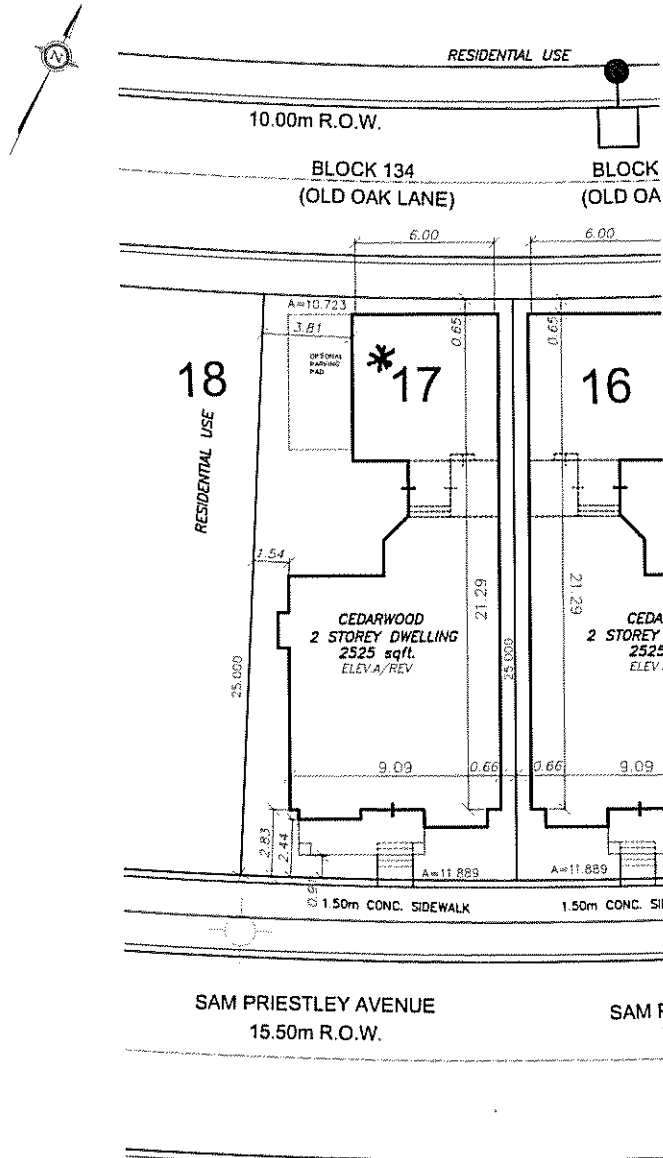
- Engineered brass drawings to be submitted to the architect for co-ordination of structures.
- The architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractor to carry out the work in accordance with the documents.
- Single pages of the contract documents are not to be read independently of all pages of the contract documents.
- The contractor shall verify all dimensions on the contract documents. Any discrepancies are to be reported to the architect prior to the commencement of the work. Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.
- Digital & Hard Copies are issued to the client on the understanding that no changes are to be made to the contract documents without written consent of the architect.
- FPD Architect Inc. retains the copyright in all drawings, plans, sketches, and all digital information. They may not be used for any other projects or purposes without the written consent of FPD Architect Inc. Failure to do so will result in legal action.
- DO NOT SCALE DRAWING

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× 286.0	PROPOSED GRADE
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—	FBS FINISHED BASEMENT SLAB
—	AMENITY SPACE
—	STREET LIGHT
—	LANEWAY STREET LIGHT
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—	TRANSFORMER
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—	HYDRO TAIL



DATE	REF.	DESCRIPTION
05.14.19	FP	ISSUE FOR COMMITTEE OF ADJUSTMENT APPLIC.

DO NOT SCALE DRAWING



### MADISON HOMES CORNELL ROUGE PHASE 7 HOUSE SITING & GRADING LOT 17

Date	Checked By
05.14.19	
Job Number	Drawn By
17-1327	FP
Scale	
1:250	
Cad Dwg	Sheet Number
LOT 17	

## NOTES

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# MADISON HOMES

CORNELL  
MARKHAM, ON

**CEDARWOOD 2525 sqft.**  
11.00 m LOTS

**DRAWING LIST:**

A0.1	TITLE SHEET / GBC DATA MATRIX	A3.1	DETAILS
A.1	BASEMENT / FIRST FLOOR PLAN	A4.1	SECTION
A.2	ELEV. 'A'	A5.1	GENERAL NOTES
A1.1	ALT. FIRST FLOOR PLAN / SECOND FLOOR PLAN ELEV. 'A'	A5.2	GENERAL NOTES
A1.2	FLOOR PLAN ELEV. 'B' / PARTI		
A1.3	BASEMENT PLAN FOR BUNKER LAUNDRY		
A1.4	ROOF PLAN 'A' AND 'B'		
A2.1	FRONT ELEVATION 'A' AND 'B'		
A2.2	LEFT SIDE ELEVATION 'A' AND 'B'		
A2.3	RIGHT SIDE ELEVATION 'A' AND 'B'		
A2.4	REAR / AMENITY SPACE ELEVATION		

1	Project Name:	Madison Homes
2	Client Name:	Madison Homes
3	Address:	11111 111th St, Markham, ON L3R 0V1
4	Project Description:	Madison Homes Cedarwood 2525 sqft.
5	Architect:	Cornell Architects
6	Scale:	1/8" = 1'-0"
7	Sheet No.:	11111
8	Sheet Title:	Basement / First Floor Plan
9	Revision:	1.0
10	Date:	2024-01-15
11	Author:	J. Smith
12	Checker:	M. Jones
13	Approver:	K. Brown
14	Project Status:	Approved
15	Notes:	See attached drawings for details.

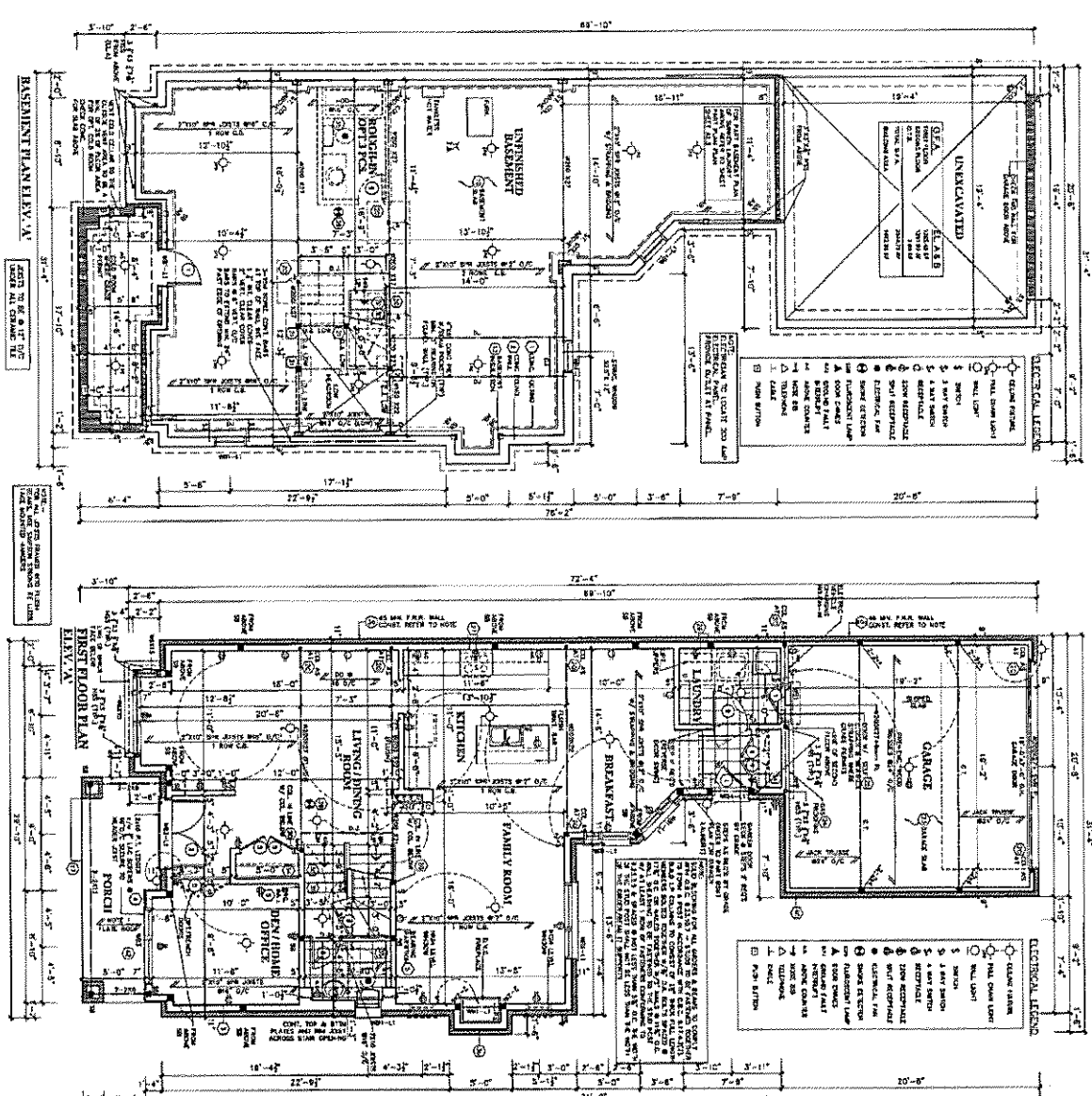
16	17	18	19	20
Area	Perimeter	Volume	Weight	Cost
1000 sq ft	1000 ft	1000 cu ft	1000 lbs	1000 \$
2000 sq ft	2000 ft	2000 cu ft	2000 lbs	2000 \$
3000 sq ft	3000 ft	3000 cu ft	3000 lbs	3000 \$
4000 sq ft	4000 ft	4000 cu ft	4000 lbs	4000 \$
5000 sq ft	5000 ft	5000 cu ft	5000 lbs	5000 \$
6000 sq ft	6000 ft	6000 cu ft	6000 lbs	6000 \$
7000 sq ft	7000 ft	7000 cu ft	7000 lbs	7000 \$
8000 sq ft	8000 ft	8000 cu ft	8000 lbs	8000 \$
9000 sq ft	9000 ft	9000 cu ft	9000 lbs	9000 \$
10000 sq ft	10000 ft	10000 cu ft	10000 lbs	10000 \$

**MADISON HOMES**  
CORNELL  
MARKHAM, ONTARIO  
CEDARWOOD 2525  
11111 LOTS

Drawn by: J. Smith  
Checked by: M. Jones  
Date: 2024-01-15  
Scale: 1/8" = 1'-0"



I certify that I am a duly Licensed Professional Engineer in the Province of Ontario, and that I am the author of the drawings herein. I am not providing any services in the Province of Ontario, and I am not responsible for the design or construction of any structure or system shown on these drawings. I am not responsible for the design or construction of any structure or system shown on these drawings. I am not responsible for the design or construction of any structure or system shown on these drawings.

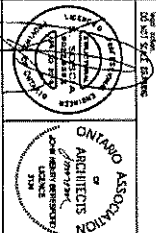


**NOTES:**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, AS AMENDED BY THE LOCAL ORDINANCES AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL ELECTRICAL INSPECTOR.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AT ALL TIMES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND LOCAL ORDINANCES.
8. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

**HADISON HOMES**  
 COUNCIL  
 MARSHALL GIFFORD  
 CEDARWOOD 2525  
 11.0m LOTS

Checked by: \_\_\_\_\_  
 Date: \_\_\_\_\_

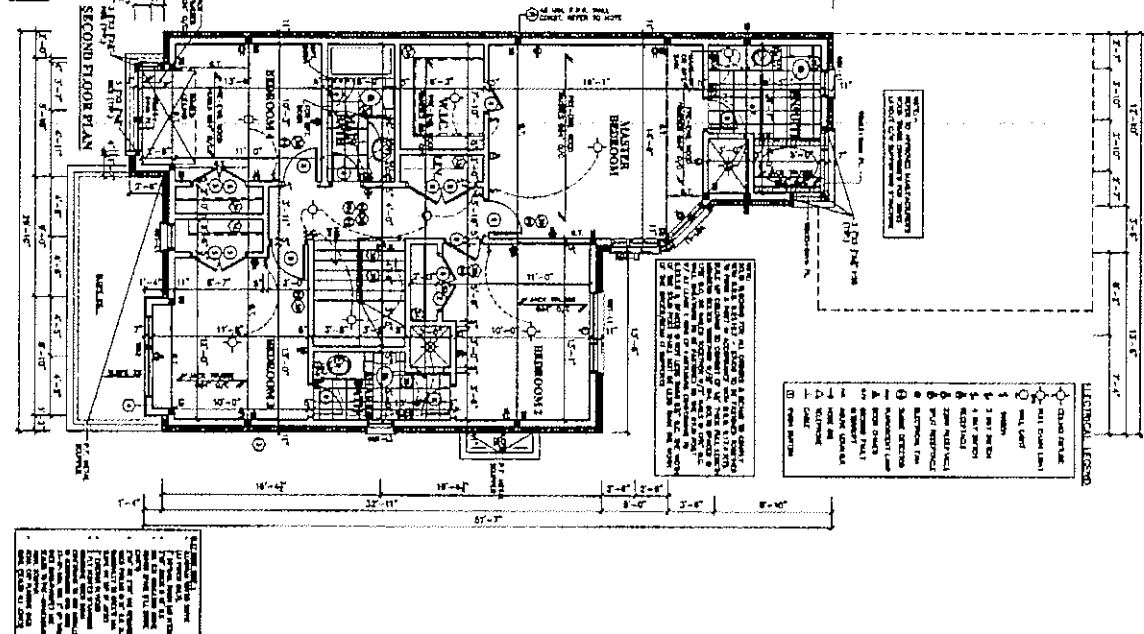
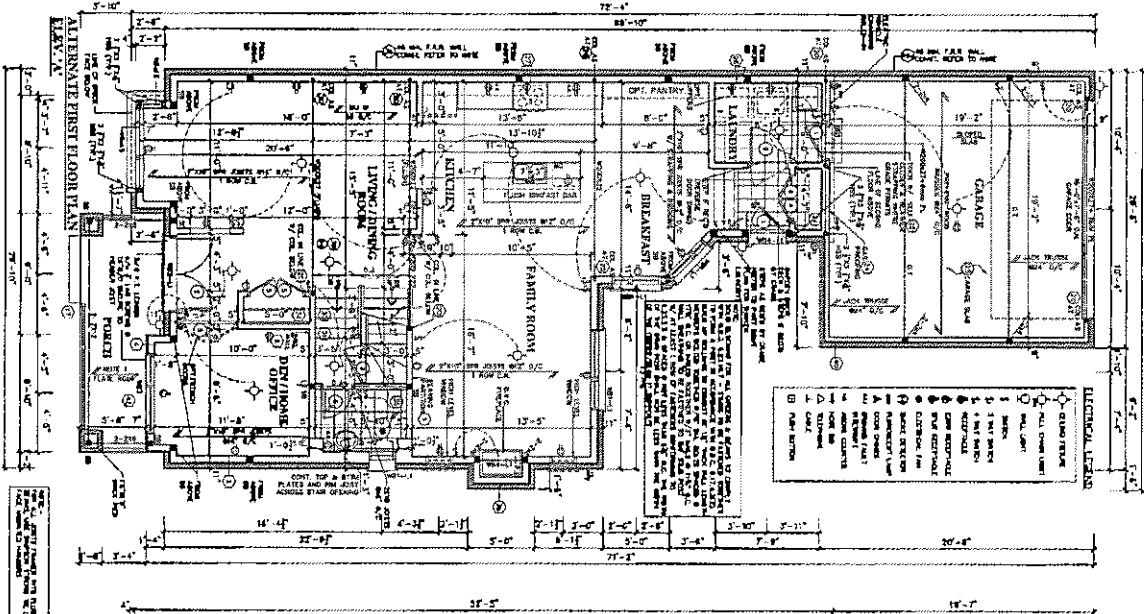


**DISCLAIMER:**

The architect has not been retained to carry out engineering, geotechnical, or other specialized services. The architect's responsibility is limited to the design and construction of the building as shown on the drawings. The architect does not warrant the accuracy or completeness of the information provided on the drawings. The architect is not responsible for the design or construction of any other structures or utilities. The architect is not responsible for the design or construction of any other structures or utilities. The architect is not responsible for the design or construction of any other structures or utilities.

NO.	REV.	DESCRIPTION
1	1	ISSUED FOR PERMITS
2	1	ISSUED FOR PERMITS
3	1	ISSUED FOR PERMITS
4	1	ISSUED FOR PERMITS
5	1	ISSUED FOR PERMITS
6	1	ISSUED FOR PERMITS
7	1	ISSUED FOR PERMITS
8	1	ISSUED FOR PERMITS
9	1	ISSUED FOR PERMITS
10	1	ISSUED FOR PERMITS





**ELECTRICAL LEGEND**

○	CLAMP RECEPT	
○	HALL DOWN LIGHT	
○	HALL LIGHT	
○	1	SWITCH
○	2	1/2" AIR SWITCH
○	3	1/4" AIR SWITCH
○	4	RECYCLED
○	5	CAN RECEPT
○	6	SWITCH OUTLET
○	7	SWITCH OUTLET
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**ELECTRICAL LEGEND**

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THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND SHOULD NOT BE USED FOR ANY OTHER PROJECT WITHOUT HIS WRITTEN PERMISSION. ALL RIGHTS ARE RESERVED. NO PART OF THIS PLAN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

**MBP**  
 MURPHY-BROWN PARTNERS  
 ARCHITECTS  
 1180 WEST GERRARD STREET EAST  
 SCARBOROUGH, ONTARIO M1H 3B3  
 TEL: (416) 491-1300  
 FAX: (416) 491-1305  
 WWW: www.mbp.ca

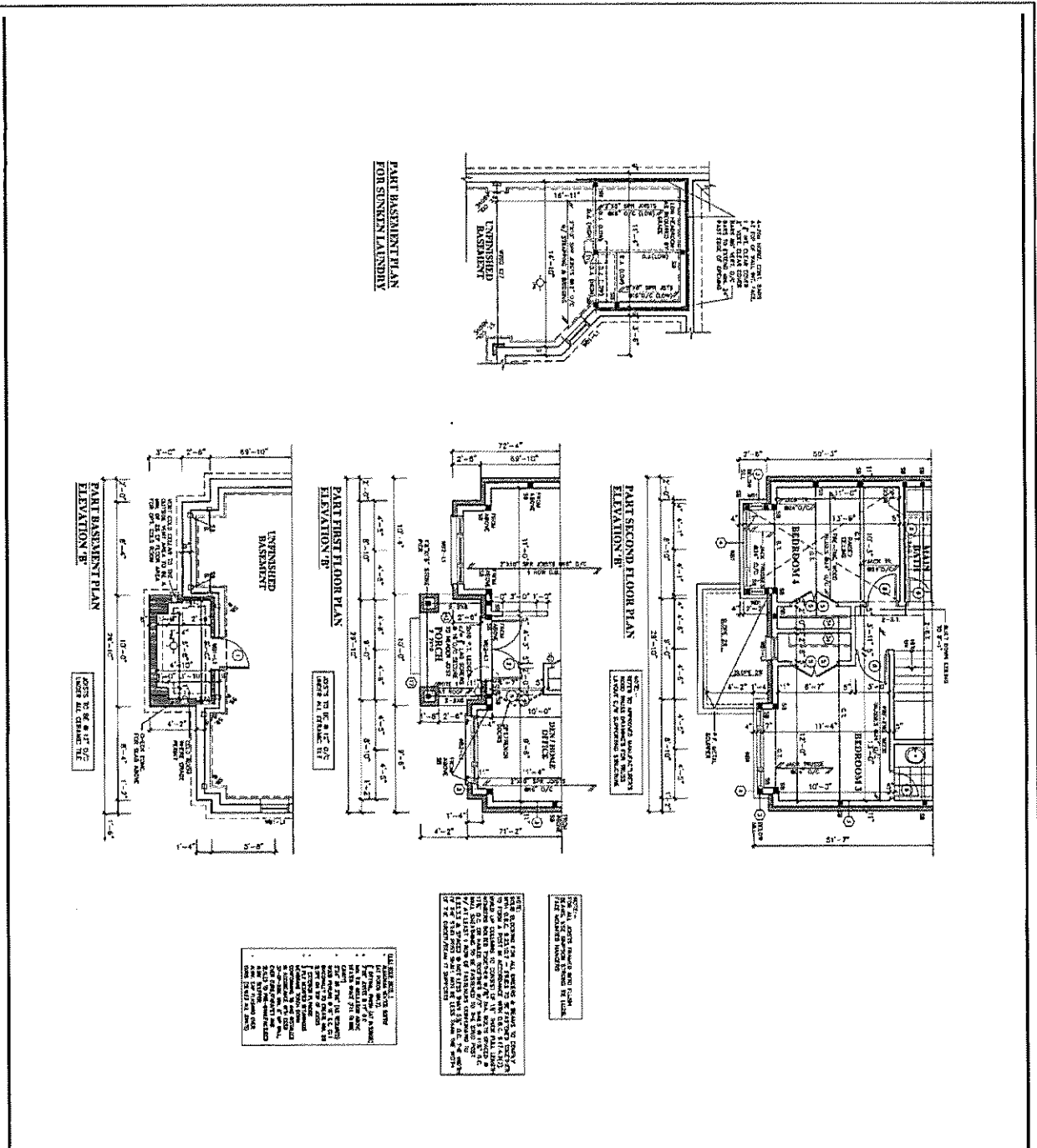
**ONARIO ASSOCIATION OF ARCHITECTS**  
 ARCHITECTS  
 REGULATED PROFESSION  
 100 KING STREET WEST, 3RD FLOOR  
 TORONTO, ONTARIO M5X 1C5  
 TEL: (416) 947-8900  
 FAX: (416) 947-8901  
 WWW: www.oaa.ca

I, the undersigned, being duly qualified and licensed as an Architect, do hereby certify that the foregoing drawings were prepared by me or under my direct supervision and that I am a duly qualified and licensed Architect in the Province of Ontario. I hereby warrant that the said drawings were prepared in accordance with the provisions of the Act respecting the Architects Profession, R.S.O. 1990, Chapter A.01, and the Regulations made thereunder.

SIGNED AND DELIVERED AT \_\_\_\_\_ ON \_\_\_\_\_ 2018

\_\_\_\_\_  
 ARCHITECT

CONTRACT NO. \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_  
 DATE: \_\_\_\_\_



**PART BASEMENT PLAN FOR SINKING LAUNDRY**

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
2. FINISH FLOOR TO FINISH FLOOR UNLESS NOTED OTHERWISE.  
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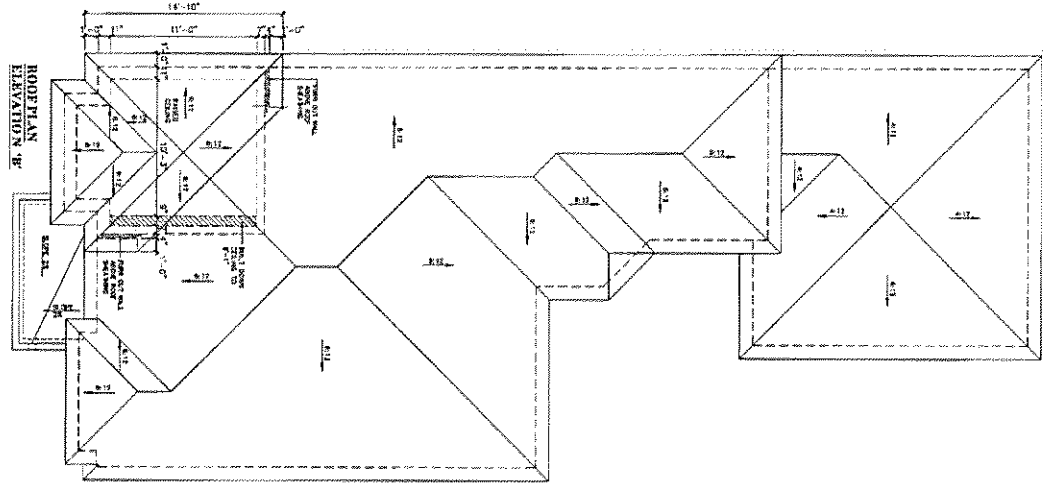
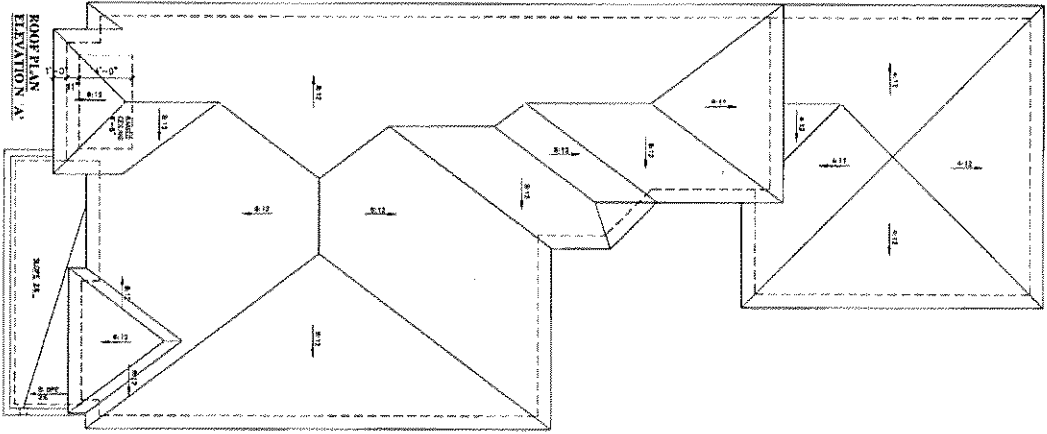
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**PROFESSIONAL ARCHITECTS ASSOCIATION OF ONTARIO**  
MEMBER

**MADISON HOMES**  
CORNBELL  
MARKHAM ONTARIO  
CEDARWOOD 2525  
11.0m LOTS

**ARCHITECTS**  
CORNBELL  
MARKHAM ONTARIO  
CEDARWOOD 2525  
11.0m LOTS

DATE: 2018  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1'-0"  
SHEET NUMBER: 11.3

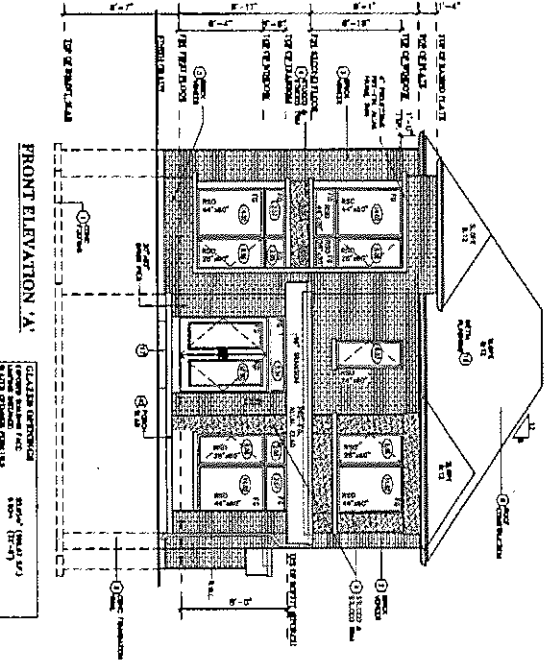


OPTIONAL LIST OF MATERIALS TO BE ATTACHED TO THE CONTRACT BY THE ARCHITECT. THIS LIST IS NOT TO BE USED AS A BASIS FOR THE CONTRACTOR TO OBTAIN A BIDDING PRICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE MATERIALS AND FOR THE COST THEREOF. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND SPECIFICATIONS OF THE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND FINISHING OF THE MATERIALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND SPECIFICATIONS OF THE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND FINISHING OF THE MATERIALS.

**ONTARIO ASSOCIATION OF ARCHITECTS**  
 1100 BAYVIEW AVENUE, SUITE 100  
 SCARBOROUGH, ONTARIO M1B 4Y1  
 TEL: (416) 491-1100  
 FAX: (416) 491-1101  
 WWW: OAA.ASOCIATION.CA

**MADISON HOMES**  
 COUNTESS  
 KATHERINE CHENARD  
 CEDARWOOD 235  
 1100 LOTS

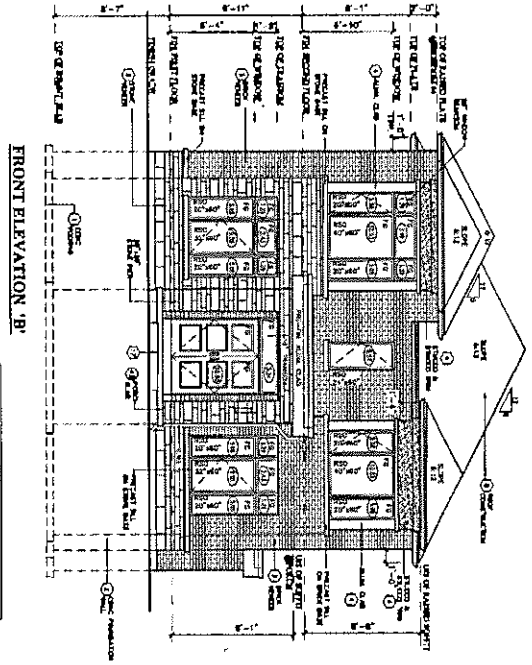
DATE: MAY 2018  
 SCALE: 3/16" = 1'-0"



**FRONT ELEVATION 'A'**

GLAZING SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...
4	...	...	...	...



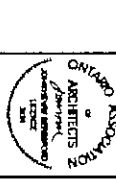
**FRONT ELEVATION 'B'**

GLAZING SCHEDULE

NO.	DESCRIPTION	QUANTITY	UNIT PRICE	TOTAL PRICE
1	...	...	...	...
2	...	...	...	...
3	...	...	...	...
4	...	...	...	...

**THE BUILDING**  
 CONTRACT  
 BETWEEN  
 THE BUILDING CONTRACTOR  
 AND  
 THE HOMEOWNER

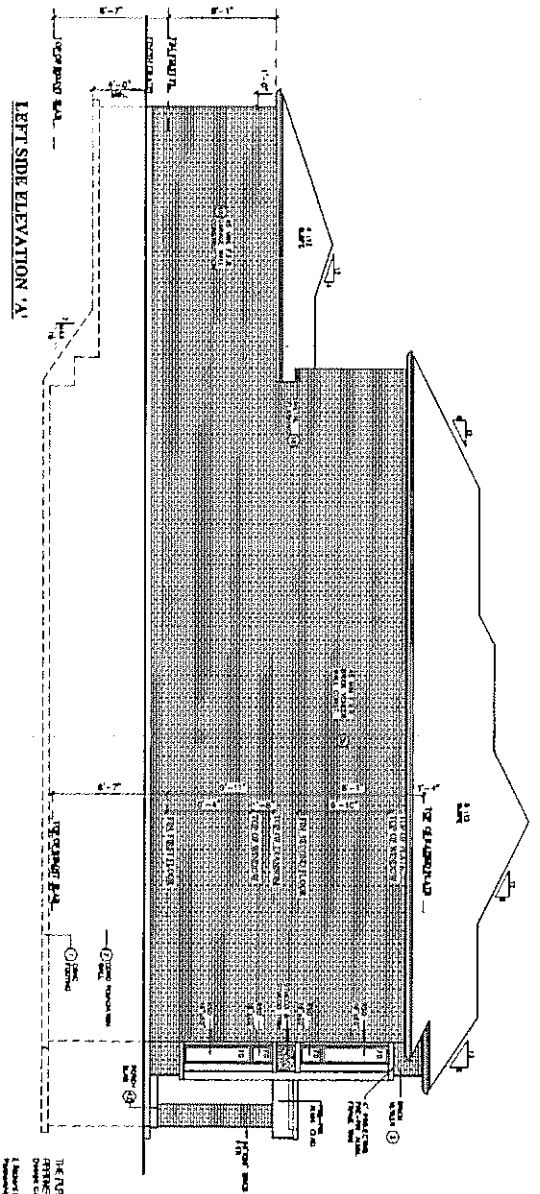
**MADISON HOMES**  
 COUNCIL  
 MADISON, ONTARIO  
 CEDARWOOD 2515  
 116th LOTS



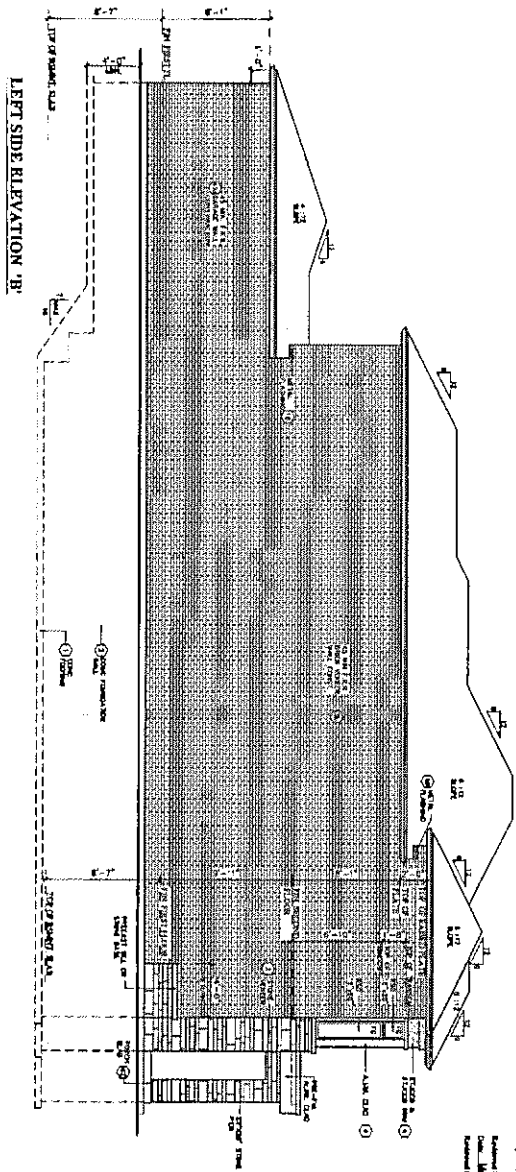
By the Ontario Association of Architects, Inc. (OAA), the undersigned hereby certifies that the undersigned has read and approved the drawings and specifications hereon and that the undersigned is not aware of any fraud or error in the drawings and specifications hereon.

NO.	DATE	DESCRIPTION

Accepted and approved for the Homeowner:  
 \_\_\_\_\_  
 Date: \_\_\_\_\_



LEFT SIDE ELEVATION 'A'

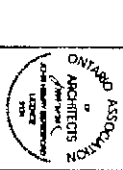


LEFT SIDE ELEVATION 'B'

THE PLANNING  
 FIRMERS LTD.  
 1000 SHEPPARD AVE. E.  
 UNIT 101  
 SCARBOROUGH, ONTARIO  
 M1B 3Y4  
 DRAWN BY: [Signature]

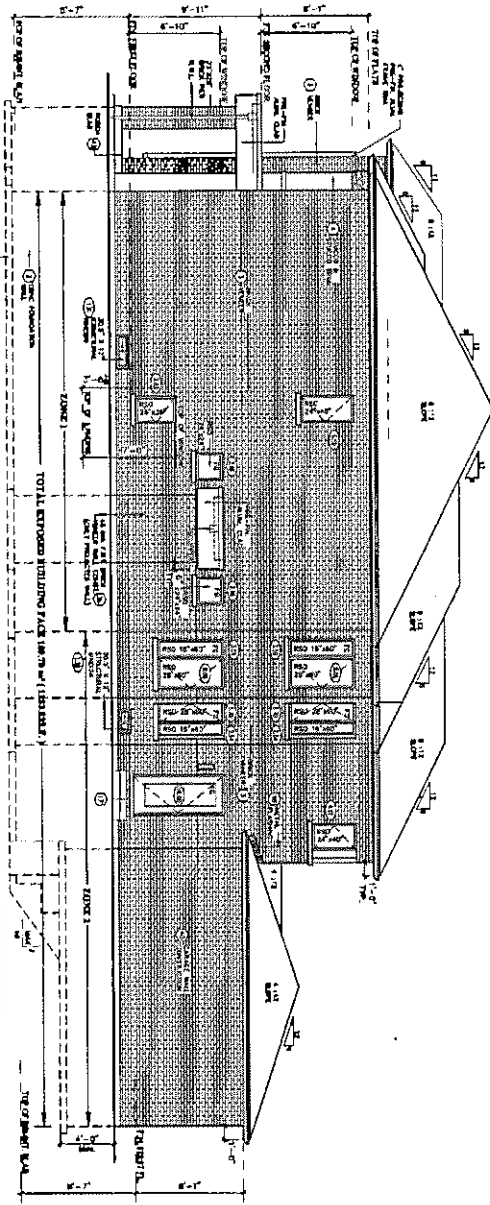
No. of	DATE	REVISIONS
1	11-1-80	REVISED DRAWING
2		
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Original work of art to be submitted to the Ontario Building Code Commission for approval. The project is not to be used for any other purpose without the written consent of the architect. The architect shall be responsible for the accuracy of the information provided in this drawing. The architect shall be responsible for the accuracy of the information provided in this drawing. The architect shall be responsible for the accuracy of the information provided in this drawing.



**MADISON HOMES**  
 CONVELL  
 MADISON HOMES  
 CEDARWOOD 1&2S  
 1188 LOTS

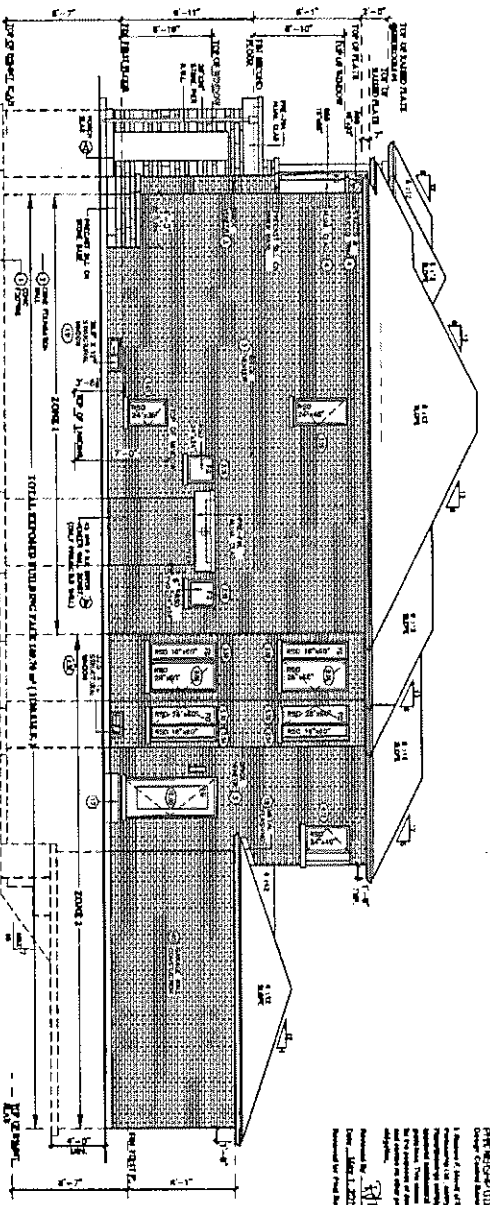
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 Scale: 1/4" = 1'-0"  
 Date: 11-1-80



RIGHT SIDE ELEVATION "A"

GLAZED OPERABLE ZONE 1  
 TOTAL EXPOSED BUILDING FACE  
 TOTAL EXPOSED BUILDING FACE

GLAZED OPERABLE ZONE 2  
 TOTAL EXPOSED BUILDING FACE  
 TOTAL EXPOSED BUILDING FACE



RIGHT SIDE ELEVATION "B"

GLAZED OPERABLE ZONE 1  
 TOTAL EXPOSED BUILDING FACE  
 TOTAL EXPOSED BUILDING FACE

GLAZED OPERABLE ZONE 2  
 TOTAL EXPOSED BUILDING FACE  
 TOTAL EXPOSED BUILDING FACE

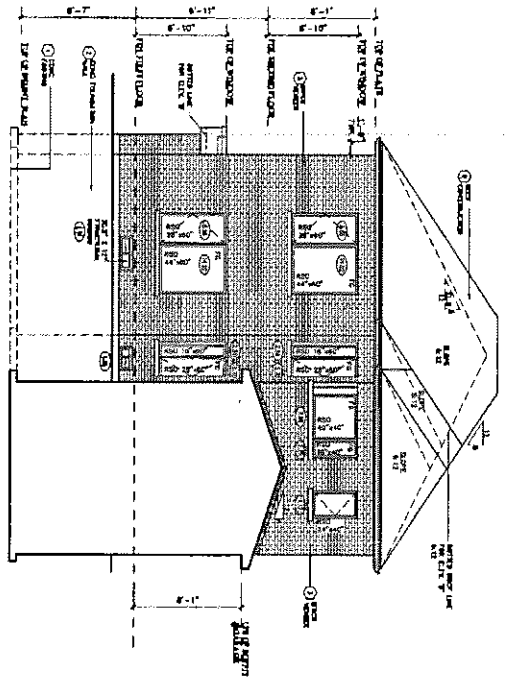
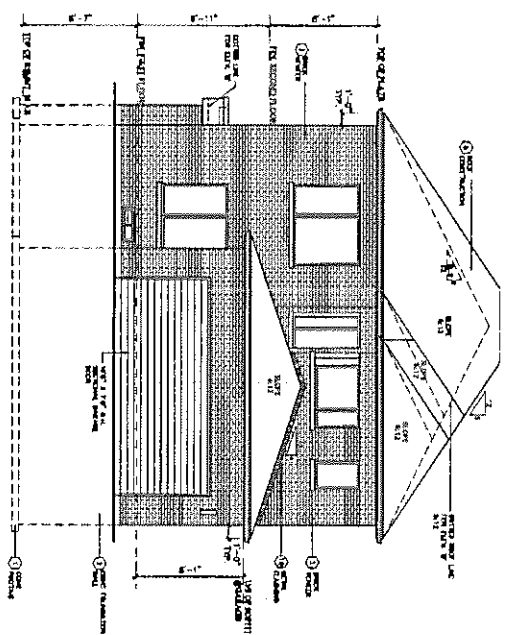
THE DRAWING  
 PREPARED BY  
 1. Name of Architect or Other Person  
 2. Name of Engineer or Other Person  
 3. Name of Surveyor or Other Person  
 4. Name of Other Person  
 5. Name of Other Person  
 6. Name of Other Person

NO.	DATE	DESCRIPTION

ASSOCIATION OF ARCHITECTS  
 OF ONTARIO  
 1100 BAYVIEW AVENUE  
 TORONTO, ONTARIO M2N 3K5  
 (416) 963-4444  
 www.aao.ca

**MADISON HOMES**  
 ORKNEY  
 WAREHOUSES  
 CEDARWOOD 1215  
 11 AND LOTS

DATE: 11/11/2015  
 TIME: 10:00 AM  
 DRAWING NO: 11/11/2015



DATE'S RESPONSE	
DATE	BY
10/24/2018	JANIS
11/07/2018	JANIS
11/20/2018	JANIS
12/05/2018	JANIS

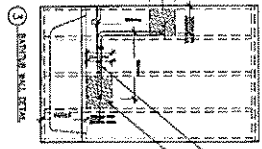
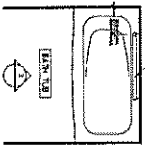
THE DRAWING  
 PREPARED  
 BY THE ARCHITECT  
 FOR THE ARCHITECT'S  
 CLIENT. THE ARCHITECT  
 DOES NOT WARRANT  
 THE ACCURACY OR  
 COMPLETENESS OF THE  
 INFORMATION PROVIDED  
 HEREON. THE ARCHITECT  
 ASSUMES NO LIABILITY  
 FOR ANY ERRORS OR  
 OMISSIONS. THE ARCHITECT  
 IS NOT RESPONSIBLE FOR  
 THE CONSTRUCTION OF  
 THE PROJECT OR FOR  
 ANY VIOLATIONS OF  
 ANY APPLICABLE  
 REGULATIONS. THE ARCHITECT  
 IS NOT RESPONSIBLE FOR  
 THE COST OF THE PROJECT  
 OR FOR ANY DELAYS.  
 ARCHITECT: [Signature]

**MADISON HOMES**  
 CORP.  
 MADISON HOMES  
 CEDARWOOD 2835  
 11,000 LOTS

DATE: MAY 2018  
 BY: [Signature]  
 FOR: [Signature]  
 SCALE: 1/8" = 1'-0"



Consent to publish this drawing in the architect's portfolio, subject to the condition that the architect shall retain the right to use the drawing in the architect's portfolio for the purpose of demonstrating the architect's professional skill and experience, provided that the architect shall not be permitted to use the drawing in any other publication or for any other purpose without the written consent of the client. The client agrees to indemnify and hold the architect harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, that may be asserted against or incurred by the architect in connection with the use of the drawing in the architect's portfolio.



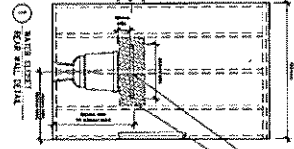
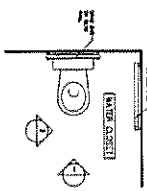
**BATH PLAN**  
 10' 0" x 7' 0" x 8' 0"  
 10' 0" x 7' 0" x 8' 0"

**BATH PLAN**  
 10' 0" x 7' 0" x 8' 0"  
 10' 0" x 7' 0" x 8' 0"

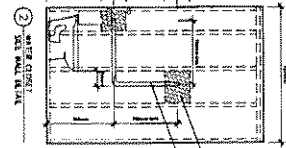
1. All work shall be in accordance with the Ontario Building Code (OBC) and the Ontario Electrical Code (OEC) as amended from time to time and any applicable municipal codes. 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. 3. The contractor shall provide a detailed schedule of work and shall be responsible for coordinating all trades and subcontractors. 4. The contractor shall provide a list of subcontractors and suppliers to the architect prior to the start of construction. 5. The contractor shall be responsible for the safety of all workers and shall provide all necessary safety equipment and training. 6. The contractor shall be responsible for the protection of all existing structures and utilities. 7. The contractor shall be responsible for the removal and disposal of all waste materials.

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DATE	REV.	DESCRIPTION

  
**ONTARIO ASSOCIATION OF ARCHITECTS**  
 100 KING STREET WEST  
 TORONTO, ONTARIO M5X 1C6  
 TEL: 416-967-4100  
 FAX: 416-967-4101  
 WWW.OAA-ONTO.COM

**MADISON HOMES CONSULT**  
 1160 CEDARWOOD DRIVE  
 SCARBOROUGH, ONTARIO M1V 1T5  
 TEL: 416-291-8888  
 FAX: 416-291-8889  
 WWW.MADISONHOMES.COM

**1160 CEDARWOOD DRIVE**  
 1160 CEDARWOOD DRIVE  
 SCARBOROUGH, ONTARIO M1V 1T5

DATE: 04/18/2018  
 DRAWING NO.: 18-1032  
 SCALE: 1/8" = 1'-0"  
 SHEET: 111







