

Memorandum to the City of Markham Committee of Adjustment

July 16th, 2019

File: A/64/19
Address: 18 Sunnyside Hill Road, Markham
Applicant: Public Works Team Inc.
Agent: (none)
Hearing Date: Wednesday July 24, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the requirements of the Residential Two*190*192*514 (R2*190*192*514) Zoning By-law 177-96, as amended to permit:

a) Table A1 & Section 6.5:

an accessory basement dwelling unit within the main building, whereas the By-law only permits an accessory dwelling unit above a detached garage;

b) Parking By-law 28-97, Section 3.0:

a minimum of 2 parking spaces, whereas the By-law requires a minimum of 3 parking spaces (two for the principle dwelling and one for the proposed accessory basement unit).

BACKGROUND

Property Description

The subject property is located on the north of Sunnyside Hill Road, which is south of William Forster Drive and east of Cornell Rouge Boulevard in the Cornell community. The property is located in a residential neighbourhood comprised of lane based two-storey detached dwellings. There is an existing two-storey detached 225 m² (2421.88 ft²) dwelling on the property, which according to assessment records was constructed in 2015. Parking and vehicle access to accommodate the existing dwelling is located at the rear, to access a public lane. Two parking spaces are provided, one within a private garage and another on a driveway/parking pad. The site plan submitted in support of this application is attached as Appendix 'A'.

Proposal

The applicant is proposing a secondary suite in the basement of the existing dwelling. The proposal includes two new egress windows at the side of the building. The proposed secondary suite will have independent access provided by a new door and stairs at the North side of the building to access the rear yard. No other changes are proposed to the exterior of the dwelling or the property.

Provincial Policies

Strong Communities through Affordable Housing Act - Province of Ontario

In 2011, the Strong Communities through Affordable Housing Act amended various sections of the Ontario Planning Act to facilitate the creation of second units by:

- Requiring municipalities to establish Official Plan policies and Zoning By-law provisions allowing secondary units in detached, semi-detached and row houses, as well as in ancillary structures
- Providing authority for the Minister of Municipal Affairs and Housing to make regulations authorizing the use of, and prescribing standards for, second units.

Under the *Strong Communities through Affordable Housing Act*, 'Second Units' also known as secondary suites are defined as "self-contained residential units with kitchen and bathroom facilities within dwellings or within structures accessory to dwellings."

Official Plan and Zoning

2014 Official Plan (partially approved on Nov 24/17, and further updated on April 9/18)

The 2014 Official Plan designates the subject property "Residential – Low Rise", which provides for low rise housing forms including detached dwellings. The definition of a "Secondary Suite" in the 2014 Official Plan is "a second residential unit in a detached house, semi-detached house or rowhouse that consists of one or more rooms designed, occupied or intended for use, including occupancy, by one or more persons as an independent and separate residence in which a facility for cooking, sleeping facilities and sanitary facilities are provided for the exclusive use of such person or persons."

Section 8.13.8 states that it is the policy of Council that in considering an application to amend the zoning by-law to permit the establishment of a secondary suite where provided for in the 2014 Official Plan, that Council shall be satisfied that an appropriate set of development standards are provided for in the zoning by-law including: The building type in which the secondary suite is contained;

- a) The percentage of the floor area of the building type devoted to the secondary suite;
- b) The number of dwelling units permitted on the same lot
- c) The size of the secondary suite;
- d) The applicable parking standards; and
- e) The external appearance of the main dwelling.

As part of the City initiated Zoning By-law Consolidation project, Council recently considered the issue of second suites within the City. On May 29th, 2018, Council voted not to permit second suites as of right in any single detached, semi-detached, or townhouse dwelling.

Zoning By-Law 177-96

The subject property is zoned 'Residential Two*190*192*514 (R2*190*192*514)' under By-law 177-96, as amended, which permits various types of low rise housing forms, including single detached dwellings. Exception *190 provides area specific zone standards which includes permission of accessory dwellings located above a private garage in either the main building or an accessory building on the same lot (i.e. above an attached or detached garage). Considering the proposed accessory unit is not located above a private garage, the applicant has submitted a variance application to permit it within the basement instead.

Exception *192 provides area specific zone standards to permit corner lots fronting on 16th Avenue and interior lots to have attached private garages subject to certain criteria within the by-law. Exception *514 provides area specific zone standards related to the minimum rear yard and maximum garage and driveway widths. Exceptions *192 and *514 are not applicable within the context of this variance application.

Parking Standards By-law 28-97

The proposed secondary suite also does not comply with the requirements of Parking Standards By-law 28-97, as amended, which requires two parking spaces for the detached

dwelling unit and an additional parking space for the proposed accessory unit. Since no changes are proposed to the onsite parking configuration, the applicant is requesting a variance to reduce the onsite parking requirements to allow the accessory unit. Further details are provided in the comment section below.

Applicant's Stated Reason(s) for Not Complying with Zoning

According to the information provided by the applicant, the reason for not complying with Zoning is, *"a second dwelling unit, whereas the By-law permits no more than one dwelling unit on amended to permit and it has two parking spots other By-law requires three"*.

Zoning Preliminary Review (ZPR) Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Suites

Engineering staff confirmed that the existing sanitary sewer system has adequate capacity to accommodate the secondary suite and the Fire and Emergency Services Department has no objections provided the secondary suite is registered with the City and complies with Building and Fire Codes. Should this application be approved, the applicant will be required to obtain a building permit which ensures the secondary suite will be in compliance with Building Code and Fire Code regulations.

The City of Markham is committed to promoting affordable and shared housing opportunities. Secondary suites help the City increase the availability of affordable housing forms and provide support to achieve its affordable housing target required by the Province. Planning staff are of the opinion that the application meets the criteria under Section 8.13.8 of the 2014 Official Plan for the establishment of a secondary suite and therefore have no objections.

Reduced Parking Spaces

As noted, Parking Standards By-law 28-97 requires two parking spaces be provided for the detached unit and an additional space for the accessory dwelling unit or secondary suite. The existing single-car garage and driveway currently provide a total two parking spaces.

Based on the configuration of the rear lot and the adjacent hydro transformer, there is insufficient space for an additional parking pad in the rear yard that would comply with the minimum parking space width requirements of Parking Standards By-law 28-97, as

amended. Additionally, expanding the driveway will reduce soft landscaping and increased hard surface area within the rear yard. This soft landscaping provides for rain water infiltration, which is an important part of good stormwater management practices. Staff do not have concerns with the requested variance to reduce parking for the accessory dwelling unit.

The applicant should be aware that no overnight parking is permitted on City of Markham public streets unless an overnight parking pass or exemption is obtained through the By-law and Licensing Department.

PUBLIC INPUT SUMMARY

No written submissions were received as of July 17 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:



Justin Mott, Development Technician

REVIEWED BY:



Stephen Corr, Senior Planner, East District

APPENDIX "B"

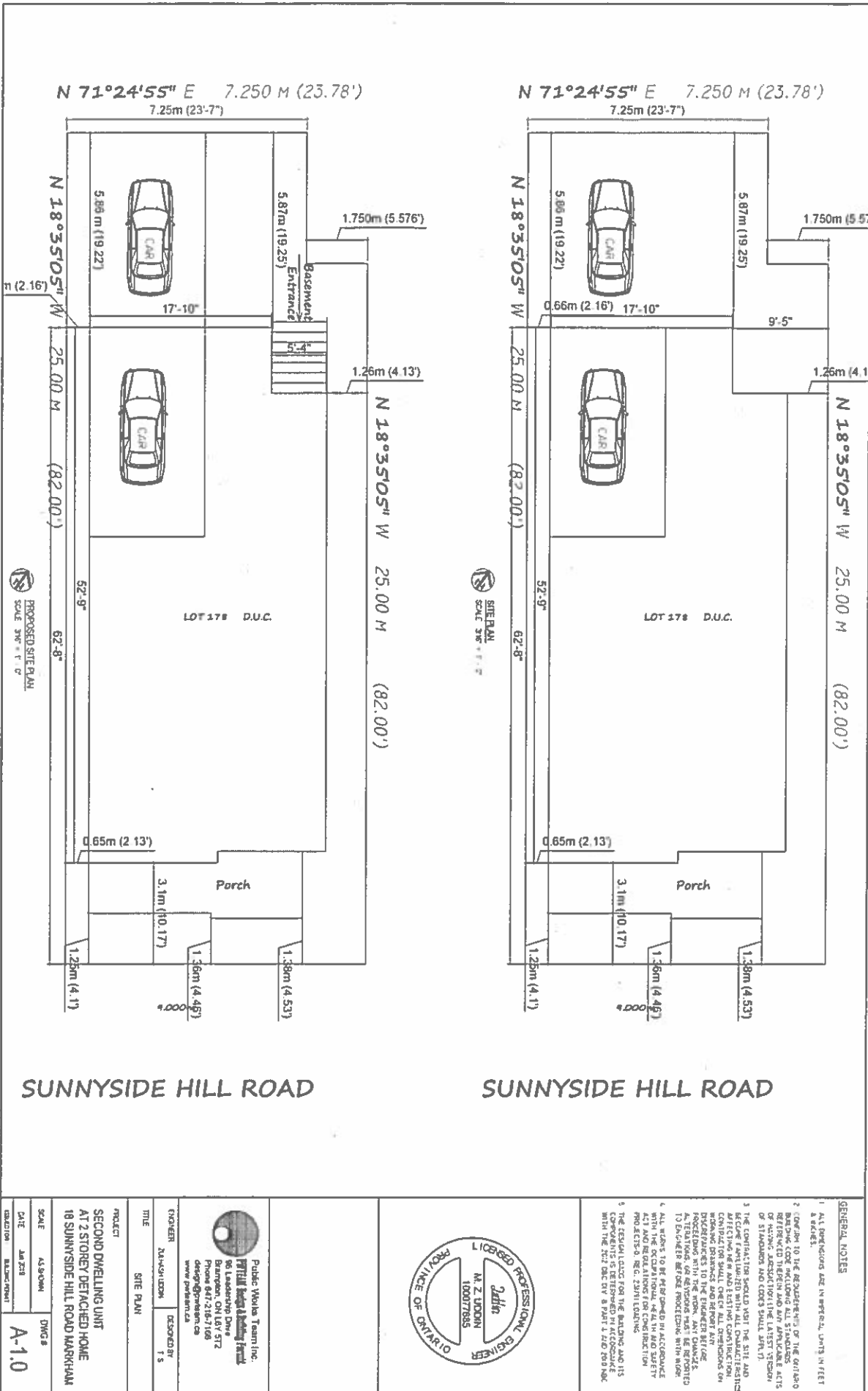
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/64/19



1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report and received by the City of Markham on June 21st, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
4. That the Owner register the home as a two-unit house with the City of Markham Fire & Emergency Services Department, and satisfy any and all conditions for registration, to the satisfaction of the Fire Chief.

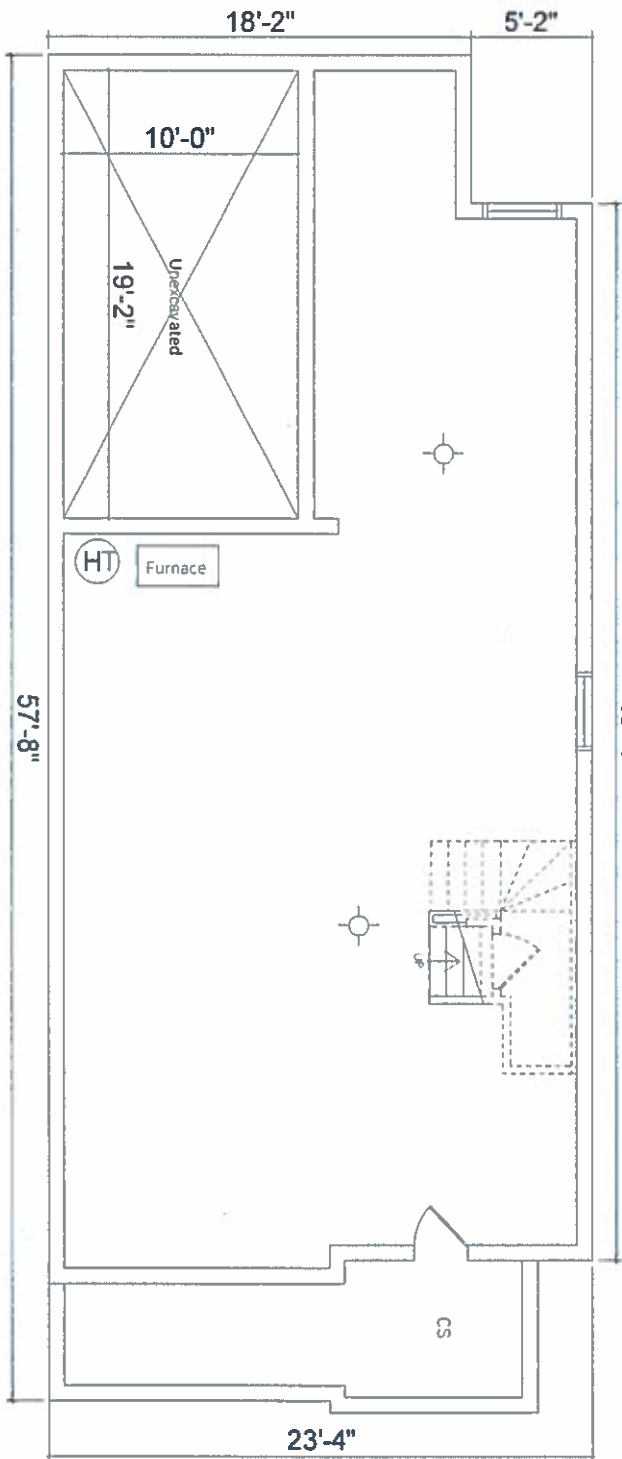
CONDITIONS PREPARED BY:



Justin Mott, Development Technician



<p>GENERAL NOTES</p> <p>1. ALL DIMENSIONS ARE IN METERS, UNLESS OTHERWISE NOTED.</p> <p>2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF PARLIAMENT AND ORDINANCES IN EFFECT AT THE DATE OF THIS PLAN.</p> <p>3. THE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION CODE OF ONTARIO AND ALL APPLICABLE ACTS OF PARLIAMENT AND ORDINANCES IN EFFECT AT THE DATE OF THIS PLAN.</p> <p>4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE ACTS OF PARLIAMENT AND ORDINANCES IN EFFECT AT THE DATE OF THIS PLAN.</p> <p>5. THE RESPONSIBILITY FOR THE BUILDING AND ITS COMPONENTS IS RETAINED BY THE OWNER IN ACCORDANCE WITH THE ACT AND BY PART 1 AND 2 OF THE REG.</p>	
<p>ENGINEER  John M. Z. Udoun 100077855 PROVINCE OF ONTARIO</p>	
<p>OWNER  Public Works Team Inc. 86 Leadership Drive Burlington, ON L7M 5T2 Phone 647-218-7108 design@publicworks.ca www.publicworks.ca</p>	
<p>PROJECT SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM</p>	
<p>SCALE AS SHOWN DWG # A-1.0</p>	
<p>DATE APR 2018</p>	
<p>DRAWN BY A. B. C.</p>	



EXISTING BASEMENT FLOOR PLAN
SCALE: 3/16" = 1' - 0"

45'-4"

23'-4"

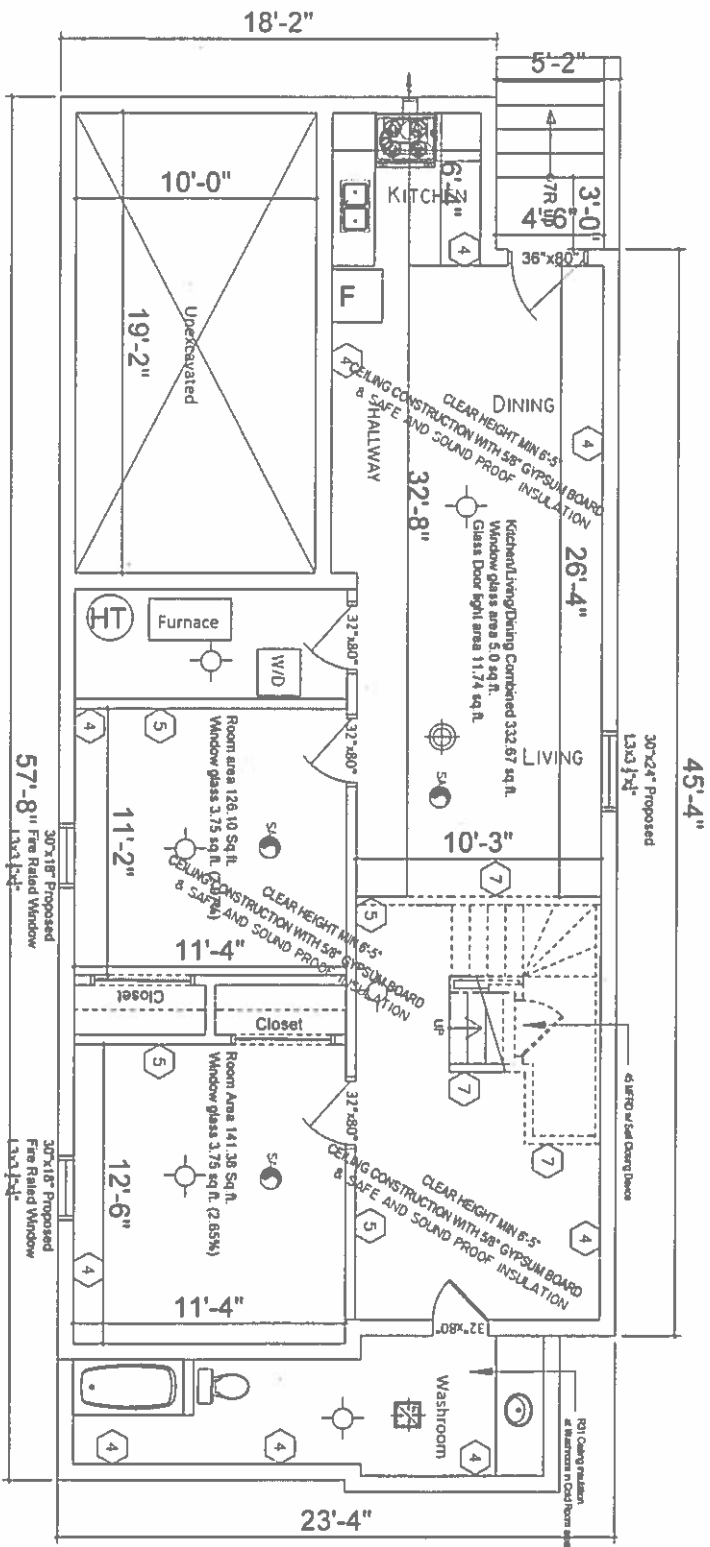
GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. CONFORM TO THE REQUIREMENTS OF THE OREGON BUILDING CODE INCLUDING ALL STANDARDS, ACTS, ORDINANCES, REGULATIONS, AND DECISIONS OF THE OREGON BOARD OF ARCHITECTURE, ENGINEERING, SURVEYING AND LAND SURVEYING.
3. THE CONTRACTOR SHALL VERIFY THE SITE AND BEFORE FURNISHING ANY ALL CHARACTERISTICS AFFECTING THE EXISTING CONSTRUCTION. VERIFY ALL EXISTING CONDITIONS ON RECORD PLANS AND REPORT ALL DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGES TO THE EXISTING CONSTRUCTION SHALL BE NOTED IN WRITING BEFORE PROCEEDING WITH WORK.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE OREGON BUILDING CODE AND ALL APPLICABLE ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS & REG. 221110.010.
5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS REFERRED IN ACCORDANCE WITH THE IBC 2015 BY 8 PSI AT 2.00 PSY WORK.



Public Works Team Inc.
Public Works Consulting Firm
 80 Leasington Drive
 Blountsville, OR 97107
 Phone: 503.215.1500
 Email: info@publicworks.com
 www.publicworks.com

ENGINEER	J. J. UDODIN	DESIGNED BY	1.3
TITLE	EXISTING BASEMENT FLOOR PLAN		
PROJECT	SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARQUAH		
SCALE	AS SHOWN	DWG. #	A-2.0
DATE	JAN 2019		
DESCRIPTION	REVISIONS		



PROPOSED BASEMENT FLOOR PLAN
SCALE: 3/16" = 1' - 0"

LEGEND	
	SPRINKLER HEAD
	POWER OUTLET
	ELECTRICAL CONTROL SWITCH
	CEILING MOUNT LIGHT OUTLET
	FLOOR DRAIN
	RETURN AIR
	SUPPLY AIR
	EXHAUST FAN
	CARBON MONOXIDE DETECTOR
	INTERIOR STUD WALL
	2"x4" WOOD STUDS @ 16" O.C. WITH R22 INSULATION & VAPOR BARRIER & 1/2" GYPSUM BOARD DRYWALL
	INTERIOR STUD PARTITIONS
	2"x4" WOOD STUDS @ 16" O.C. & 1/2" GYPSUM BOARD DRYWALL
	SMOKE ALARM INTERCONNECTED IN CASE OF 15 MIN FIRE RATING SEPARATION
	DUCT TYPE SMOKE DETECTOR
	15 MINUTES FIRE RATED WALL CONSTRUCTION WITH 2" GYPSUM BOARD & SAFE AND SOUND PROOF INSULATION
	30 MINUTES FIRE RATED WALL
	PARTITION WALL
	CONCRETE WALL
	COMMON USED AREA
	3 Way Switch
	Emergency Light

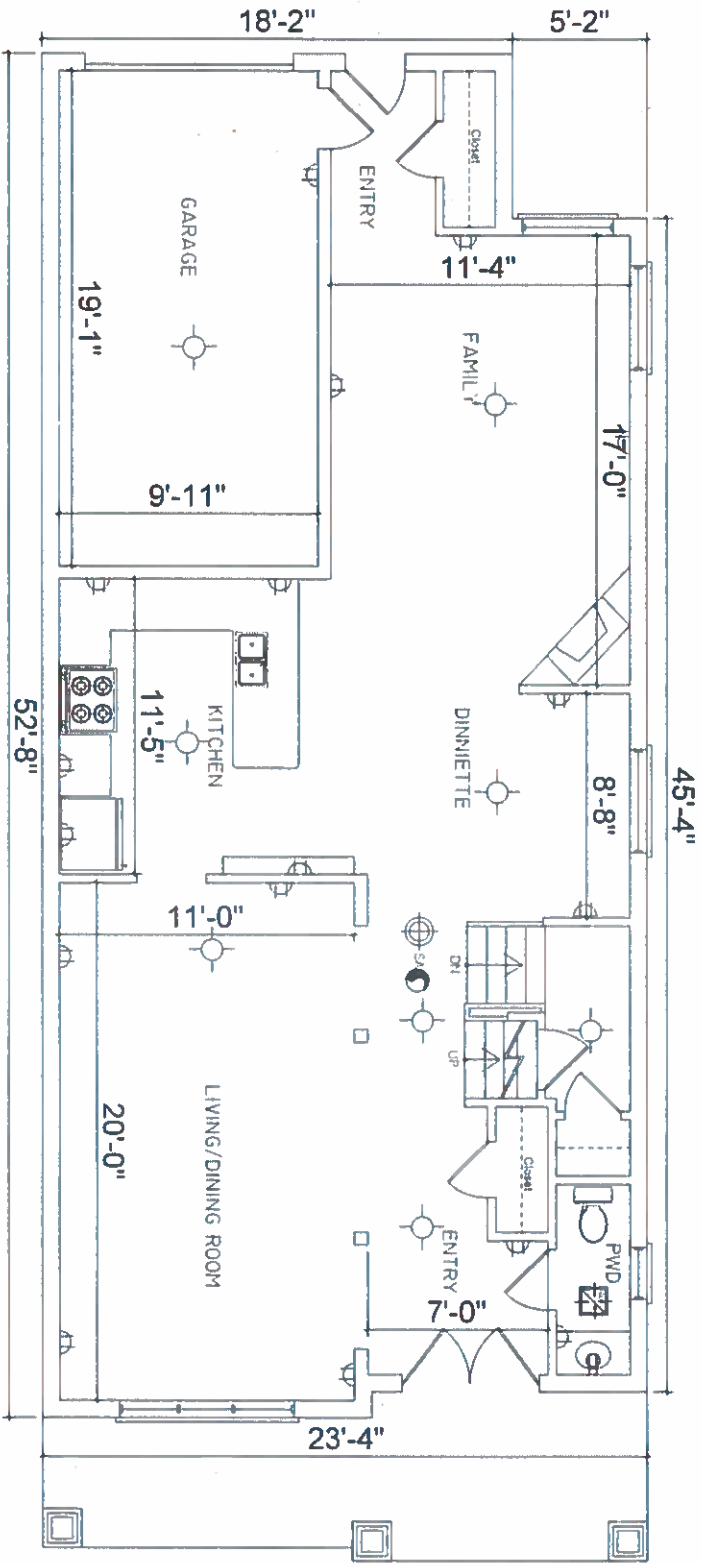
GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF NATURE. JURISDICTION IS THE LATEST VERSION OF 31600000 AND CODES SHALL APPLY.
3. THE CONTRACTOR SHALL VERIFY THE SITE AND AFFECTED AREAS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
4. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS - O. REG. 22911 (LOADING).
5. THE DESIGN IS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2021 ONT. FIRE PART 2 AND 2021 NBC.

Public Works Team Inc.
 96 Leanderway Drive
 Brampton, ON L6Y 5T2
 Phone 647-216-7100
 design@publicworks.ca
 www.publicworks.ca

ENGINER: M. Z. UDDIN
 DESIGNED BY: T.S.
 TITLE: PROPOSED BASEMENT FLOOR PLAN
 PROJECT: SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM

SCALE: AS SHOWN
 DATE: JAN 2019
 DRAWING: A-3.0



EXISTING GROUND FLOOR PLAN
 SCALE: 3/16" = 1' - 0"

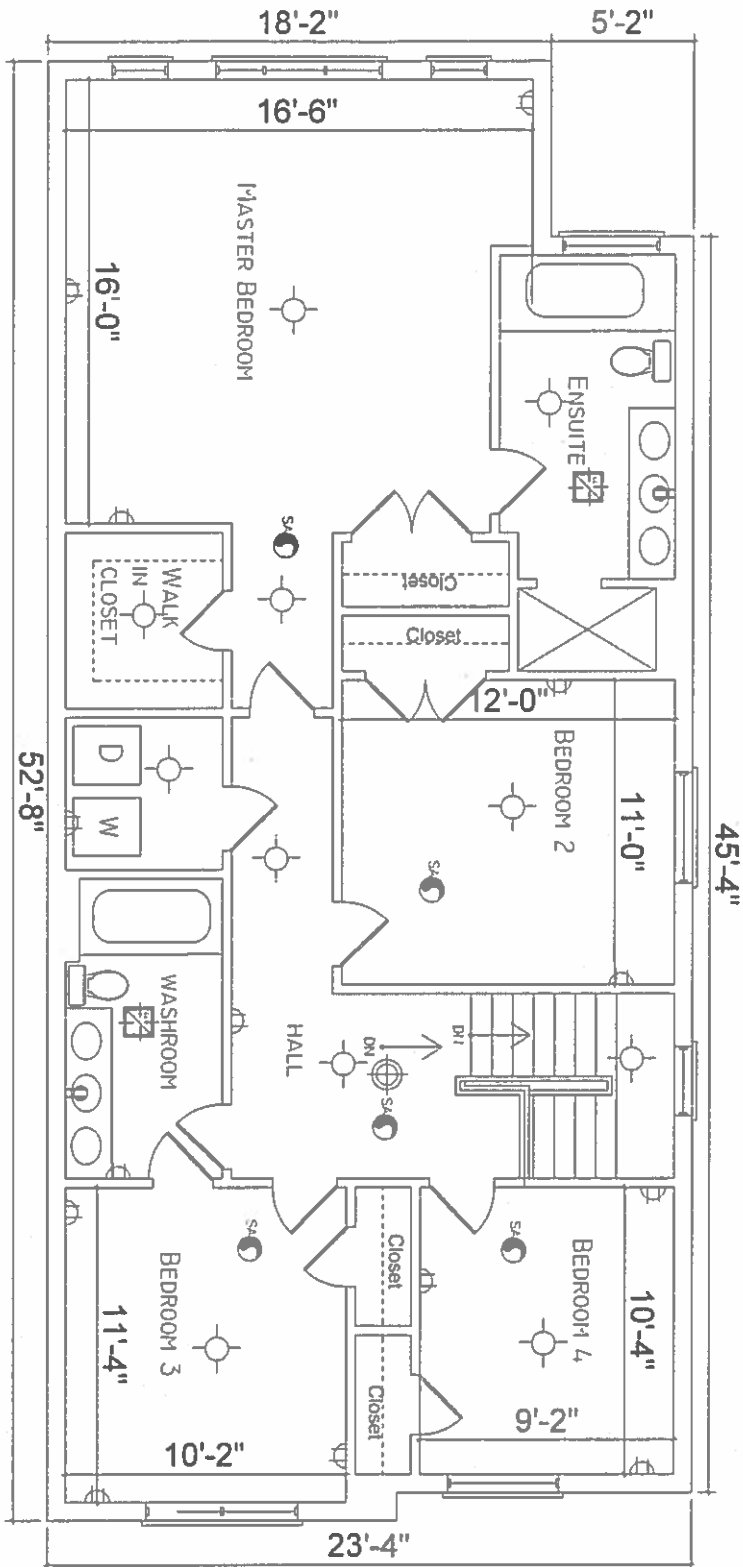
GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. REFER TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS RELATING TO PERMITS AND ALL APPLICABLE ACTS OF PARLIAMENT AND ALL APPLICABLE ACTS OF STATUTES AND CODES SHALL APPLY.
3. THE CONTRACTOR SHOULD VISIT THE SITE AND BEFORE FAMILIARIZED WITH ALL QUALIFICATIONS AND CONDITIONS OF ALL PERSONS ON THE PROJECT AND SHALL BE RESPONSIBLE FOR DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY CHANGE TO THE WORK SHALL BE APPROVED BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS. O. REG. 2201 IN FORCE.
5. THE RESPONSIBILITY FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS. O. REG. 2201 IN FORCE.



Pulse Works Team Inc.
 80 Leasford Drive
 Brampton, ON L6Y 5T2
 Phone: (905) 218-7100
 www.pulseworks.ca

ENGINEER	DESIGNED BY
G. JUDON	J. S.
TITLE	PROJECT
EXISTING GROUND FLOOR PLAN	SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM
SCALE	DWG #
AS SHOWN	A-4.0
DATE	
Jan 2019	
REVISION	
1.0	



EXISTING SECOND FLOOR PLAN
SCALE: 3/16" = 1' - 0"

GENERAL NOTES

1. ALL DIMENSIONS ARE IN METRIC UNITS IN FEET & INCHES.
2. REFER TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF STATUTES AND CODES SHALL APPLY.
3. THE CONTRACTOR SHALL OBTAIN THE SET AND RECEIVE FURNISHED WITH ALL QUALIFICATIONS AND APPROVALS FROM ALL APPLICABLE AUTHORITIES BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FOR CONSTRUCTION PROJECTS. (REG. 239(1) LOADING)
4. ALL WORKS TO BE PERFORMED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS. (REG. 239(1) LOADING)
5. THE DESIGN LOADS FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE 2015 IBC BY PART 2 AND 2015 IBC.



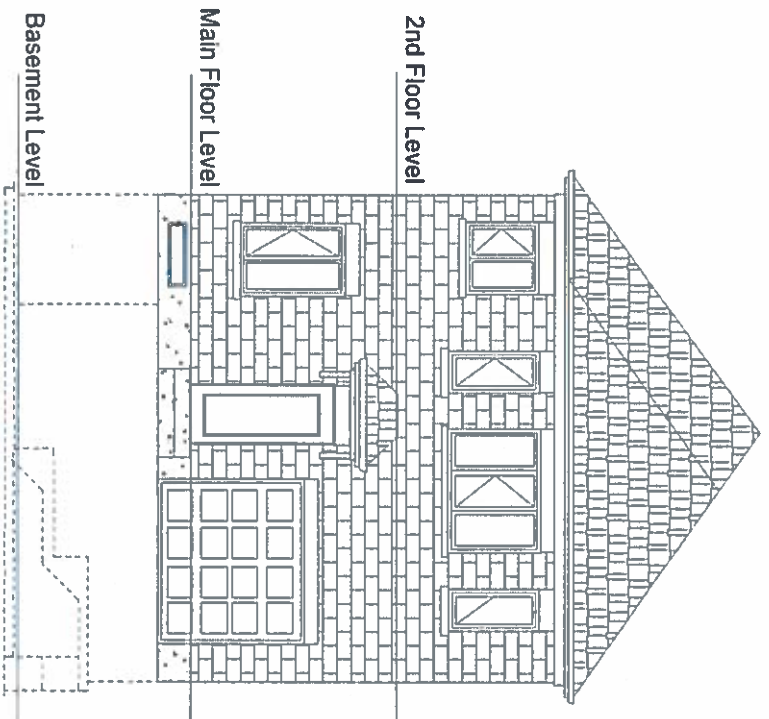
Prida Whole Team Inc.
Prida Building Services
90 Leavelle Drive
Brampton, ON L6Y 5T2
Phone: (905) 871-7000
Email: info@prida.ca
www.prida.ca

ENGINEER: ALI Z. UDDIN
DESIGNED BY: I.S.

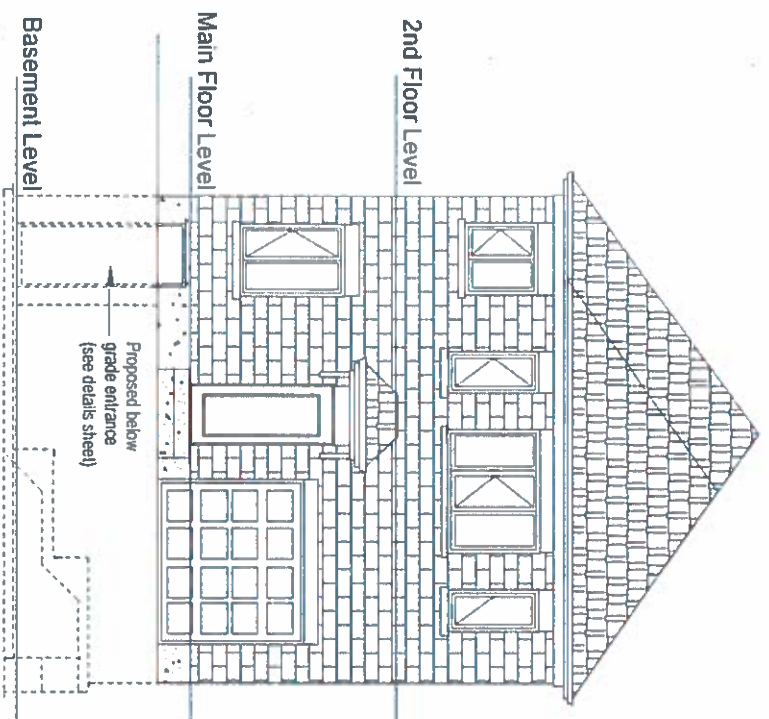
TITLE: EXISTING SECOND FLOOR PLAN

PROJECT: SECOND DWELLING UNIT
AT 2 STOREY DETACHED HOME
19 SUNNYSIDE HILL ROAD MARKHAM

SCALE: AS SHOWN
DATE: JAN 2019
DRAWN BY: ALI Z. UDDIN
CHECKED BY: I.S.
PROJECT NO: A-5.0



EXISTING REAR ELEVATION
SCALE: 3/16" = 1' - 0"



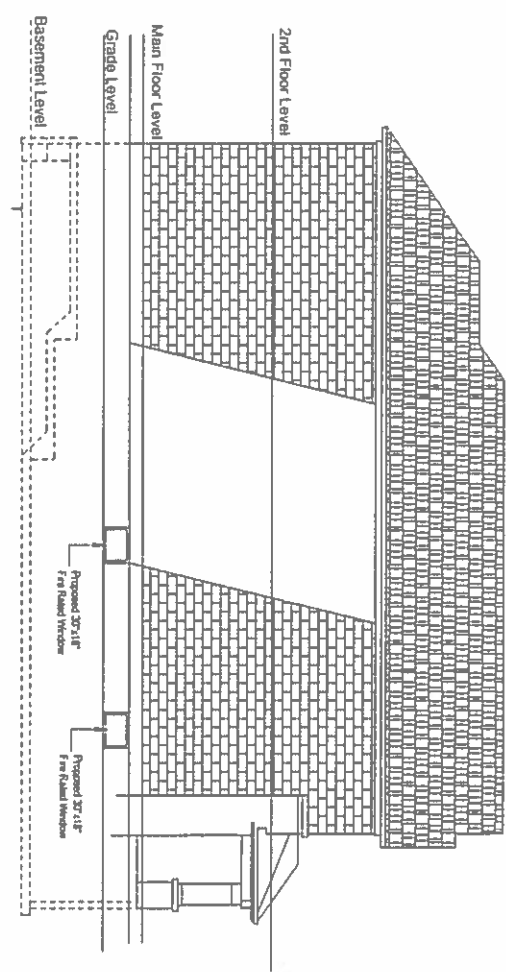
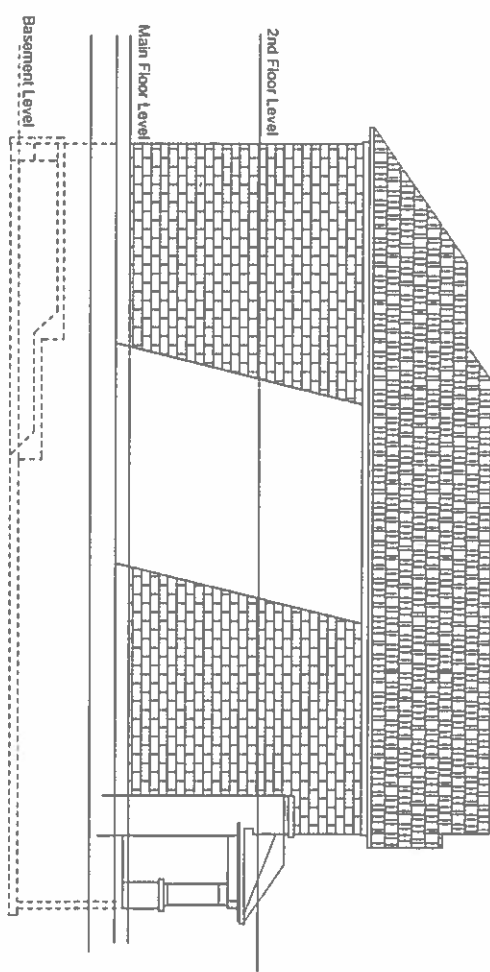
PROPOSED REAR ELEVATION
SCALE: 3/16" = 1' - 0"

- GENERAL NOTES**
1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
 2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERRED TO HEREIN AND ANY APPLICABLE ACTS OF STATUTES AND CODES SHALL APPLY.
 3. THE CONTRACTOR SHALL VERIFY THE SITE AND BEFORE FURTHER WORK WITH ALL CONSTRUCTION AFFECTING NEARBY EXISTING CONSTRUCTION, CONSTRUCTION SHALL OBTAIN ALL PERMITS, ON DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK. ANY QUANTITIES SHOWN ON THE PROPOSAL SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
 4. ALL WORKS TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS 0, REG. 2194 (LOADING).
 5. THE RES ON LOAD FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE CAN CODE FOR 8, PART 2 AND FOR MARK.



Pulse Works Team Inc.
Paula Hoyle, Architect
 96 Leadership Drive
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ENGINEER	ALAN WILSON	DESIGNED BY	F. S.
TITLE	EXISTING & PROPOSED REAR ELEVATION		
PROJECT	SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM		
SCALE	AS SHOWN	DMC #	A-6.0
DATE	Jan 2019		
COLLECTION	ALAN WILSON		



PROPOSED LEFT ELEVATION
SCALE 3/8" = 1'-0"

- GENERAL NOTES**
1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
 2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERRED THEREIN AND ANY APPLICABLE ACTS OF STATUTES AND CODES IN THE LATEST EDITION OF THE CANADIAN BUILDER'S HANDBOOK.
 3. THE CONTRACTOR SHALL VISIT THE SITE AND BE AWARE OF ALL EXISTING UTILITIES AND CONDITIONS AFFECTING THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES PRIOR TO THE START OF CONSTRUCTION. ALL PROVISIONS OF THE ACT AND REGULATIONS SHALL BE OBSERVED AND ALL CHANGES MUST BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
 4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS IN RESIDENTIAL ZONING.
 5. THE RESPONSIBILITIES FOR THE BUILDING AND ITS COMPONENTS IS DETERMINED IN ACCORDANCE WITH THE R200 CODE BY 8/24/11 2.410 (200) NBC.

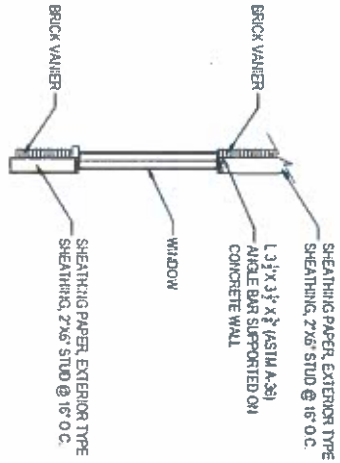


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 Phone 647-215-7169
 Fax 647-215-7168
 www.prattinc.ca
 www.prattdesign.ca

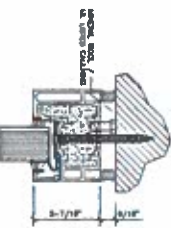
ENGINEER	21-44-44-10-01	DESIGNED BY	T.S.
TITLE	EXISTING & PROPOSED LEFT ELEVATION		
PROJECT	SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM		
SCALE	AS SHOWN	DATE	04/23/18
DATE	04/23/18	SCALE	A-7.0
LOCATION	R200/01/01		



PROPOSED WINDOW CONSTRUCTION DETAILS
SCALE: NTS

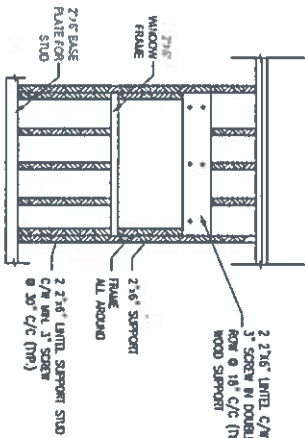


60 MINUTES FIRE RATED WINDOW SPEC
PRISM PLATINUM (ROLLON 2x5 3/4\"/>

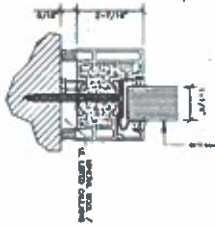


FIRE RATED WINDOW NOTE:
Manufacturer: PrecisionGlass
2 Essex Avenue, Unit 38
Thornhill, ON Canada, L3T 3Y8
Phone: 905-731-7800

- 1 HOUR FIRE RATED WINDOW (MANUFACTURER'S SPECIFICATION)**
- A) MANUFACTURER'S DESIGNATION: CONTRAFLAM STRUCTURE 50
 - B) GLAZING TYPE: WIRELESS, LAMINATED GLAZING MATERIAL WITH INTUMESCENT INTERLAYERS.
 - C) NORMAL THICKNESS: 1-3/16 INCH (31MM)
 - D) WEIGHT: 15.0 LB/ SQ.FT. (69 KG/ SQ.M.)
 - E) VISIBLE LIGHT TRANSMISSION: 80%
 - F) SOUND TRANSMISSION COEFFICIENT: L10B



INTERIOR WINDOW CONSTRUCTION DETAILS



FIRE RATED WINDOW CONSTRUCTION DETAILS

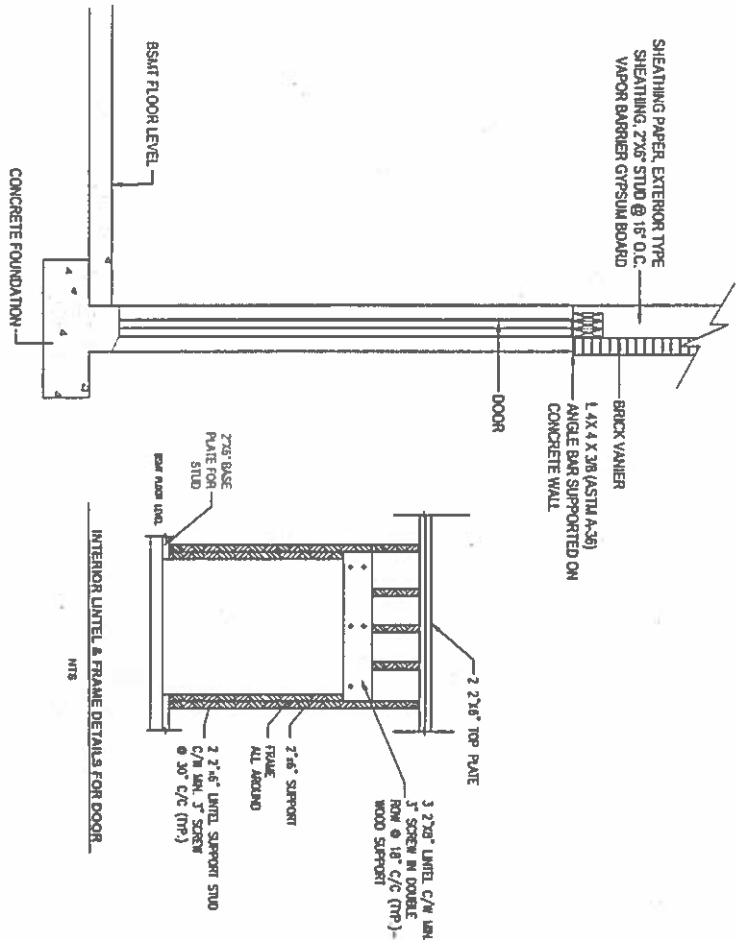
GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED THEREIN AND ANY APPLICABLE ACTS OF STATUTES AND CODES SHALL APPLY.
3. THE CONTRACTOR SHALL VERIFY THE SITE AND BEFORE PROCEEDING WITH ALL CONSTRUCTION, VERIFY THE EXISTING CONSTRUCTION, CONSTRUCTION SHALL COMPLY ALL REGULATIONS ON DISCREPANCIES TO THE DRAWINGS BEFORE PROCEEDING WITH THE WORK. ANY CHANGES TO THE DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL APPLICABLE ACTS AND REGULATIONS FOR CONSTRUCTION PROJECTS & REG 23/94 (ELECTRICAL).
5. THE DESIGN IS INTENDED FOR THE BUILDING AND ALL COMPONENTS IS DETERMINED BY THE CONTRACTOR WITH THE A/E/ARCHITECT BY DRAWING 1 AND 2009 REG.



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Professional Engineer
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www.publicworks.ca

ENGINEER	ZAK MASHAYEKH	DESIGNED BY	T.S.
TITLE	WINDOW CONSTRUCTION DETAILS	PROJECT	SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM
SCALE	AS SHOWN	DWG #	A-8.0
DATE	JAN 2018	ISSUE	ELABORATION



DOOR CONSTRUCTION DETAILS

PROPOSED DOOR CONSTRUCTION DETAILS
SCALE: NTS



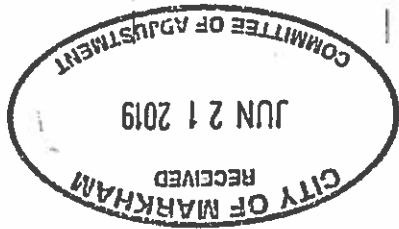
GENERAL NOTES

1. ALL DIMENSIONS ARE IN IMPERIAL UNITS IN FEET & INCHES.
2. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE INCLUDING ALL STANDARDS REFERENCED HEREIN AND ANY APPLICABLE ACTS OF PARLIAMENT AND ORDINANCES OF THE PROVINCE OF ONTARIO.
3. THE CONTRACTOR SHALL OBTAIN THE SITE AND BEING FAMILIARIZED WITH ALL OBSTACLES AND CONDITIONS BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES BEFORE PROCEEDING WITH THE WORK. ANY CHANGES TO THE WORK SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS OF REG. 23/94 LOADING.
5. THE RESPONSIBILITY FOR THE BUILDING AND ITS COMPONENTS IS RETAINED BY ARCHITECT AND SHALL REMAIN WITH THE 2017 OBC BY 8 PART 2 AND 9.9.8.8.8.



Pulse Works Team Inc.
Pulse Works Consulting Inc.
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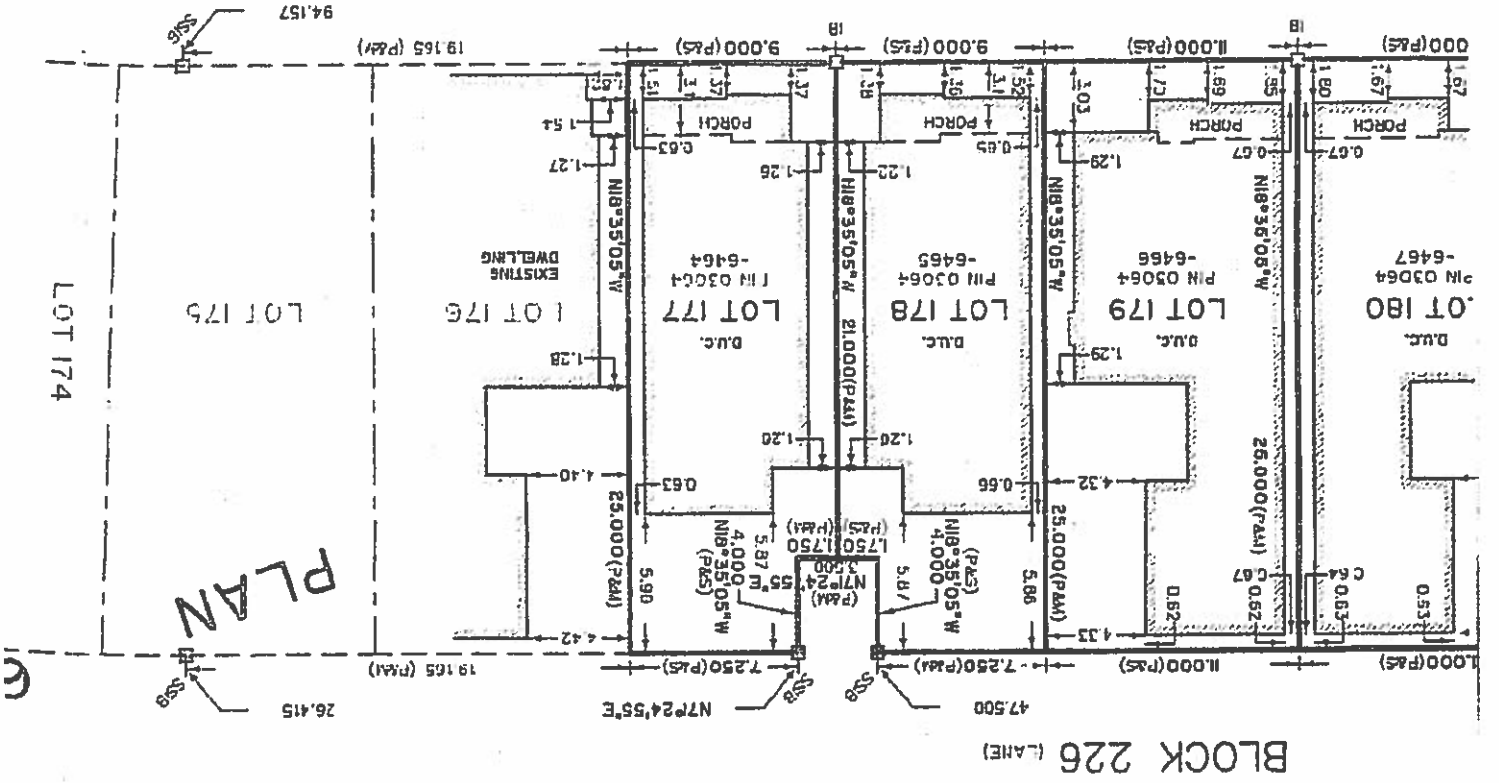
ENGINEER	DESIGNED BY
2144541128	1 S
TITLE DOOR CONSTRUCTION	
PROJECT SECOND DWELLING UNIT AT 2 STOREY DETACHED HOME 18 SUNNYSIDE HILL ROAD MARKHAM	
SCALE AS SHOWN	DWG # A-10.0
DATE Jan 2019	REVISIONS



LOT 196 LOT 197 LOT 198 LOT 199 LOT 200 LOT 201

SUNNYSIDE HILL ROAD

(BY REGISTERED PLAN 65M-1354)



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APPENDIX "B"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/64/19

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report and received by the City of Markham on June 21st, 2019, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
4. That the Owner register the home as a two-unit house with the City of Markham Fire & Emergency Services Department, and satisfy any and all conditions for registration, to the satisfaction of the Fire Chief.

CONDITIONS PREPARED BY:

Justin Mott, Development Technician