

# Memorandum to the City of Markham Committee of Adjustment

February 28, 2019

**File:** A/71/18  
**Address:** 57 Hawkrigde Avenue, Markham  
**Applicant:** Lina Dimartino  
**Agent:** Lemca Consultatnts (Leo Mastrandrea)  
**Hearing Date:** Wednesday March 13, 2019

The following comments are provided on behalf of the East Team.

The applicant is requesting relief from the following requirements of By-law 1229, R1, as amended, as they relate to a proposed two-storey single detached dwelling on the subject lands:

- a) **Infill By-law 99-90, Section 1.2 (vi):**  
a maximum Net Floor Area Ratio of 54%, whereas the By-law permits a maximum Net Floor Area Ratio of 45%;
- b) **Infill By-law 99-90, Section 1.2 (iii):**  
a maximum building depth of 21.0 m, whereas the By-law permits a maximum building depth of 16.8 m.

## **APPLICATION CHRONOLOGY**

This variance application has been deferred by the Committee of Adjustment twice, on September 12 and on November 2, 2018. The deferrals were due to the Committee's concerns over the proposed building mass, floor area ratio and impacts to privacy from a balcony in the rear yard.

At the September 12, 2018 hearing the following variances were requested:

- a) a maximum building height of 10.19 m, whereas the By-law permits a maximum building height of 9.8 m;
- b) a maximum building depth of 21.48 m, whereas the By-law permits a maximum building depth of 16.8 m;
- c) a maximum net floor area ratio of 55 %, whereas the By-law permits a maximum floor area ratio of 45%;
- d) a maximum front porch step encroachment of 5 ft 4 inches into the front yard, whereas the By-law permits a maximum front step encroachment of 18 inches into a required yard.

At the November 2, 2018 hearing the following variances were requested:

- a) a maximum building height of 10 m, whereas the By-law permits a maximum building height of 9.8 m;
- b) a maximum building depth of 21.48 m, whereas the By-law permits a maximum building depth of 16.8 m;
- c) a maximum floor area ratio of 55 percent, whereas the By-law permits a maximum floor area ratio of 45 percent.

## **COMMENTS**

The applicant submitted the latest revised drawings on February 15, 2019 removing the maximum building height variance and reducing the maximum net floor area ratio and maximum building depth variances.

The applicant is requesting a net floor area ratio 54 percent, whereas the By-law permits a maximum net floor area ratio of 45 percent. This will permit a dwelling with a gross floor area of 385.91 m<sup>2</sup> (4,153.90 ft<sup>2</sup>), whereas the By-law permits a gross floor area of 320.84 m<sup>2</sup> (3,456.53 ft<sup>2</sup>). This is an increase of approximately 65.07 m<sup>2</sup> (700.40 ft<sup>2</sup>). The previous Staff comments dated September 7, 2018 expressed concerns with the original net floor area ratio of 55%, which, as noted, has been reduced to 54%. While this is a marginal reduction, staff note that the applicant has revised the proposal to respond to the Committee of Adjustment's comments on the overall building mass, specifically, by reducing the proposed building depth slightly and by removing requested variances to permit an increased building height and front porch encroachment. The combination of revisions result in a dwelling with a reduced massing from the original submission.

The applicant is requesting a maximum building depth of 21.0 m (68.9 ft) whereas the By-law permits a maximum building depth of 16.8 m (55.12 ft). This is an increase of 4.2 m (13.78 ft), which is attributable to a one-storey covered sunroom extending approximately 4.56 m (15 ft) from the rear of the dwelling. The total depth of the proposed dwelling, not including the one-storey sunroom, is approximately 16.44 m (53.9 ft).

## **PUBLIC INPUT SUMMARY**

As of February 28, 2019 the City received one letter expressing concerns over the construction of the proposed dwelling damaging a mature neighbouring cedar hedge. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

## **CONCLUSION**


Staff do not have concerns with the requested building depth variance. While a net floor area ratio variance of 54% is still being requested, staff acknowledge that revisions have been made that reduce the overall scale and mass of the proposed dwelling. Notwithstanding the requested variances, the proposed dwelling complies with all other development standards, including front and side yard setbacks, lot coverage, garage projection and building height requirements. Consequently staff are of the opinion that approval of the requested variances will result in a dwelling that does not significantly impact the streetscape along Hawkrigde Avenue. While the proposed dwelling will be significantly larger than the majority of existing homes in the area, staff note that several other similar sized homes have been built as infill housing along this section of Hawkrigde Avenue, bounded by Bullock Drive to the north and Robinson Street to the south.

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended. Staff recommend that the Committee consider public input in reaching a decision.


The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A1" for conditions to be attached to any approval of this application.

PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:

  
\_\_\_\_\_  
Stephen Gerr, Senior Planner, East District  
File Path: Amanda\File\ 18 256111 \Documents\District Team Comments Memo

Appendices

Appendix A1 – Conditions

Appendix B1 – Plans


Appendix C1 – Staff Reports (November 2, 2018 and September 12, 2018)

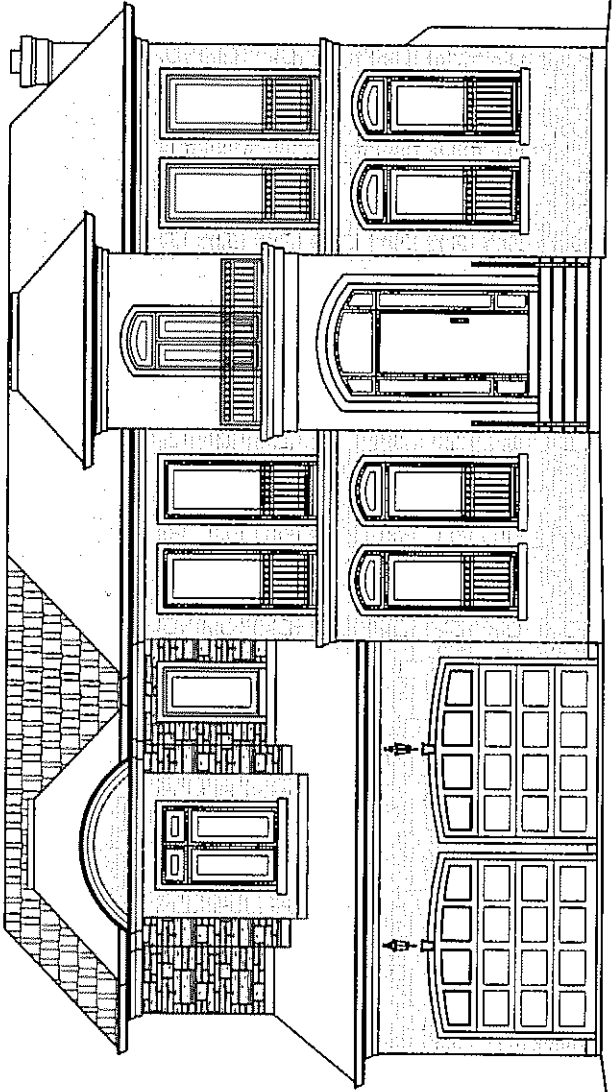
**APPENDIX "A1"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/71/18**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *February 15, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects



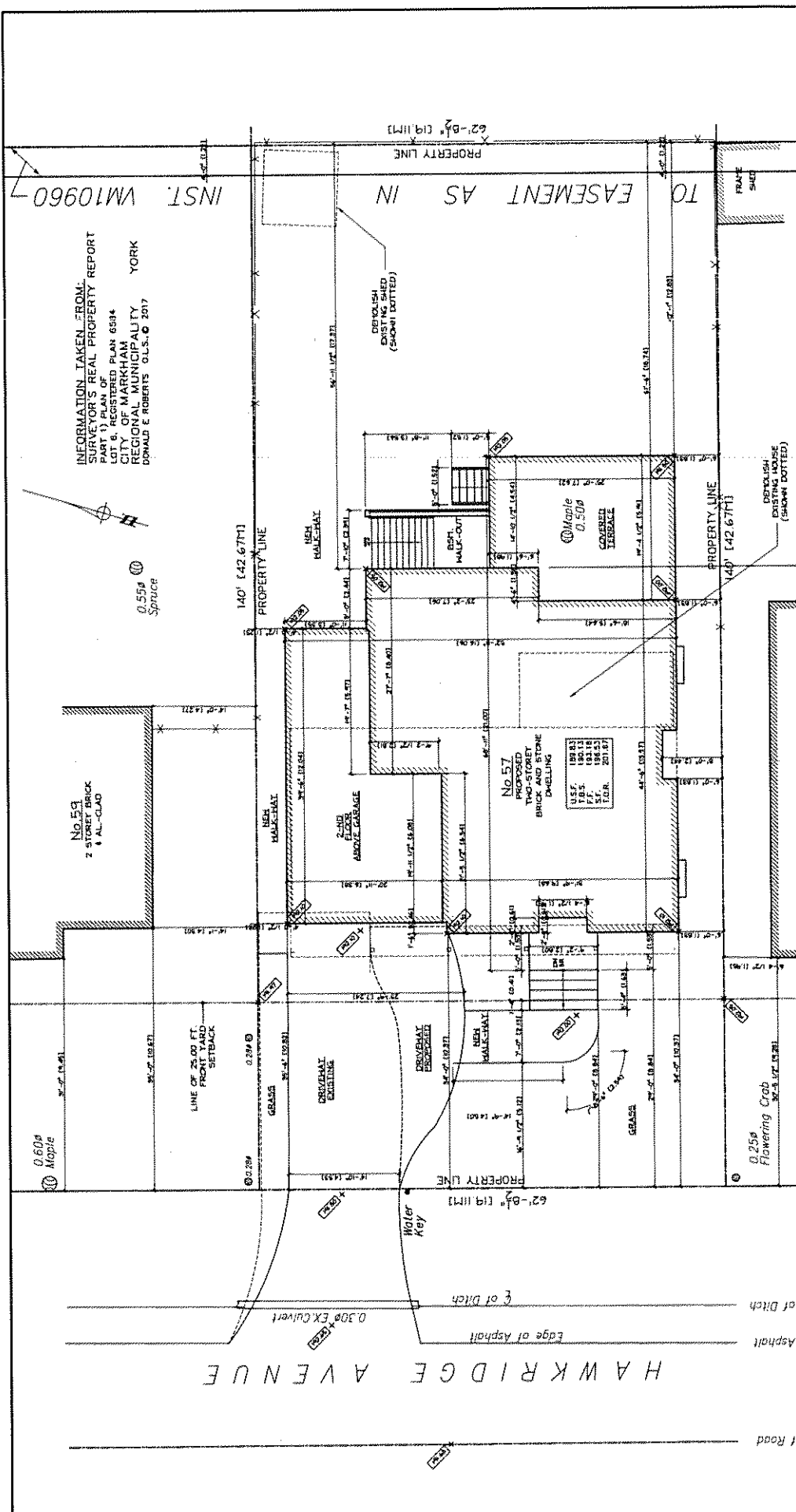
CITY OF MARKHAM  
RECEIVED  
FEB 15 2019  
COMMITTEE OF ADJUSTMENT

**57 HAWKRIDGE AVENUE, MARKHAM  
PROPOSED NEW 2-STORY DETACHED DWELLING**

**LIST OF DRAWINGS**

RE-ISSUE COA - FEBURARY 13, 2019

- |     |                            |    |                                 |
|-----|----------------------------|----|---------------------------------|
| A1  | SITE PLAN                  | A5 | PROPOSED ROOF PLAN              |
| A1a | LANDSCAPE PLAN             | A6 | PROPOSED FRONT (EAST) ELEVATION |
| A1b | SITE STATISTICS            | A7 | PROPOSED REAR (WEST) ELEVATION  |
| A2  | PROPOSED BASEMENT PLAN     | A8 | PROPOSED SIDE (SOUTH) ELEVATION |
| A3  | PROPOSED GROUND FLOOR PLAN | A9 | PROPOSED SIDE (NORTH) ELEVATION |
| A4  | PROPOSED SECOND FLOOR PLAN |    |                                 |



INFORMATION TAKEN FROM:  
 SURVEYOR'S REAL PROPERTY REPORT  
 PART 1) PLAN OF  
 LOT 6, REGISTERED PLAN 6584  
 CITY OF MARKHAM  
 COUNTY OF YORK  
 DONALD E. ROBERTS O.L.S. © 2017

0.55m  
 Spruce

No. 54  
 2 STOREY BRICK  
 1 AL-CLAD

LINE OF 25.00 FT.  
 FRONT YARD  
 SETBACK

0.25m  
 Flowering Crab

0.60m  
 Maple

0.25m  
 Flowering Crab

LINE OF 25.00 FT.  
 FRONT YARD  
 SETBACK

0.55m  
 Locust

0.60m  
 Locust

NO. 57  
 PROPOSED  
 THREE-STOREY  
 BRICK BUILDING WITH  
 STONE  
 DWELLING  
 U.S.F. 198.13  
 F.O.S. 198.13  
 S.F. 198.13  
 F.O.R. 201.87

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 SETBACK

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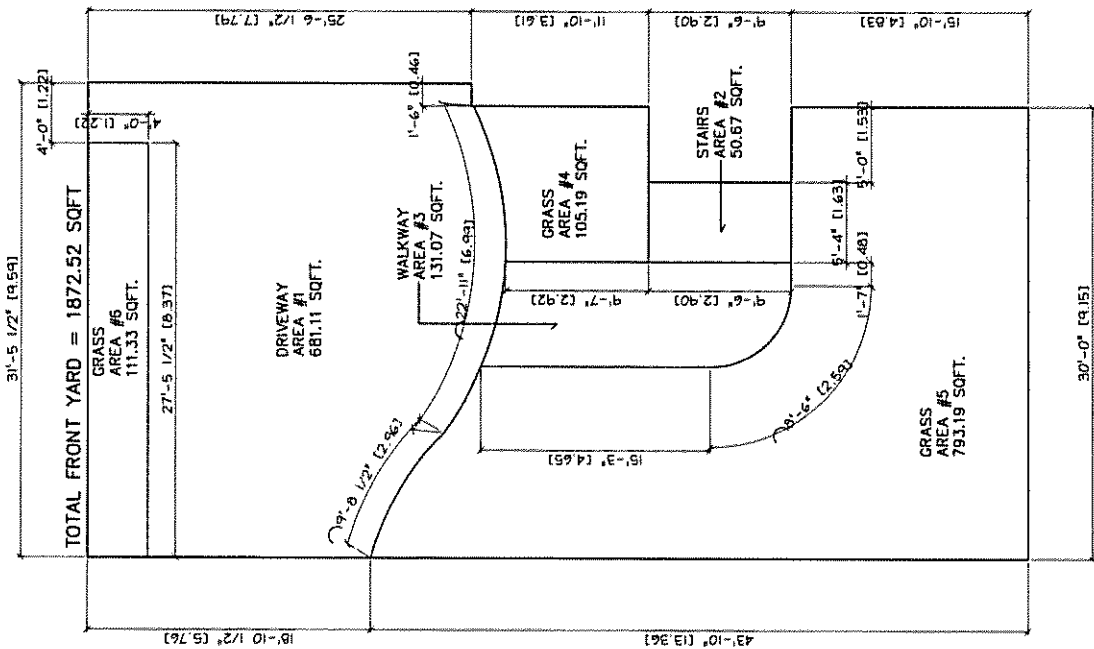
0.60m  
 Locust

**LEM CAD CONSULTANTS**  
 817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: PROPOSED NEW 2-STY DWELLING  
 LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM  
 DWG. BY: LM CK'D BY: LM APP. BY: DATE: FEB. 13, 2019  
 JOB NO.: DWG. NO.: A1 OF 9 CADD-NAME: 171002

ORIENTATION

**1** PROPOSED SITE PLAN  
 SCALE: 1:100



1 FRONT YARD LANDSCAPING  
 A10 SCALE: N.T.S.

**LEM CAD CONSULTANTS**

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
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PROJECT: PROPOSED 2-STY NEW DWELLING  
 LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM  
 DWG. BY: LM CK'D BY: LM APP. BY: DATE: FEB. 13, 2019  
 JOB NO.: DWG. NO.: A1a OF 9 CADD-NAME: 171002



ORIENTATION

A1a

**ADDITIONAL SITE STATISTICS**  
**57 HAWKBRIDGE AVENUE**

Item	Project Description:	New Addition Alteration	Part II	Part 3	OBC Reference
1		<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration			2.1.1 4.10.1.3
2	Major Occupancy(s)	Group C - Residential			2.1.1.3
3	Building Classification	Group C - Residential	3.2.2.20 - .83		4.10.4

	PROVIDED	REQUIRED
TOTAL FRONT YARD AREA	= 1872.82 SQ.FT. (173.96 SQ.M.)	
AREA #1 DRIVENWAY AREA	= 792.40 SQ.FT. (73.62 SQ.M.)	50%
AREA #2 + #3 PROPOSED HARD LANDSCAPING (16.00 SQ.FT.)	= 181.74 SQ.FT. (16.88 SQ.M.)	
AREA #4 + #5 PROPOSED SOFT LANDSCAPING (83.17 SQ.FT.)	= 83.17% SQ.FT. (7.71 SQ.M.)	75%
LOT FRONTAGE	19.11M	19.29M
LOT AREA	865.42 SQ.M.	843.14 SQ.M.
FRONT YARD SETBACK	8.84M	7.62M
SIDE YARD SETBACK (NORTH)	1.23M	1.20M
SIDE YARD SETBACK (SOUTH)	1.83M	1.83M
REAR YARD SETBACK	12.35M	7.62M
COVERAGE	PROVIDED 261.96 SQ.FT. (242.40 SQ.M.) 32.10%	REQUIRED 269.40 SQ.FT. (249.40 SQ.M.) 35%
FLOOR AREA RATIO	LOT AREA = 7688.55 SQ.FT. (714.29 SQ.M.) 54.00%	26.40 SQ.FT. (244.80 SQ.M.) 45%
BUILDING HEIGHT	9.79M	9.81M
BUILDING DEPTH	21.00M	16.81M
GARAGE WIDTH	6.10M	7.71M

SITE DATA	
*LOT AREA = 8777.11 SQ.FT. (815.42 SQ.M.)	
*FLOOR AREAS :	
GROUND FLOOR =	1698.59 SQ.FT. (157.88 SQ.M.)
SECOND FLOOR =	2171.95 SQ.FT. (201.88 SQ.M.)
TOTALS G.F.A. =	3870.54 SQ.FT. (359.76 SQ.M.) OR 44.08%
COVERAGE :	
GROUND FLOOR =	1698.59 SQ.FT. (157.88 SQ.M.)
ATTACHED GARAGE =	627.05 SQ.FT. (58.28 SQ.M.)
COVERED PORCH =	58.65 SQ.FT. (5.45 SQ.M.)
SUN ROOM =	434.02 SQ.FT. (40.34 SQ.M.)
TOTALS COVERAGE =	2818.31 SQ.FT. (261.96 SQ.M.) OR 32.10%
FLOOR AREA RATIO	
LOT AREA = 8777.11 SQ.FT. (815.42 SQ.M.)	
- 6600.00 SQ.FT. (613.16 SQ.M.)	
/2 = 1080.55 SQ.FT. (101.58 SQ.M.)	
+ 6600.00 SQ.FT. (613.16 SQ.M.)	
= 7688.55 SQ.FT. (714.29 SQ.M.) NEW LOT AREA	
GROUND FLOOR =	+ 1698.59 SQ.FT. (157.88 SQ.M.)
ATTACHED GARAGE =	+ 627.05 SQ.FT. (58.28 SQ.M.)
SECOND FLOOR =	+ 2171.95 SQ.FT. (201.88 SQ.M.)
STAIR OPENING =	- 74.46 SQ.FT. (6.92 SQ.M.)
OPEN TO BELOW =	- 256.61 SQ.FT. (23.85 SQ.M.)
TOTALS G.F.A. =	4151.82 SQ.FT. (385.91 SQ.M.) OR 54.00%

**LEM CAD CONSULTANTS**  
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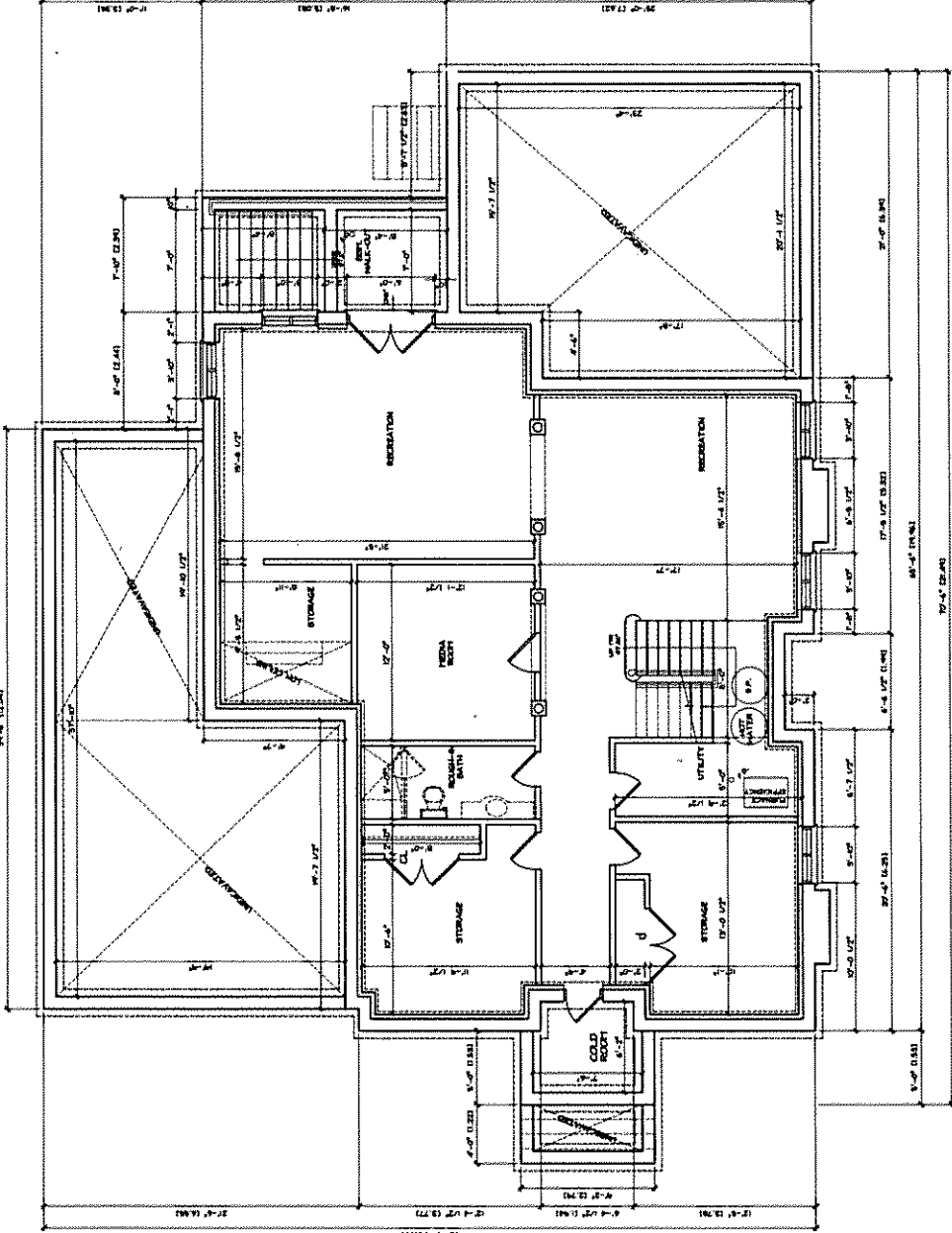
**Alb**

PROJECT: PROPOSED 2-STY NEW DWELLING  
 LOCATION: 57 HAWKBRIDGE AVENUE, MARKHAM  
 DWG. BY: LM CK'D. BY: LM APP. BY: DATE: FEB. 13, 2019  
 JOB NO.: DWG. NO.: A1b OF 9 CADD-NAME: 171002



ORIENTATION





# LEM CAD CONSULTANTS

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

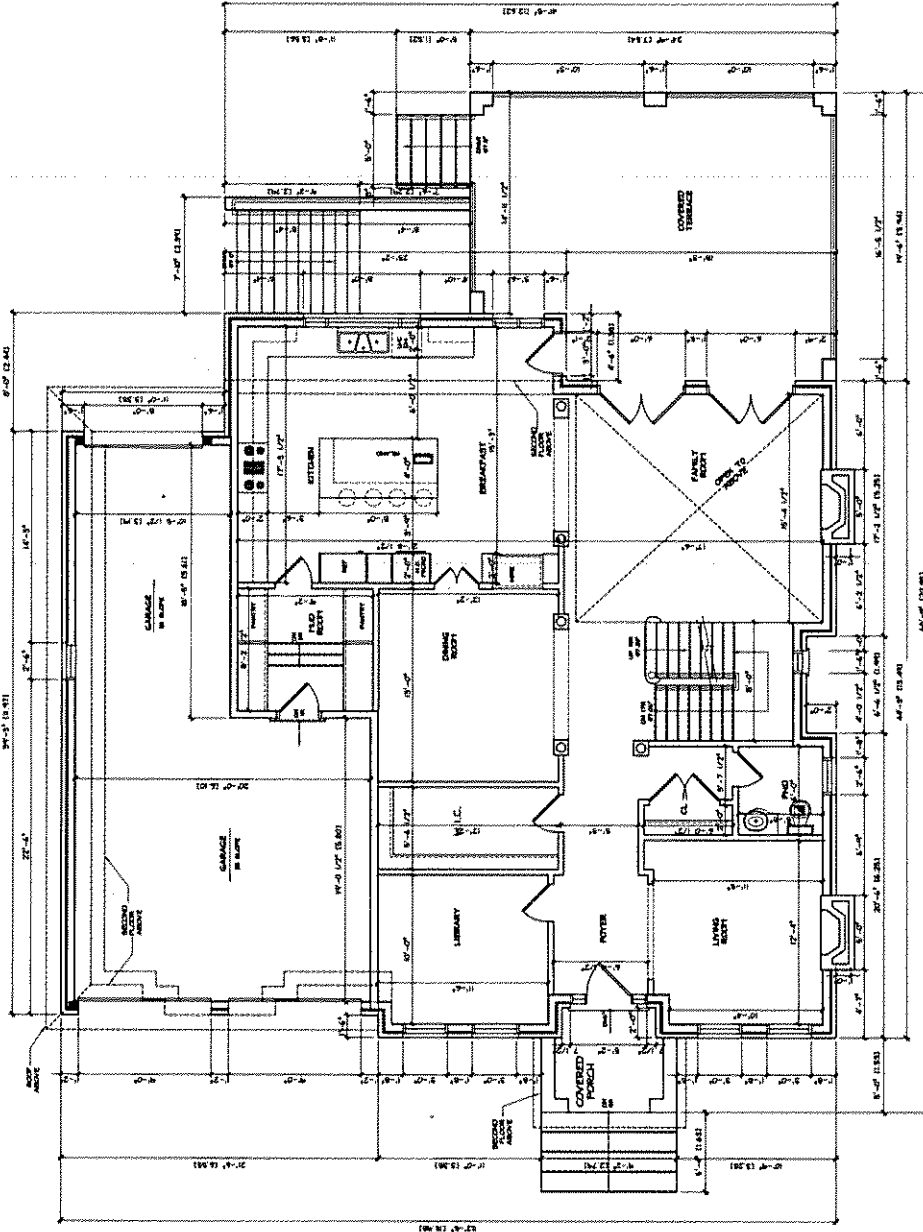
PROJECT: PROPOSED 2-STY NEW DWELLING	
LOCATION: 57 HAWKRIE AVENUE, MARKHAM	
DWG. BY: LM	DATE: FEB. 13, 2019
CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A2 OF 9
CADD-NAME: 171002	



ORIENTATION

A2

PROPOSED  
 BASEMENT FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



# LEM CAD CONSULTANTS

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
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PROJECT: PROPOSED 2-STY NEW DWELLING

LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY: DATE: FEB. 13, 2019

JOB NO.: DWG. NO.: A3 OF 9 CADD-NAME: 171002

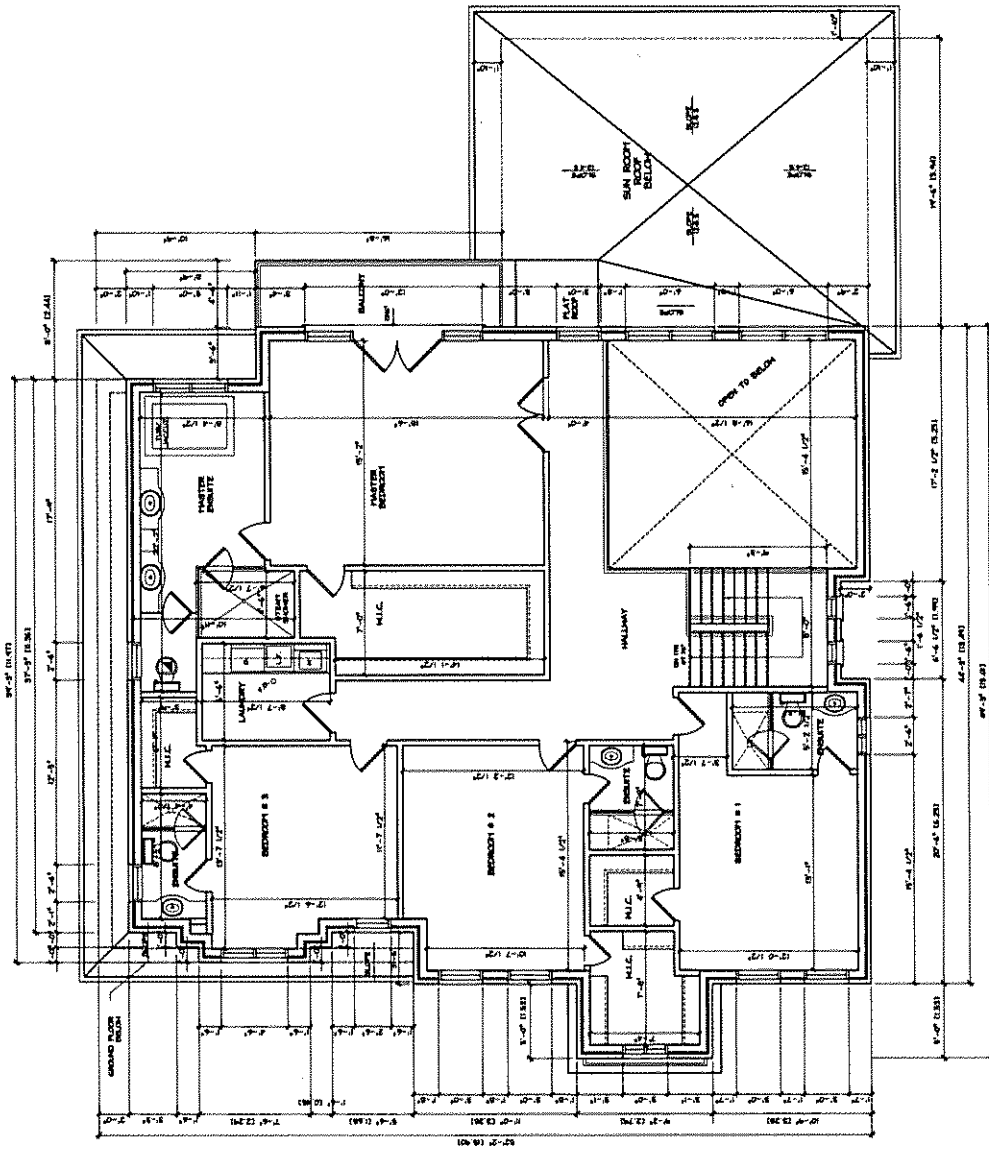


ORIENTATION

A3


PROPOSED  
 GROUND FLOOR PLAN  
 SCALE: 1/8"=1'-0"




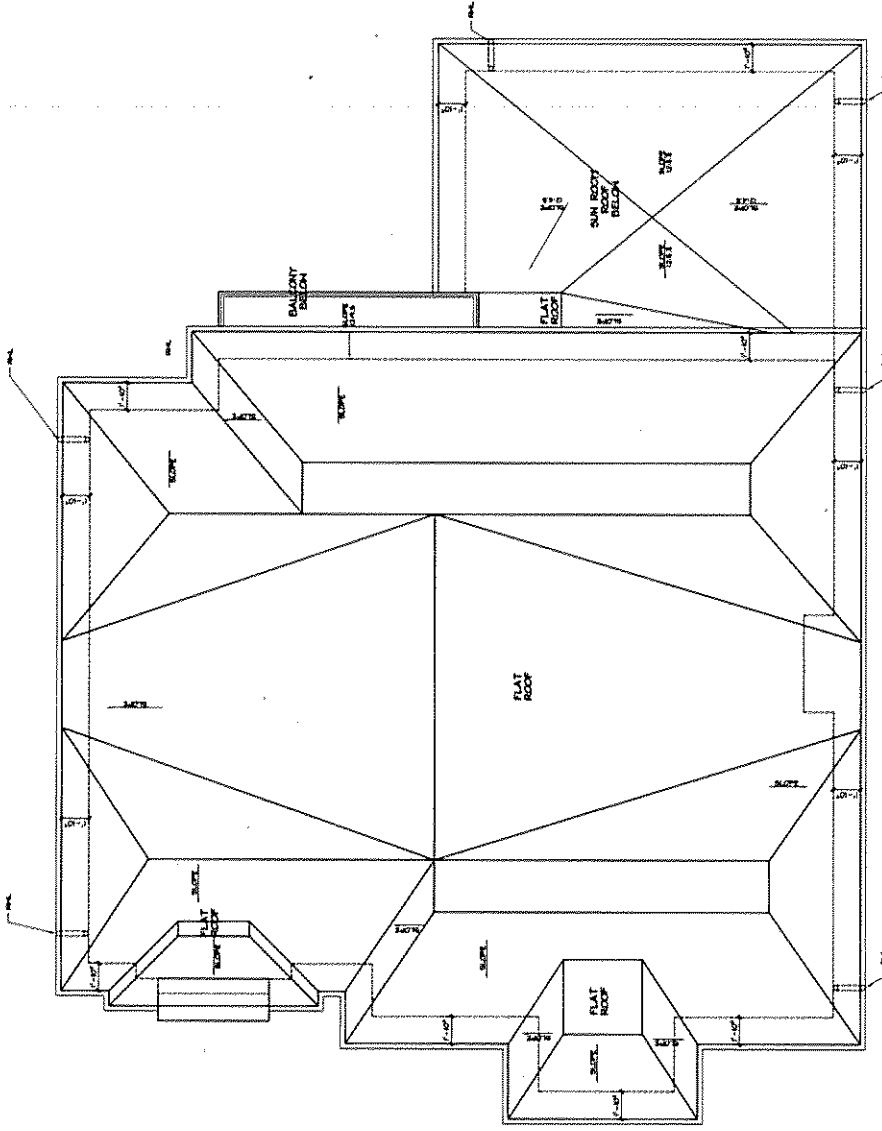


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 ORIENTATION		PROJECT: PROPOSED 2-STY NEW DWELLING	
		LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM	
A4	DWG. BY: LM	CK'D BY: LM	APP. BY:
	JOB NO.:	DWG. NO.: A4 OF 9	DATE: FEB. 13, 2019 CADD-NAME: 171002


 PROPOSED  
 SECOND FLOOR PLAN  
 SCALE: 1/8"=1'-0"



# LEM CAD CONSULTANTS

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: PROPOSED 2-STY NEW DWELLING

LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY: DATE: FEB. 13, 2019

JOB NO.: DWG. NO.: A5 OF 9 CADD-NAME: 171002

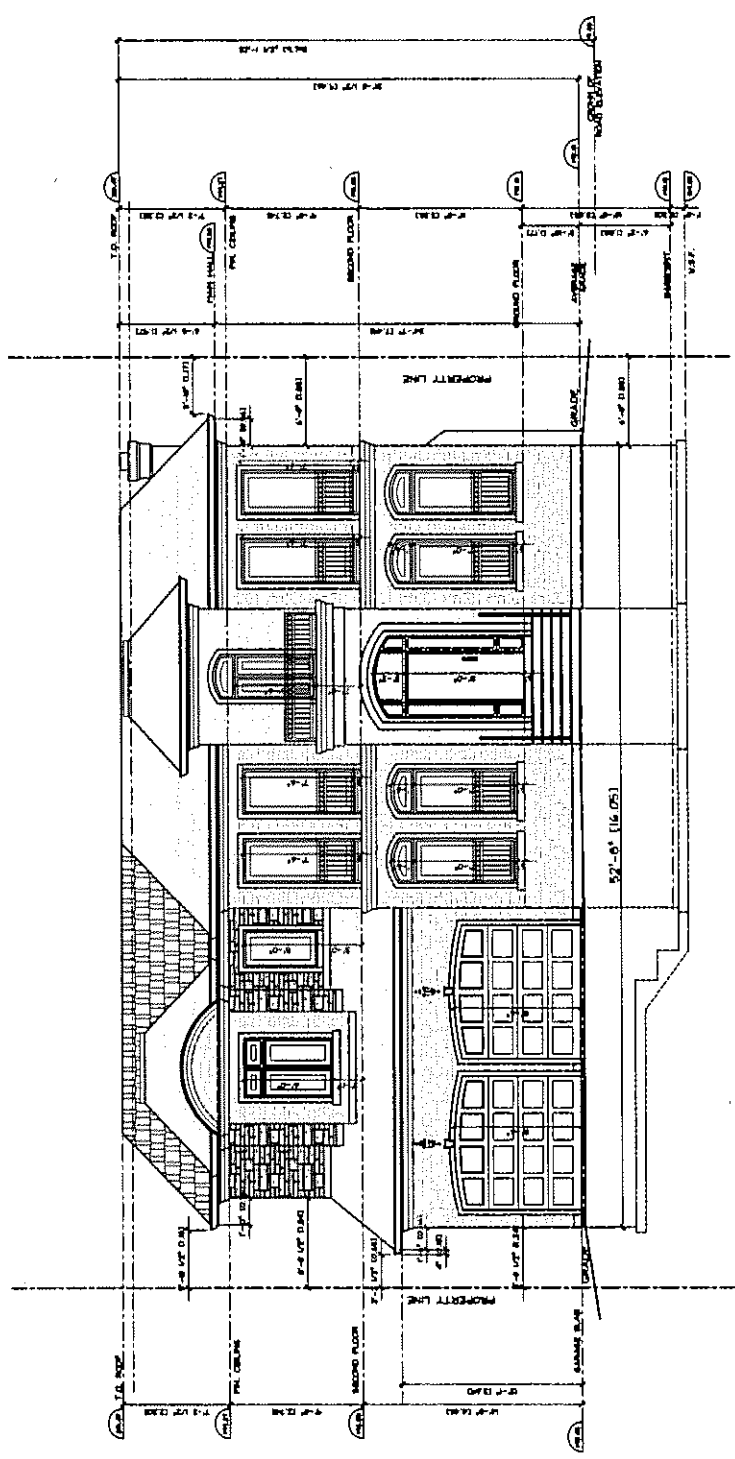


ORIENTATION

A5

PROPOSED  
 ROOF PLAN  
 SCALE: 1/8"=1'-0"





1  
 PROPOSED FRONT (EAST) ELEVATION  
 SCALE: 1/8"=1'-0"

# LEM CAD CONSULTANTS

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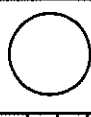
PROJECT: PROPOSED 2-STY NEW DWELLING

LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

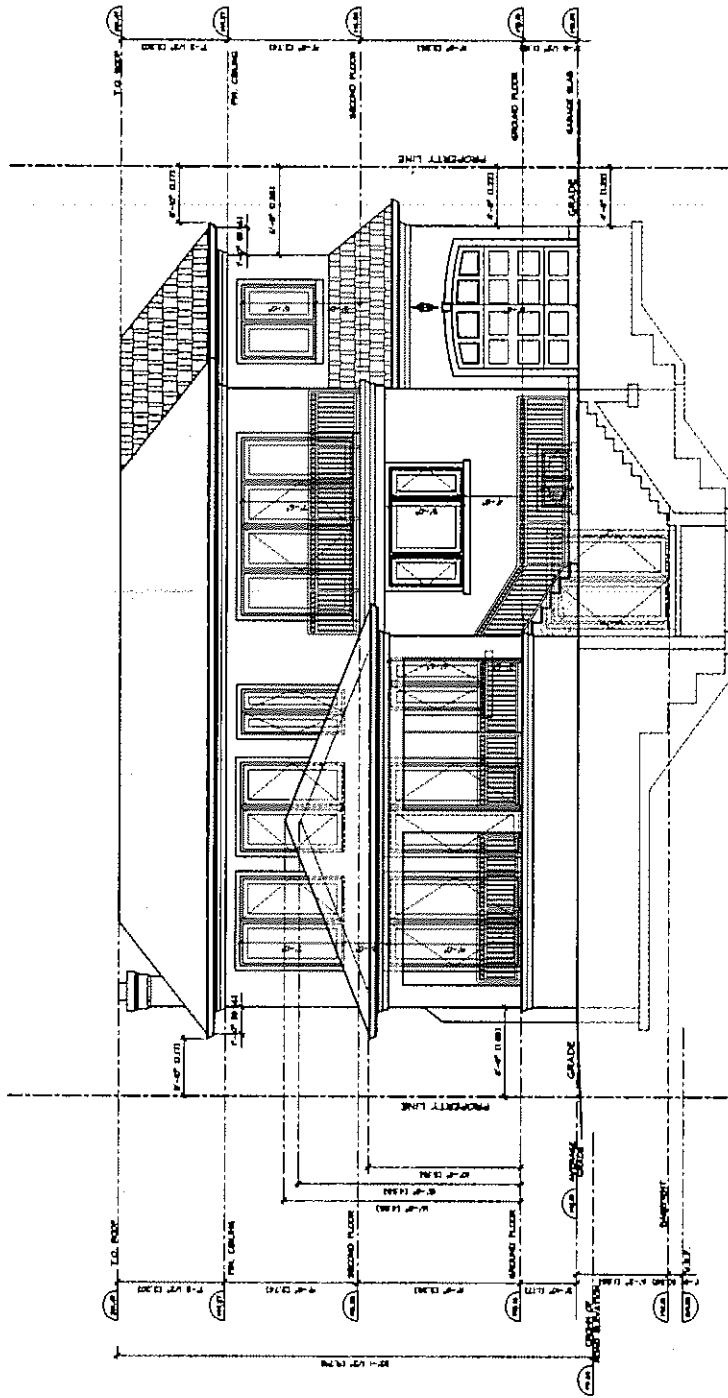
DWG. BY: LM CK'D BY: LM APP. BY: DATE: FEB. 13, 2019

JOB NO.: DWG. NO.: A6 OF 9 CADD-NAME: 171002

A6



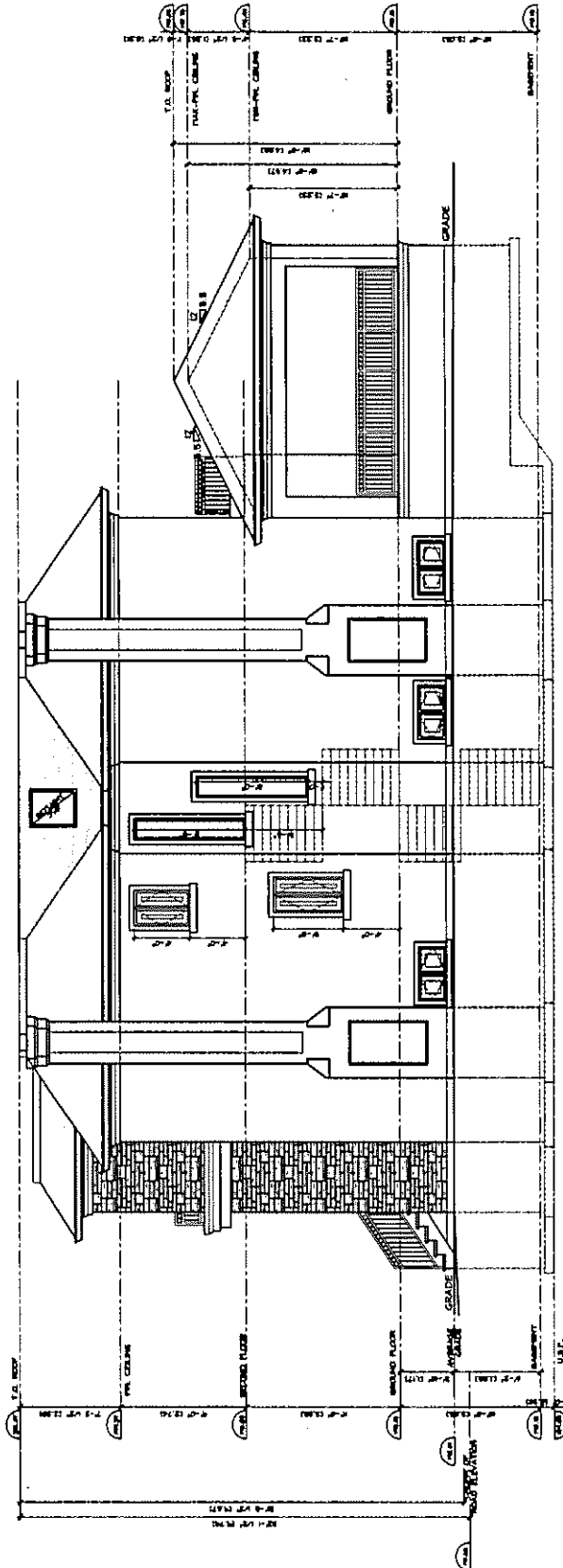
ORIENTATION



1  
 A7  
 PROPOSED  
 REAR (WEST) ELEVATION  
 SCALE: 1/8"=1'-0"

<b>LEM CAD CONSULTANTS</b> 617 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601		PROJECT: PROPOSED 2-STY NEW DWELLING LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM		 ORIENTATION
JOB NO.:		DWG. NO.: A7 OF 9		CADD-NAME: 171002

A7



# LEM CAD CONSULTANTS

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

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DWG. BY: LM CK'D BY: LM APP. BY: DATE: FEB. 13, 2019

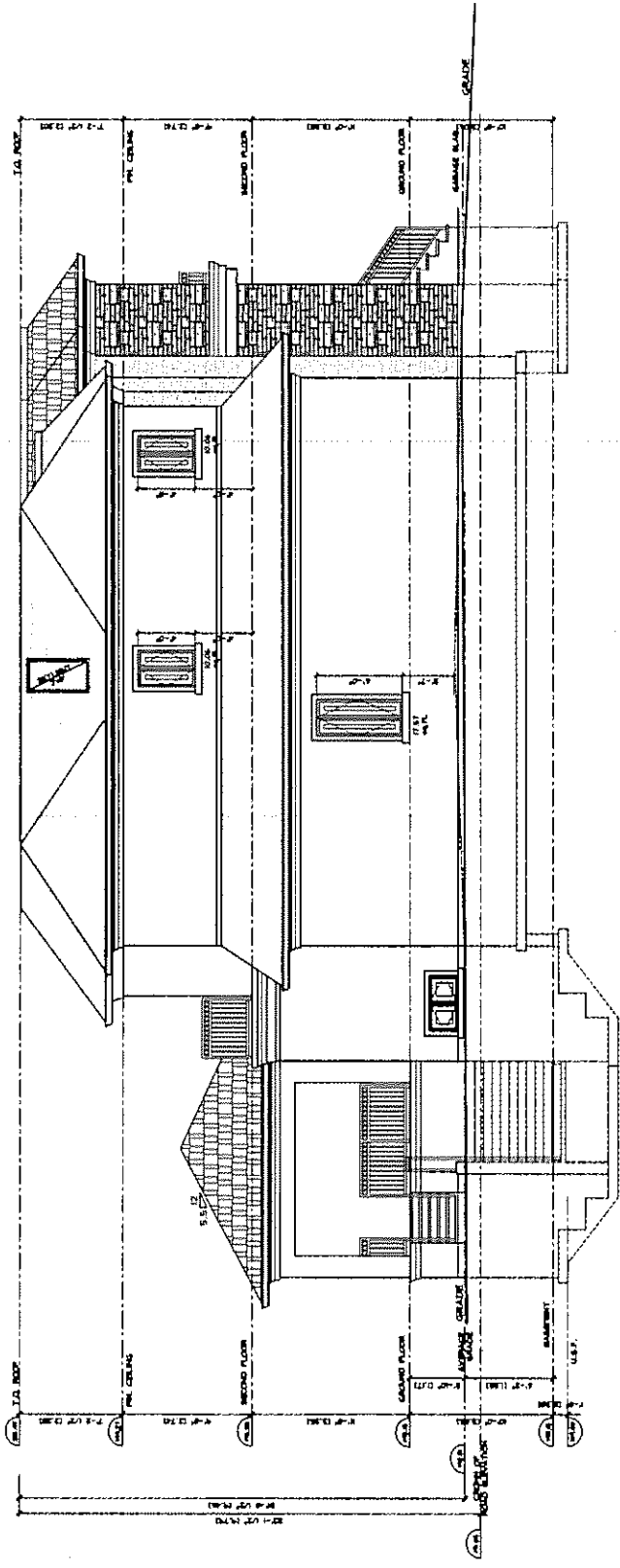
JOB NO.: DWG. NO.: AB OF 9 CADD-NAME: 171002

A8



ORIENTATION

PROPOSED  
 1. SIDE (SOUTH) ELEVATION  
 SCALE: 1/8"=1'-0"



PROPOSED  
 SIDE (NORTH) ELEVATION  
 SCALE: 1/8"=1'-0"

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LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY:

DATE: FEB. 13, 2019

JOB NO.: DWG. NO.: A9 OF 9

CADD-NAME: 171002



ORIENTATION

A9



## MEMORANDUM

DATE: November 2, 2018  
 TO: Chairman and Members, Committee of Adjustment  
 FILE: A/71/18  
 ADDRESS: 57 HawkrIDGE Avenue, Markham  
 HEARING DATE: Wednesday November 14, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R1, as amended:

- a) **Infill By-law 99-90, Section 1.2 (i):**  
 a maximum building height of 10 m, whereas the By-law permits a maximum building height of 9.8 m;
- b) **Infill By-law 99-90, Section 1.2 (iii)**  
 a maximum building depth of 21.48 m, whereas the By-law permits a maximum building depth of 16.8 m;
- c) **Infill By-law 99-90, Section 1.2 (vi):**  
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as they relate to a proposed residential dwelling.

#### COMMENTS

The Committee of Adjustment deferred the application on September 12, 2018 due to concerns with respect to the proposed floor area and privacy concerns with respect to the rear balcony. In response to the Committee of Adjustment's comments the applicant submitted revised drawings on August 14, 2018. The applicant removed the request for a maximum front porch step encroachment of 5 ft 4 inches into the front yard, whereas the By-law permits a maximum front porch step encroachment of 18 inches into a required yard. The applicant also reduced the requested variance for a maximum building height from 10.19 m to 10 m. Staff's comments dated September 7<sup>th</sup>, 2018 (attached) remain unchanged.

#### PUBLIC INPUT SUMMARY

As of November 01, 2018 the City received 1 letter expressing concerns over the construction of the proposed dwelling damaging a mature neighbouring cedar hedge. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

#### CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended. Staff are of the opinion that the variance request for building depth and height meet the four (4) tests of the Planning Act. Staff still have concerns with the proposed increase in floor area ratio as it results in a dwelling which overall, has a large massing.

MEMORANDUM


The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:

  
\_\_\_\_\_  
Stagia Muradali, Senior Planner, East District

## MEMORANDUM

### APPENDIX "A"

#### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/71/18

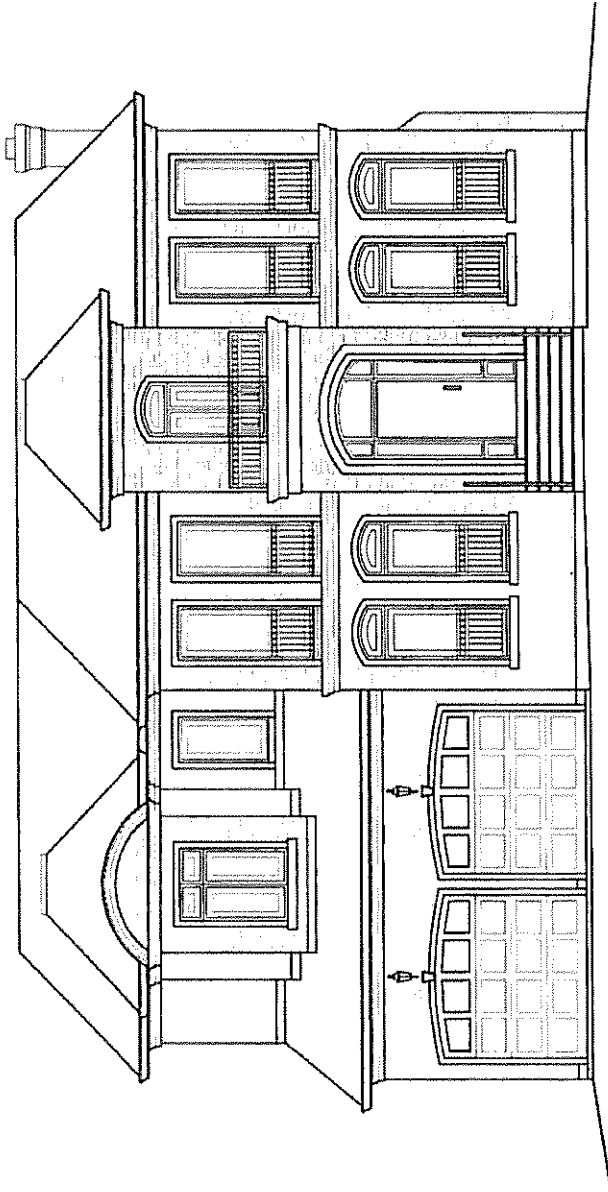
1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated October 10, 2018 and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
4. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
5. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations;

CONDITIONS PREPARED BY:



\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects



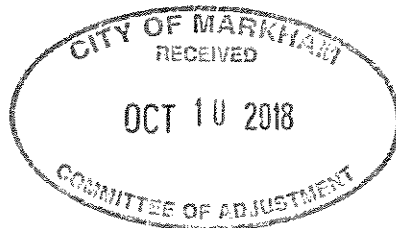


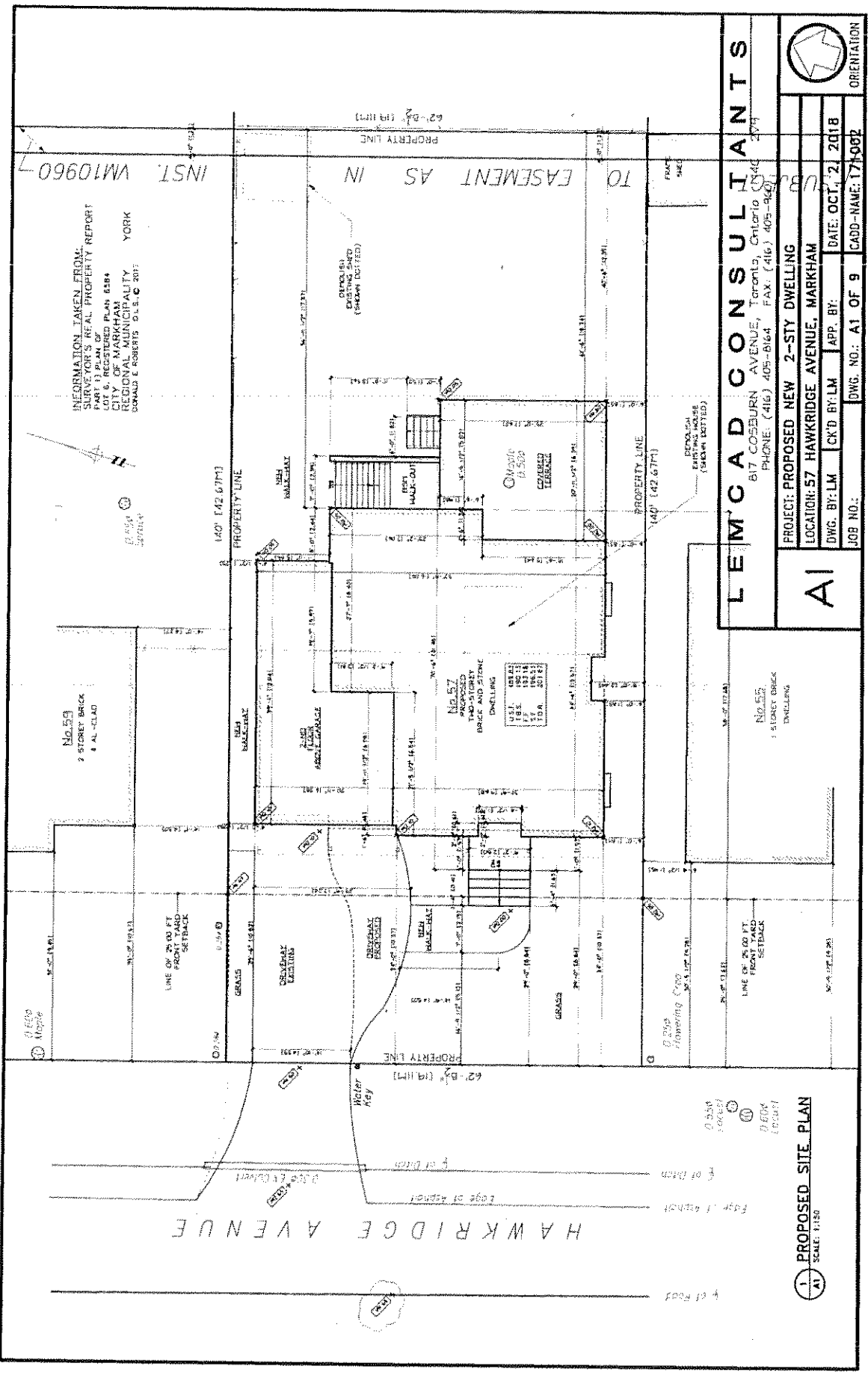
57 HAWKRIDGE AVENUE, MARKHAM  
 PROPOSED NEW 2-STORY DETACHED DWELLING

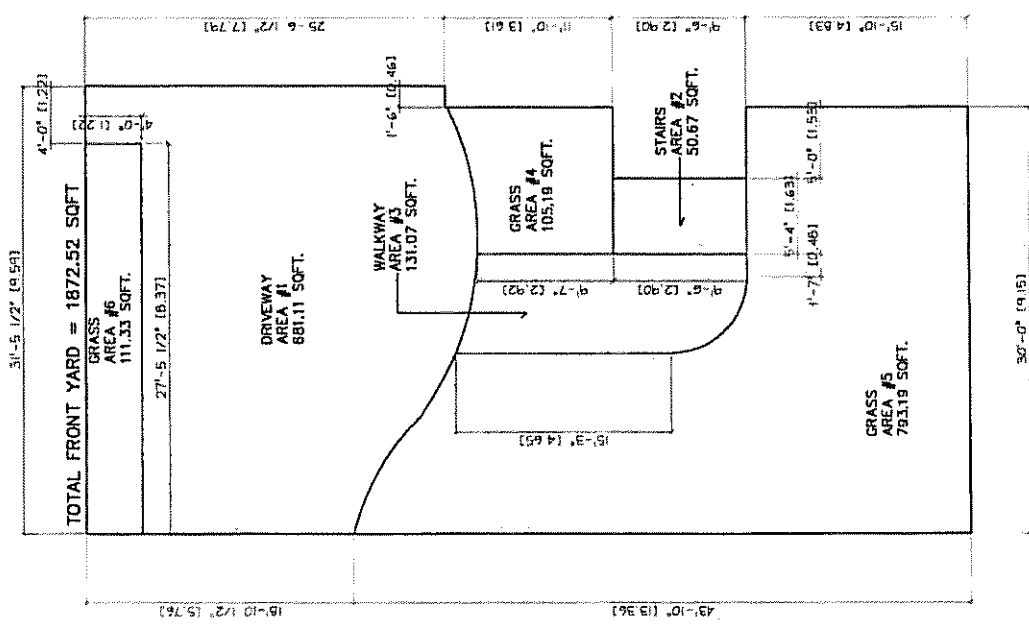
re-ISSUE COA - OCTOBER 2, 2018

**LIST OF DRAWINGS**

- A1 SITE PLAN
- A1a LANDSCAPE PLAN
- A1b SITE STATISTICS
- A2 PROPOSED BASEMENT PLAN
- A3 PROPOSED GROUND FLOOR PLAN
- A4 PROPOSED SECOND FLOOR PLAN
- A5 PROPOSED ROOF PLAN
- A6 PROPOSED FRONT (EAST) ELEVATION
- A7 PROPOSED REAR (WEST) ELEVATION
- A8 PROPOSED SIDE (SOUTH) ELEVATION
- A9 PROPOSED SIDE (NORTH) ELEVATION







1 FRONT YARD LANDSCAPING  
SCALE: N.T.S.

**LEM CAD CONSULTANTS**  
 817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

PROJECT: PROPOSED 2-STY NEW DWELLING  
 LOCATION: 57 HAWKBRIDGE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY: DATE: OCT. 2, 2018  
 JOB NO.: DWG. NO.: A1a OF 9 CADD-NAME: 171002

ORIENTATION

A1a

**ADDITIONAL SITE STATISTICS**  
**57 HAWKRIIDGE AVENUE**

Item 1	Project Description	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	Part II	Part III	Part 4	OBC Reference
2	Major Occupancy(s)	<input type="checkbox"/> Change of Use <input type="checkbox"/> Group C - Residential				2.1.1 9.10.1.3 2.1.1.3
3	Building Classification	Group C - Residential	3.2.2.20 - B3			9.10.4

PROVIDED	REQUIRED	COMMENTS
TOTAL FRONT YARD AREA = 1072.53 SQ.FT. (175.5% SQ.M.)		
AREA B1 DRIVENWAY AREA = 793.40 SQ.FT. (73.53 SQ.M.)	57.40%	50%
AREA B2 + B3 PROPOSED HARD LANDSCAPING = 151.74 SQ.FT. (14.06 SQ.M.)		
AREA B4 + B5 PROPOSED SOFT LANDSCAPING = 898.39 SQ.FT. (83.17 SQ.M.)	83.17%	75%
LOT FRONTAGE	19.11M	15.29M
LOT AREA	345.42 SQ.M.	433.16 SQ.M.
FRONT YARD SETBACK	0.54M	7.62M
SIDE YARD SETBACK (NORTH)	1.23M	1.20M
SIDE YARD SETBACK (SOUTH)	1.53M	1.53M
REAR YARD SETBACK	1.03M	1.03M
REAR YARD SETBACK	12.35M	7.62M
COVERAGE	244.93 SQ.M. (33.10%)	244.93 SQ.M. (33.10%)
FLOOR AREA RATIO	54.57%	55%
BUILDING HEIGHT	9.99M	9.0M
BUILDING DEPTH	21.49M	16.2M
GARAGE WIDTH	4.10M	7.7M

**SITE DATA**

LOT AREA = 8777.11 SQ.FT. (815.42 SQ.M.)	PROPOSED
FLOOR AREAS	
GROUND FLOOR = 1712.11 SQ.FT. (159.06 SQ.M.)	
SECOND FLOOR = 1857.35 SQ.FT. (173.47 SQ.M.)	
TOTALS G.F.A. = 3574.37 SQ.FT. (332.53 SQ.M.) OR 40.72%	
COVERAGE	PROPOSED
GROUND FLOOR = 1712.11 SQ.FT. (159.06 SQ.M.)	
ATTACHED GARAGE = 439.64 SQ.FT. (40.82 SQ.M.)	
COVERED PORCH = 58.65 SQ.FT. (5.46 SQ.M.)	
SUN ROOM = 495.14 SQ.FT. (46.00 SQ.M.)	
TOTALS COVERAGE = 2905.54 SQ.FT. (269.93 SQ.M.) OR 33.10%	
FLOOR AREA RATIO	PROPOSED
LOT AREA = 8777.11 SQ.FT. (815.42 SQ.M.)	
- 6420.00 SQ.FT. (603.16 SQ.M.)	
+ 2357.11 SQ.FT. (224.26 SQ.M.)	
= 7400.55 SQ.FT. (714.29 SQ.M.) NEW LOT AREA	
GROUND FLOOR = 1712.11 SQ.FT. (159.06 SQ.M.)	
ATTACHED GARAGE = 439.64 SQ.FT. (40.82 SQ.M.)	
SECOND FLOOR = 1857.35 SQ.FT. (173.47 SQ.M.)	
STAIR OPENING = 75.91 SQ.FT. (7.07 SQ.M.)	
OPEN TO BELOW = 244.93 SQ.FT. (22.84 SQ.M.)	
TOTALS G.F.A. = 4292.94 SQ.FT. (399.59 SQ.M.) OR 54.57%	

**LEM CAD CONSULTANTS**  
 817 COBURN AVENUE, Toronto, Ontario, M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

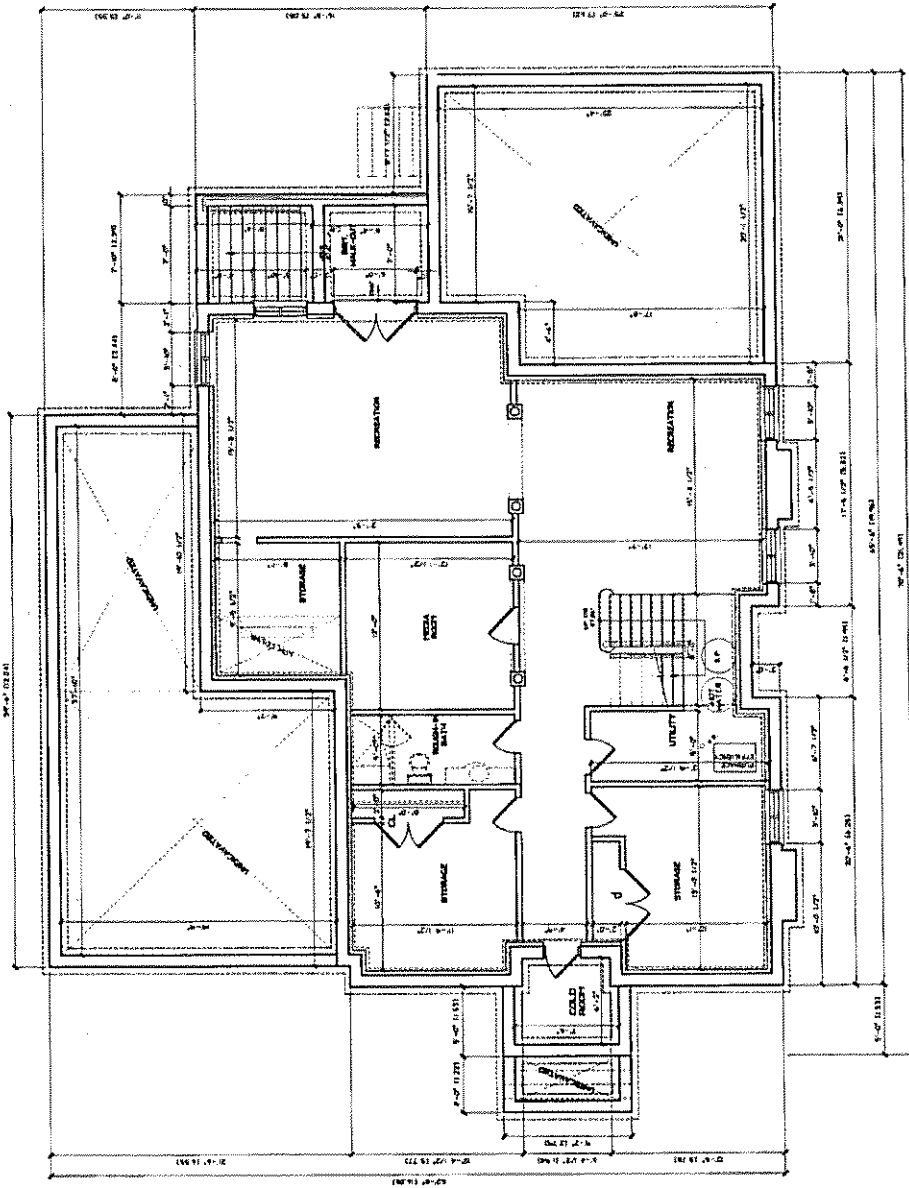
**A1b**

PROJECT: PROPOSED 2-STY NEW DWELLING  
 LOCATION: 57 HAWKRIIDGE AVENUE, MARKHAM  
 DWG. BY: LM CK'D BY: LM APP. BY: DATE: OCT. 2, 2018  
 JOB NO.: DWG. NO.: A1b OF 9 CARD-NAME: 171002



ORIENTATION



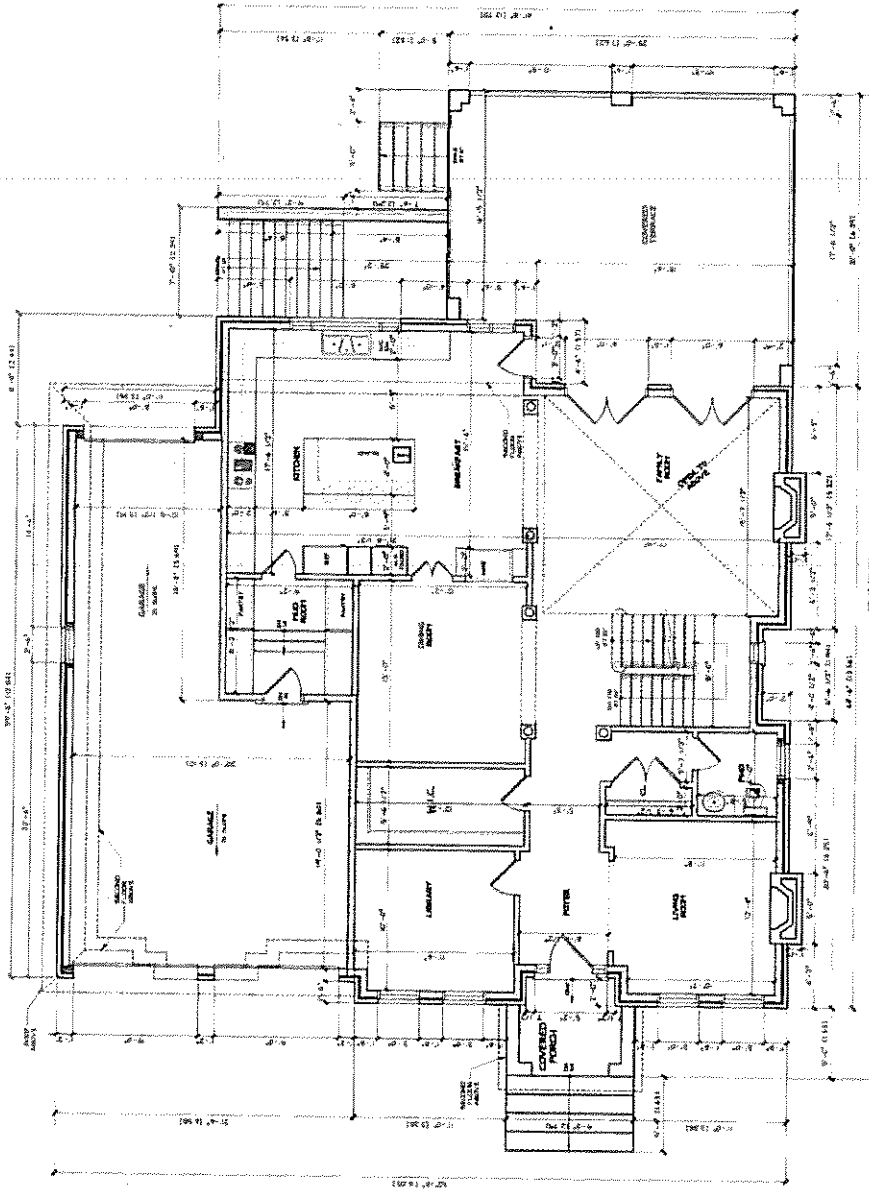


PROPOSED  
 BASEMENT FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**LEM CAD CONSULTANTS**  
 817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

<b>A2</b>	PROJECT: PROPOSED 2-STY NEW DWELLING		
	LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM	DATE: OCT. 2, 2018	ORIENTATION
	DWG. BY: LM	CK'D BY: LM	APP. BY:
	JOB NO.:	DWG. NO.: A2 OF 9	CADD-NAME: 171002





1  
 13  
 PROPOSED  
 GROUND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

**LEM CAD CONSULTANTS**

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-4601

PROJECT: PROPOSED 2-STY NEW DWELLING

LOCATION: 57 HAWKRIE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY:

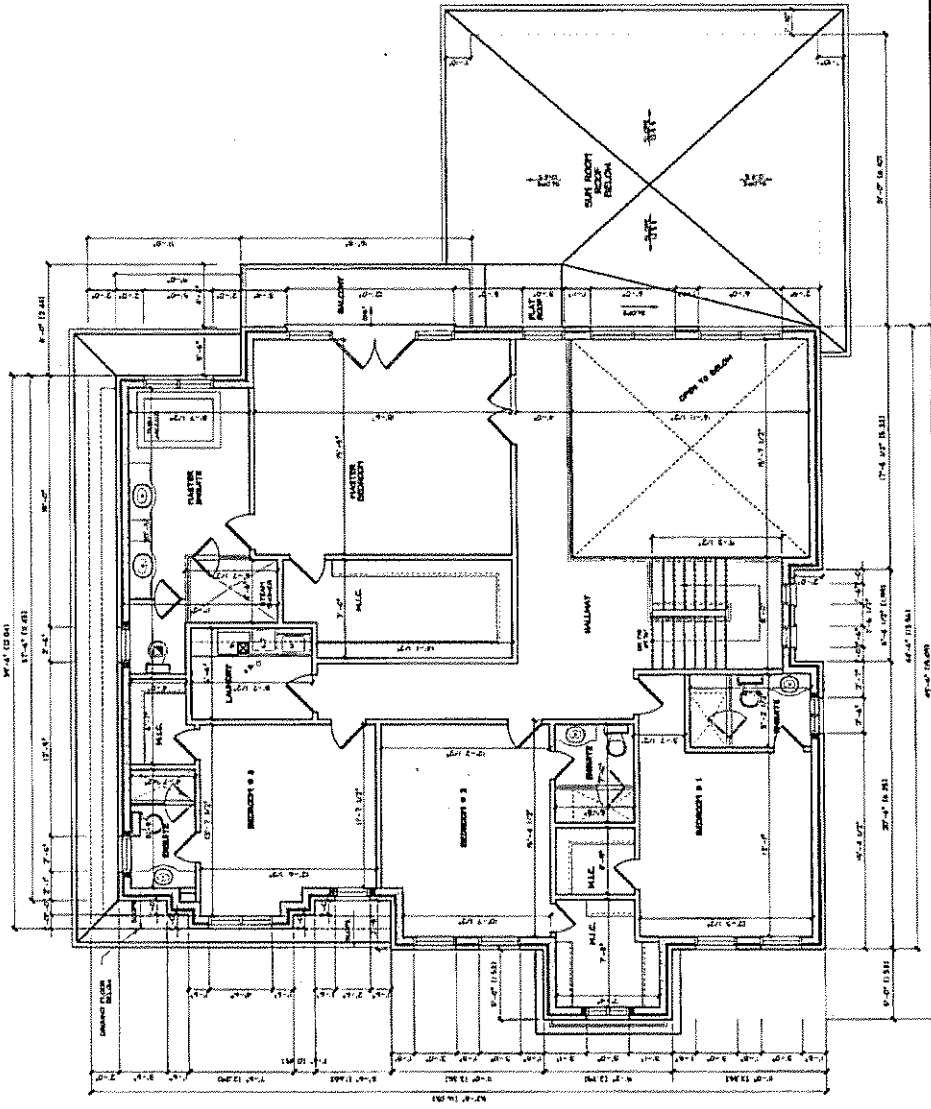
DATE: OCT. 2, 2018

DWG. NO.: A3 OF 9 CADD-NAME: 171002

A3



ORIENTATION



**LEM CAD CONSULTANTS**

617 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164, FAX: (416) 405-9601

PROJECT: PROPOSED 2-STY NEW DWELLING

LOCATION: 57 HAWKRIIDGE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY:

DATE: OCT. 2, 2018

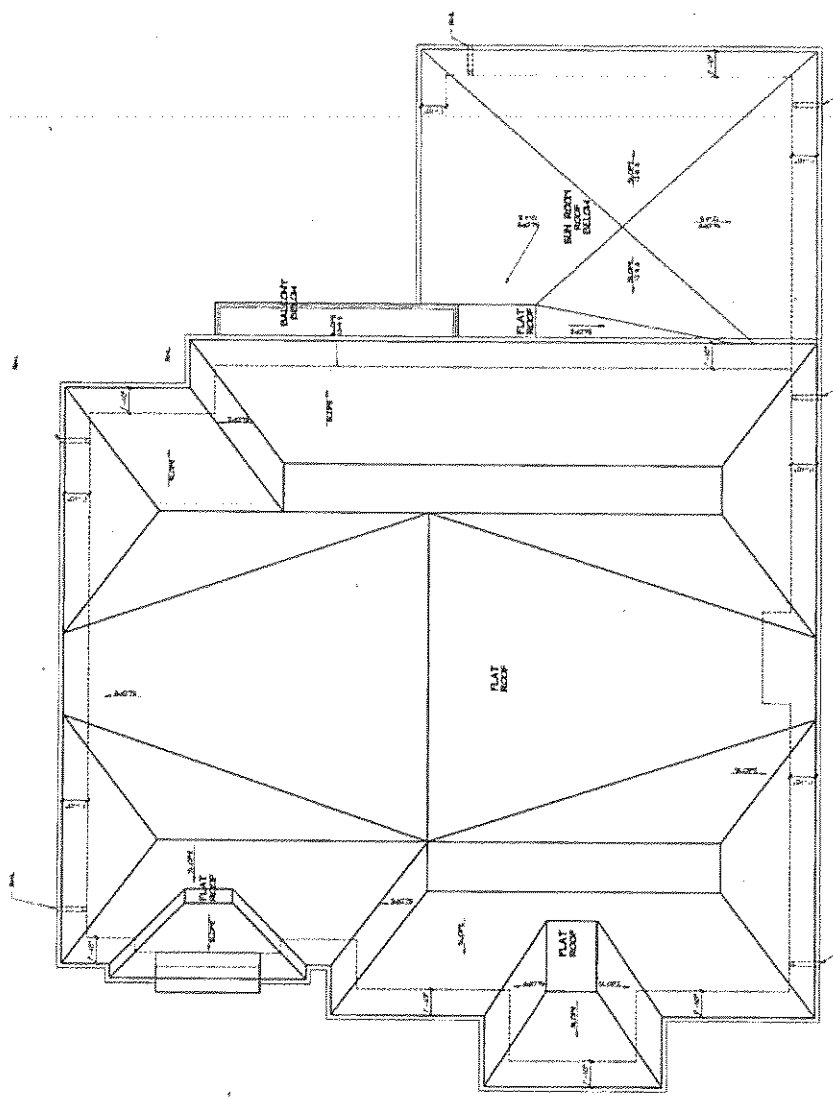
JOB NO.: DWG. NO.: A4 OF 9 CADD-NAME: 171002



ORIENTATION

**A4**

PROPOSED  
**1 SECOND FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



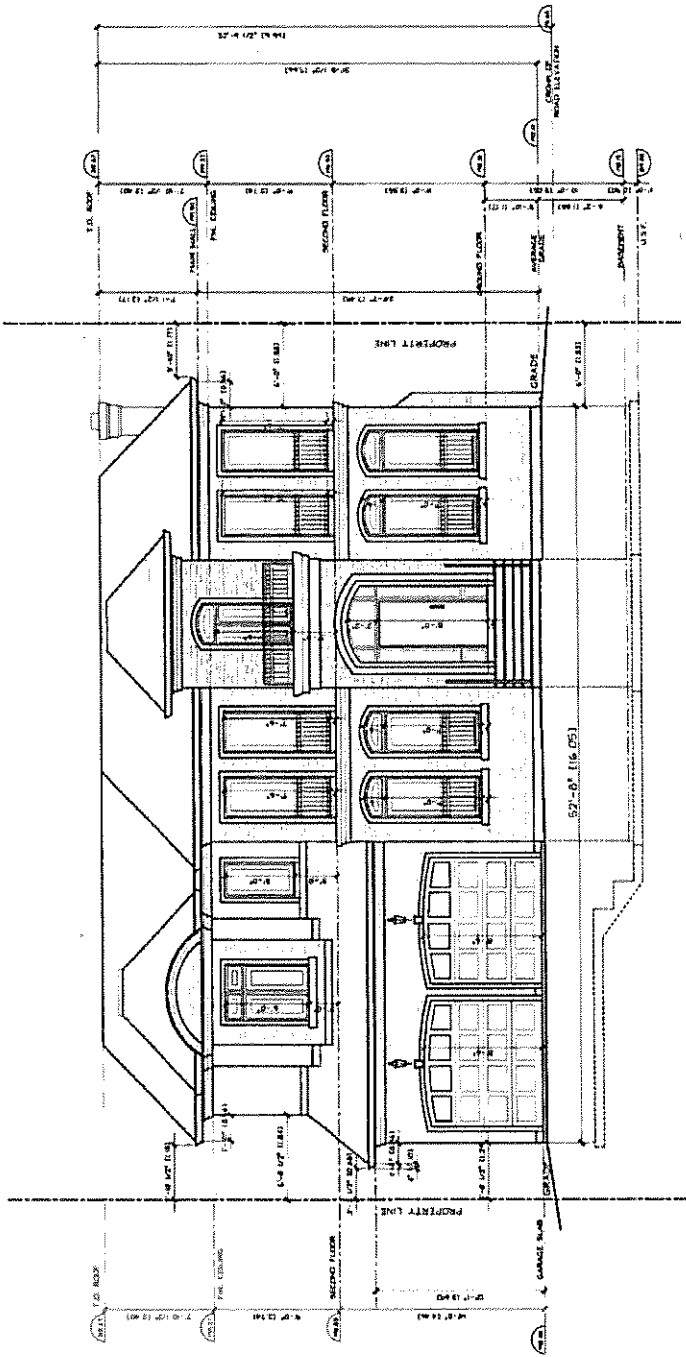
**LEM CAD CONSULTANTS**  
 817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164, FAX: (416) 405-9601

<b>A5</b>	PROJECT: PROPOSED 2-STY NEW DWELLING	
	LOCATION: 57 HAWKRIE AVENUE, MARKHAM	DATE: OCT. 2, 2018
	DWG. BY: LM	CK'D BY: LM
	APP. BY:	
	JOB NO.:	DWG. NO.: A5 OF 9
	CADD-NAME: 171002	



PROPOSED  
 ROOF PLAN  
 SCALE: 1/8" = 1'-0"

A5



PROPOSED  
 1 FRONT (EAST) ELEVATION  
 AS SCALE: 1/8" = 1'-0"

**LEM CAD CONSULTANTS**

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

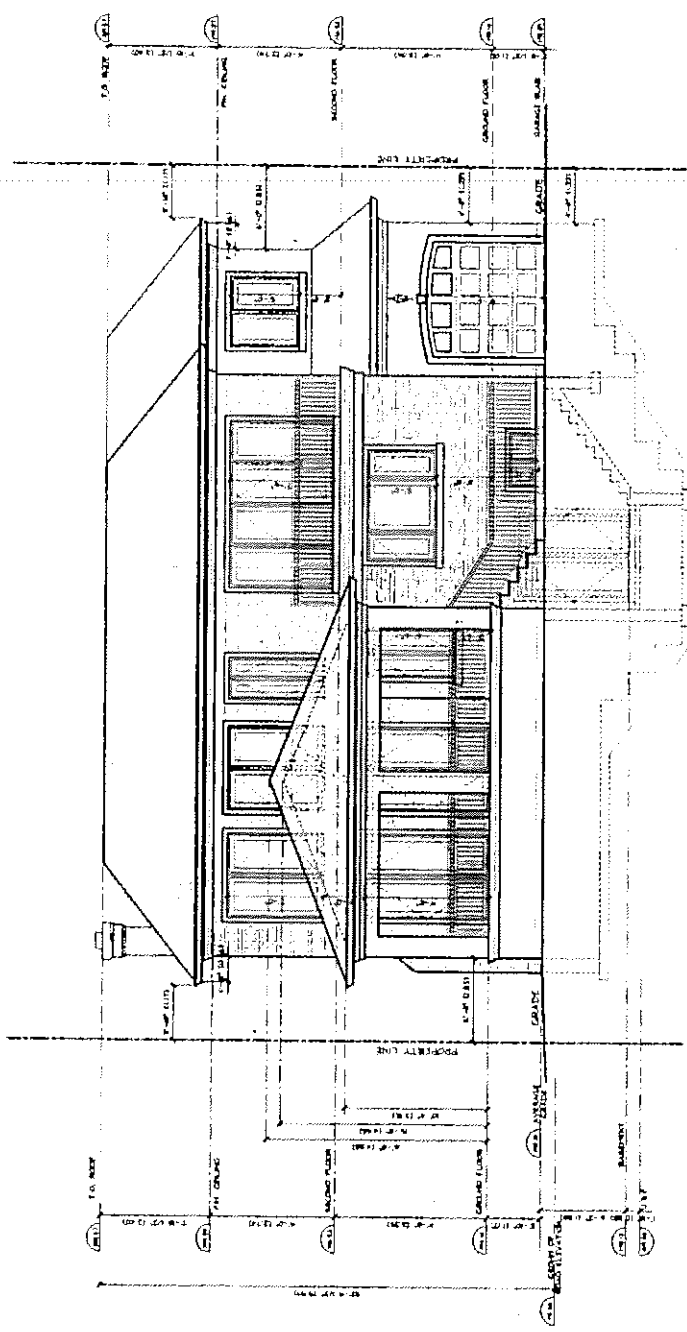
PROJECT: PROPOSED 2-STY NEW DWELLING  
 LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM


DWG. BY: LM CKD BY: LM APP. BY: DATE: OCT. 2, 2018  
 JOB NO.: DWG. NO.: A6 OF 9 CADD-NAME: 171002



ORIENTATION


A6

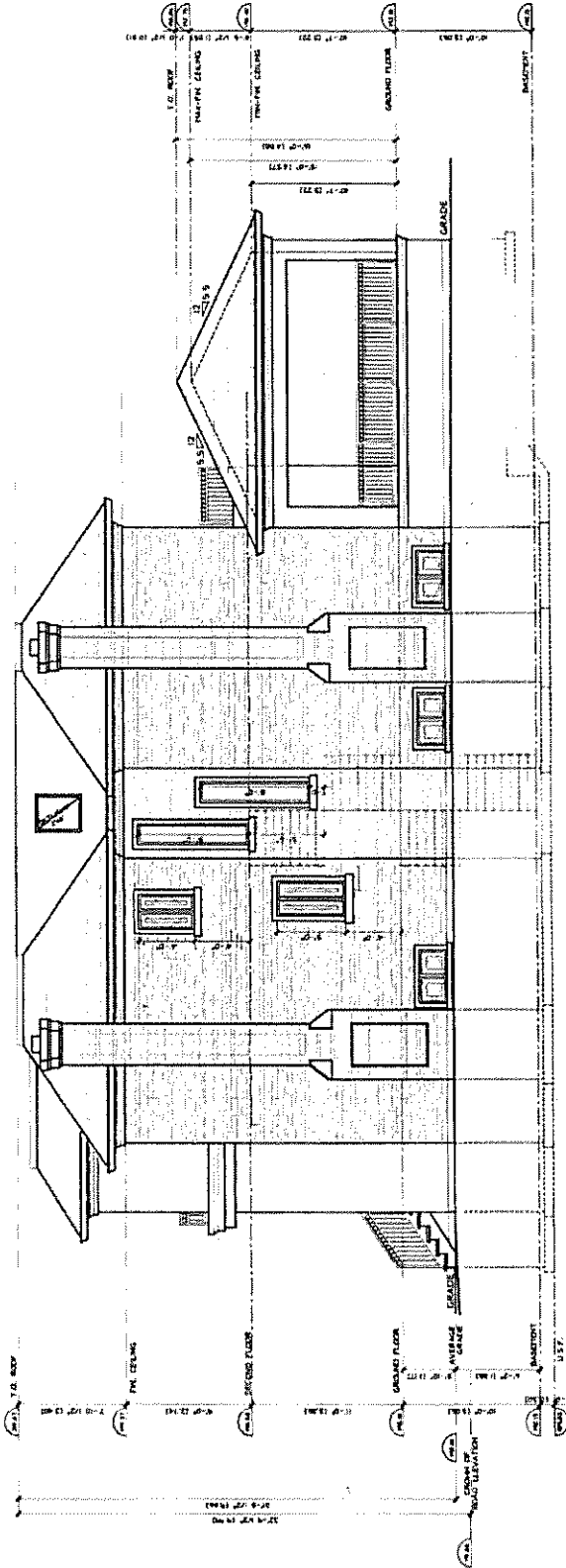



 PROPOSED  
 REAR (WEST) ELEVATION  
 SCALE 1/8"=1'-0"

**LEM CAD CONSULTANTS**

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE (416) 405-8164 FAX: (416) 405-9601

<b>A7</b>	PROJECT: PROPOSED 2-STY NEW DWELLING		 ORIENTATION
	LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM	DATE: OCT. 2, 2018	
DWG. BY: LM	CK'D BY: LM	APP. BY:	
JOB NO.:	DWG. NO.:	A7 OF 9	CADD-NAME: 171002



PROPOSED  
 SIDE (SOUTH) ELEVATION  
 SCALE: 1/8"=1'-0"

**LEM CAD CONSULTANTS**

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

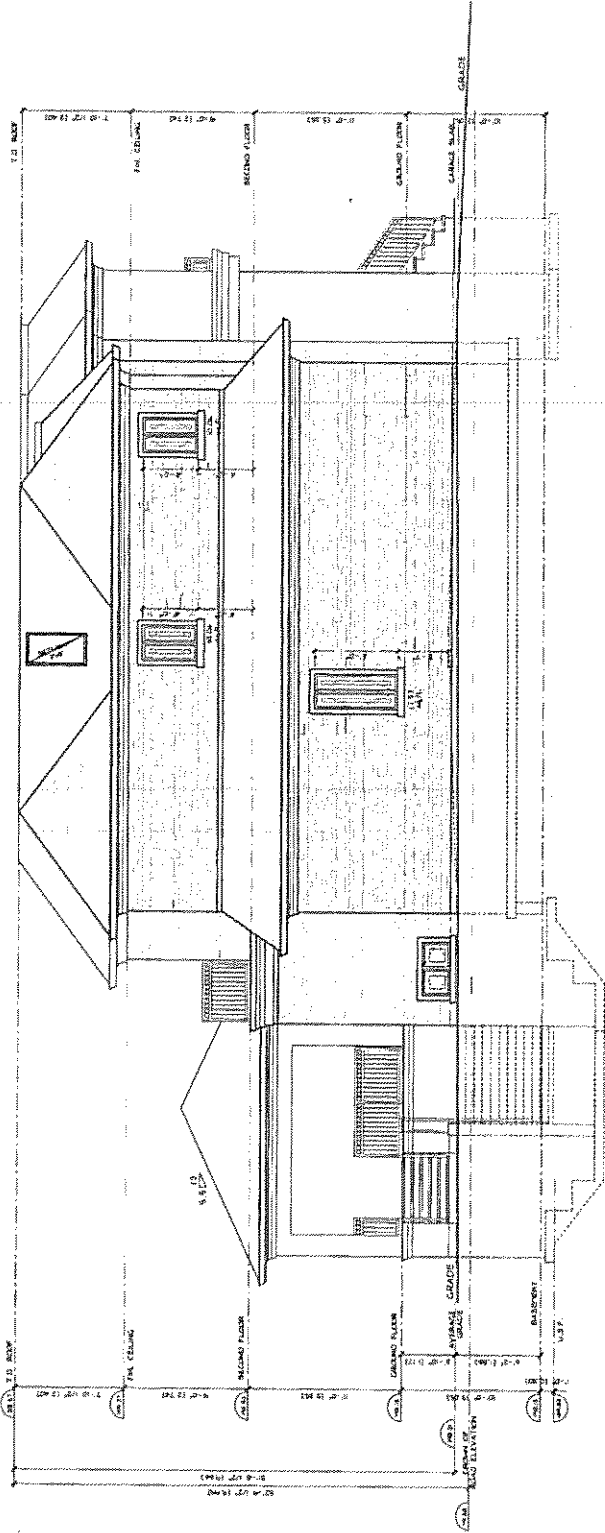
PROJECT: PROPOSED 2-STY NEW DWELLING  
 LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

DWG. BY: LM CK'D BY: LM APP. BY: DATE: OCT. 2, 2018  
 JOB NO.: DWG. NO.: AB OF 9 CA00-NAME: 171002

A8




ORIENTATION



PROPOSED  
 1. SIDE (NORTH) ELEVATION  
 SCALE: 1/8"=1'-0"

**LEM CAD CONSULTANTS**  
 817 COSEBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

<b>A9</b>	PROJECT: PROPOSED 2-STY NEW DWELLING		ORIENTATION 
	LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM		
DWG. BY: LM	CK'D BY: LM	APP. BY:	DATE: OCT. 2, 2018
JOB NO.:	DWG. NO.: A9 OF 9	CADD-NAME: 171002	



## Memorandum to the City of Markham Committee of Adjustment

September 7, 2018

File: A/71/18  
 Address: 57 Hawkrigde Avenue, Markham  
 Applicant: Lina Dimartino  
 Agent: Lemca Consultants (Leo Mastrandrea)  
 Hearing Date: Wednesday September 12, 2018

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R1 as amended:

- a) **Infill By-law 99-90, Section 1.2 (i):**  
 a maximum building height of 10.19 m, whereas the By-law permits a maximum building height of 9.8 m;
- b) **Infill By-law 99-90, Section 1.2 (iii)**  
 a maximum building depth of 21.48 m, whereas the By-law permits a maximum building depth of 16.8 m;
- c) **Infill By-law 99-90, Section 1.2 (vi):**  
 a maximum floor area ratio of 55 percent, whereas the By-law permits a maximum floor area ratio of 45 percent;
- d) **Section 11.2 (c) (i):**  
 a maximum front porch step encroachment of 5 ft 4 inches into the front yard, whereas the By-law permits a maximum front porch step encroachment of 18 inches into a required yard;

as they relate to a proposed residential dwelling.

### BACKGROUND

#### Property Description

The 813 m<sup>2</sup> (8,757 ft<sup>2</sup>) subject property is located on the east side of Hawkrigde Avenue, north of Highway 7 East and west of Main Street Markham North. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwellings. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments. There is an existing one-storey detached dwelling on the property, which according to assessment records was constructed in 1963. Mature vegetation exists across the property including one large mature tree in the front and rear yard.

#### Previous variances requested

The applicant submitted their application to the City of Markham on May 29, 2018. The requested variances included maximum building height of 10.49 m, maximum building depth 23.16 m, minimum two-storey side yard setbacks for the north and south side of 4.04 ft, maximum lot coverage of 38.8 percent and, maximum net floor area ratio of 64.65 percent. Staff were concerned with the massing of the overall dwelling and how the proposed dwelling would fit in with the existing character of the neighbourhood. The applicant worked with staff to address some of the concerns and revised their application to remove and reduce some of the variances.

### **Proposal**

The applicant is proposing to construct a two-storey detached approximately 392.19 m<sup>2</sup> (4,221.53 ft<sup>2</sup>) dwelling.

### **Official Plan and Zoning**

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and also generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard must also be had for retention of existing trees and vegetation, as well as the width of proposed garages and driveways. Planning staff have had regard for the infill development criteria in the preparation of the comments provided below.

### Zoning By-Law 1229

The subject property is zoned R1 'Residential' under By-law 1229, as amended, which permits a single family detached dwelling. The proposed development does not comply with the by-law with respect to maximum front porch encroachment.

### Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to maximum building height, maximum building depth and maximum floor area ratio.

### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, "*proposed design, minor variances*".

### **Zoning Preliminary Review Undertaken**

The applicant has completed a Zoning Preliminary Review (ZPR) to confirm the variances required for the proposed development.

### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### **Increase in Maximum Building Height**

The applicant is requesting relief to permit a maximum building height of 10.19 m (33.43 ft), whereas the By-law permits a maximum building height of 9.8 m (32.15 ft). This represents an increase of 0.39 m (1.27 ft).

The By-law calculates building height using the vertical distance of building or structure measured between the level of the crown of the street and highest point of the roof surface. It should be noted that the proposed grade of the front of the house is approximately 0.33m (1.08 ft) above the crown of road. The height variance is in part, attributable to the grade height of the centreline (crown) of the street being lower than the proposed average grade of the property. Staff are of the opinion that the proposed building height is in keeping with the intent of the zoning by-law and is minor in nature.

#### **Increase in Maximum Building Depth**

The applicant is requesting relief to permit a maximum building depth of 21.48 m (70.47 ft), whereas the By-law permits a maximum building depth of 16.8 m (55.12 ft). This represents an increase of approximately 4.68 m (15.35 ft).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing through the point on the dwelling which is the nearest and the other through the point on the dwelling which is the farthest from the front lot line.

The increase in building depth is to accommodate a front covered porch with a second storey balcony and a rear covered 1-storey sun room which add approximately 1.53 m (5 ft) and approximately 5.02 m (16.5 ft) to the main building. Staff note that the applicant is also proposing a rear balcony above the first storey. The main component of the building, excluding the front covered porch with the second storey balcony and rear covered sunroom, has a depth of approximately 14.93 m (48.98 ft), which complies with the by-law requirement. The rear wall of the sunroom projects farther than the rear wall of neighbouring homes and although bricked, remains unenclosed. The *main* rear wall of the proposed dwelling is generally in line with the home to its south. The main front wall of the proposed dwelling will similarly be setback compared to the main front wall of adjacent homes.

#### **Increase in Maximum Floor Area Ratio**

The applicant is requesting relief to permit a floor area ratio of 55 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 392.19 m<sup>2</sup> (4,221.53 ft<sup>2</sup>), whereas the By-law permits a dwelling with a maximum floor area of 320.84 m<sup>2</sup> (3,453.53 ft<sup>2</sup>). This represents an increase of approximately 71.30 m<sup>2</sup> (767.55 ft<sup>2</sup>).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area. It is not a definitive measure of the mass of the dwelling, since it does not include "open to below" areas that may exist within the dwelling (e.g. two-storey foyers, atriums and/or stairs). In addition to the space associated with the stairs, there is an approximately 24.61 m<sup>2</sup> (264.96 ft<sup>2</sup>) open to below area on the second floor above the foyer which is excluded from the gross floor area calculation under the by-law.

The neighbourhood is under transition with many new infill residential developments which, are larger than existing homes originally developed in the 1950 – 1960s; an indication that the character of the neighbourhood is changing. While previous variances have been approved in the neighbourhood to permit homes larger than what the by-law permits, the proposed dwelling and its massing are larger than what is typically seen in the neighbourhood.

#### **Increase in Maximum Front Porch Step Encroachment**

The applicant is requesting a maximum front porch step encroachment of 5ft 4 in (1.52 m) into the front yard, whereas the By-law permits a front porch step encroachment of 18 in (0.45 m).

This represents a difference of approximately 46 in (1.16 m). The request for maximum front porch step encroachment is in addition to the request for maximum building depth and extends beyond the building depth. The front porch step occupies 9.16 ft (2.79 m) of the front width of the dwelling and is minor in nature. Staff have no objections to the request.

**PUBLIC INPUT SUMMARY**

As of September 7, 2018, the City received 1 letter expressing concerns over the construction of the proposed dwelling damaging a mature neighbouring cedar hedge. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.


**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended. Staff are of the opinion that the variance request for building depth, height and front porch stair encroachment meet the four (4) tests of the Planning Act. Staff have concerns with the proposed increase in floor area ratio as it results in a dwelling which overall, has a large massing.

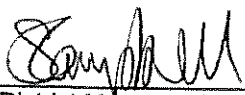
The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:

  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:

  
Sally Campbell, District Manager, East District  
File Path: Amanda\Files\18 234829 \Documents\District Team Comments Memo

**APPENDIX "A"**

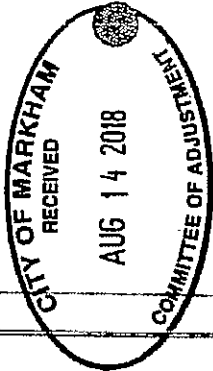
**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/71/18**

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and dated August 14, 2018 and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner implement and maintain all of the works required in accordance with the conditions of this variance;
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan.
5. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations.
6. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations;

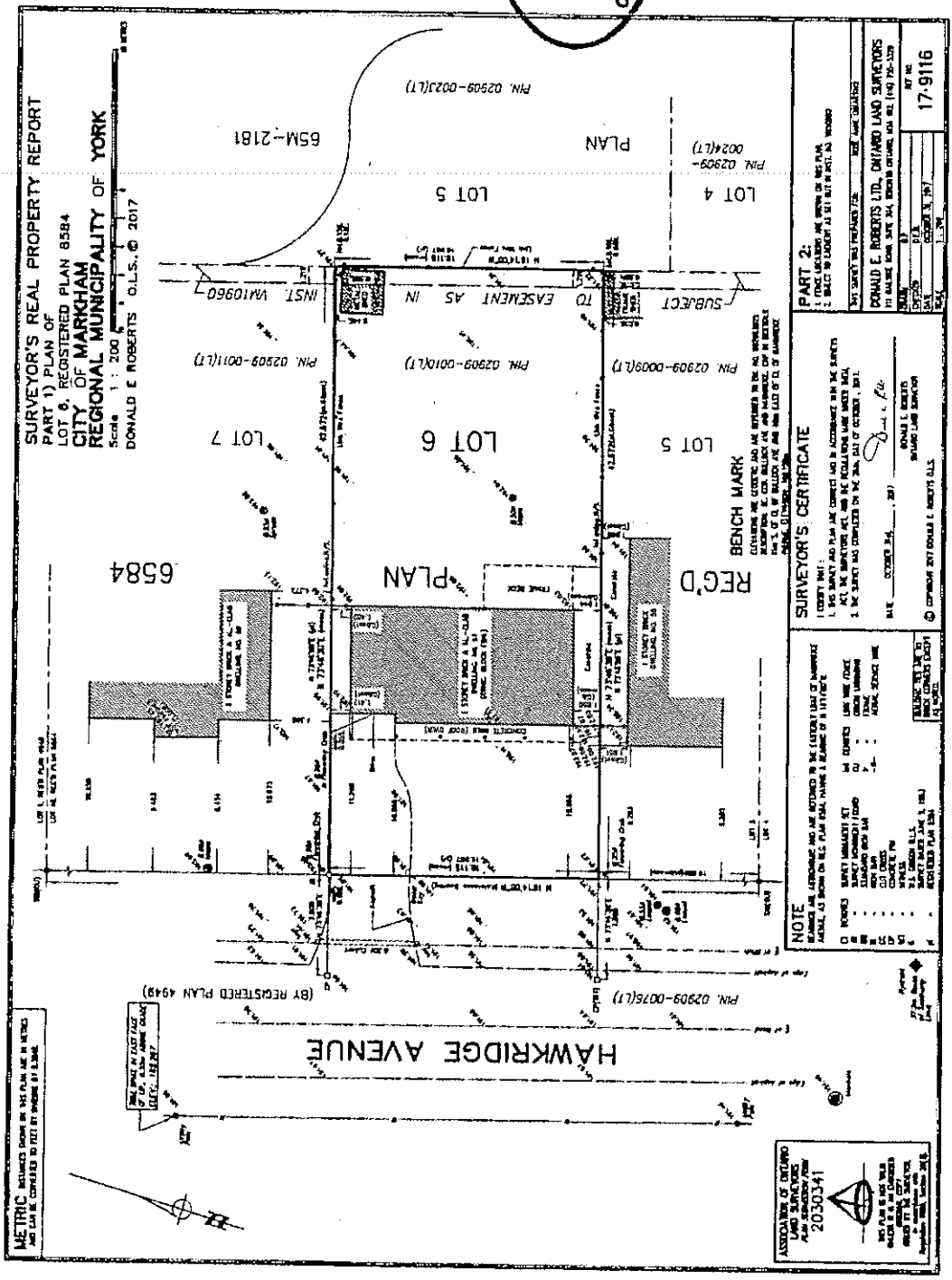
CONDITIONS PREPARED BY:

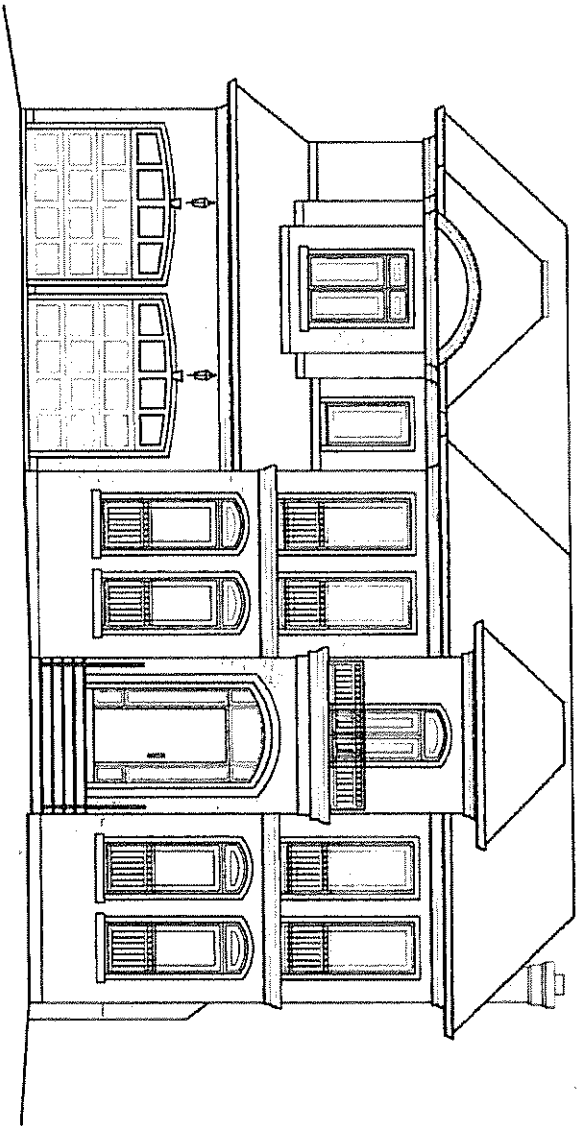


\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects



APPENDIX B



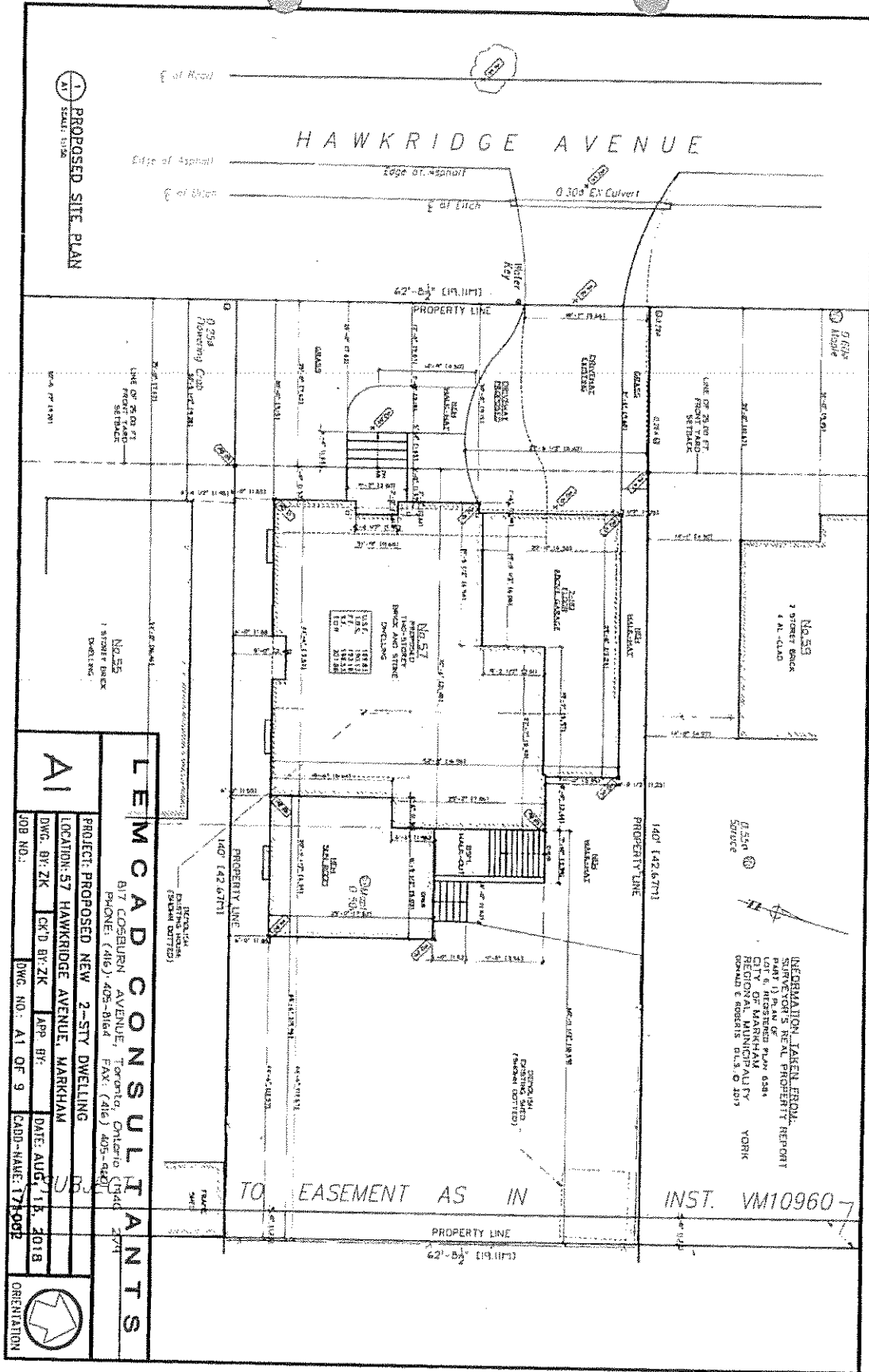


57 HAWKRIDGE AVENUE, MARKHAM  
PROPOSED NEW 2-STORY DETACHED DWELLING

## LIST OF DRAWINGS

re-ISSUE COA - AUGUST 13, 2018

- |     |                            |    |                                 |
|-----|----------------------------|----|---------------------------------|
| A1  | SITE PLAN                  | A5 | PROPOSED ROOF PLAN              |
| A1a | LANDSCAPE PLAN             | A6 | PROPOSED FRONT (EAST) ELEVATION |
| A1b | SITE STATISTICS            | A7 | PROPOSED REAR (WEST) ELEVATION  |
| A2  | PROPOSED BASEMENT PLAN     | A8 | PROPOSED SIDE (SOUTH) ELEVATION |
| A3  | PROPOSED GROUND FLOOR PLAN | A9 | PROPOSED SIDE (NORTH) ELEVATION |
| A4  | PROPOSED SECOND FLOOR PLAN |    |                                 |



PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

A1

**LEMCAD CONSULTANTS**

817 COSEBURN AVENUE, Toronto, Ontario M6K 3Y7  
PHONE: (416) 405-8164 FAX: (416) 405-8411

PROJECT: PROPOSED NEW 2-STY DWELLING

LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

DWG. BY: ZK CK'D BY: ZK APP. BY: DATE: AUG 15, 2018  
JOB NO.: DWG. NO.: A1 OF 9 CABD-NAE-17-008



INFORMATION TAKEN FROM:  
SURVEYOR'S REAL PROPERTY REPORT  
PART 1 PLAN OF SUBDIVISION P49-0381  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY  
DOMAN & ROBERTS P.L.S. © 2013 YORK

INST. VM10960

TO EASEMENT AS IN

PROPERTY LINE  
42'-0" (12.80m)

140' (42.67m)  
PROPERTY LINE

140' (42.67m)  
PROPERTY LINE

PROPERTY LINE  
42'-0" (12.80m)

0.25m  
Flowering Crab  
REPLANT

0.30m Ex Culvert

HAWKRIDGE AVENUE

Edge of Road

Edge of Asphalt

Edge of Bitch

LINE OF 25.00 FT  
FRONT YARD  
SETBACK

No. 55  
1 STORY BRICK  
DWELLING

No. 54  
2 STORY BRICK  
4 A. CLASS

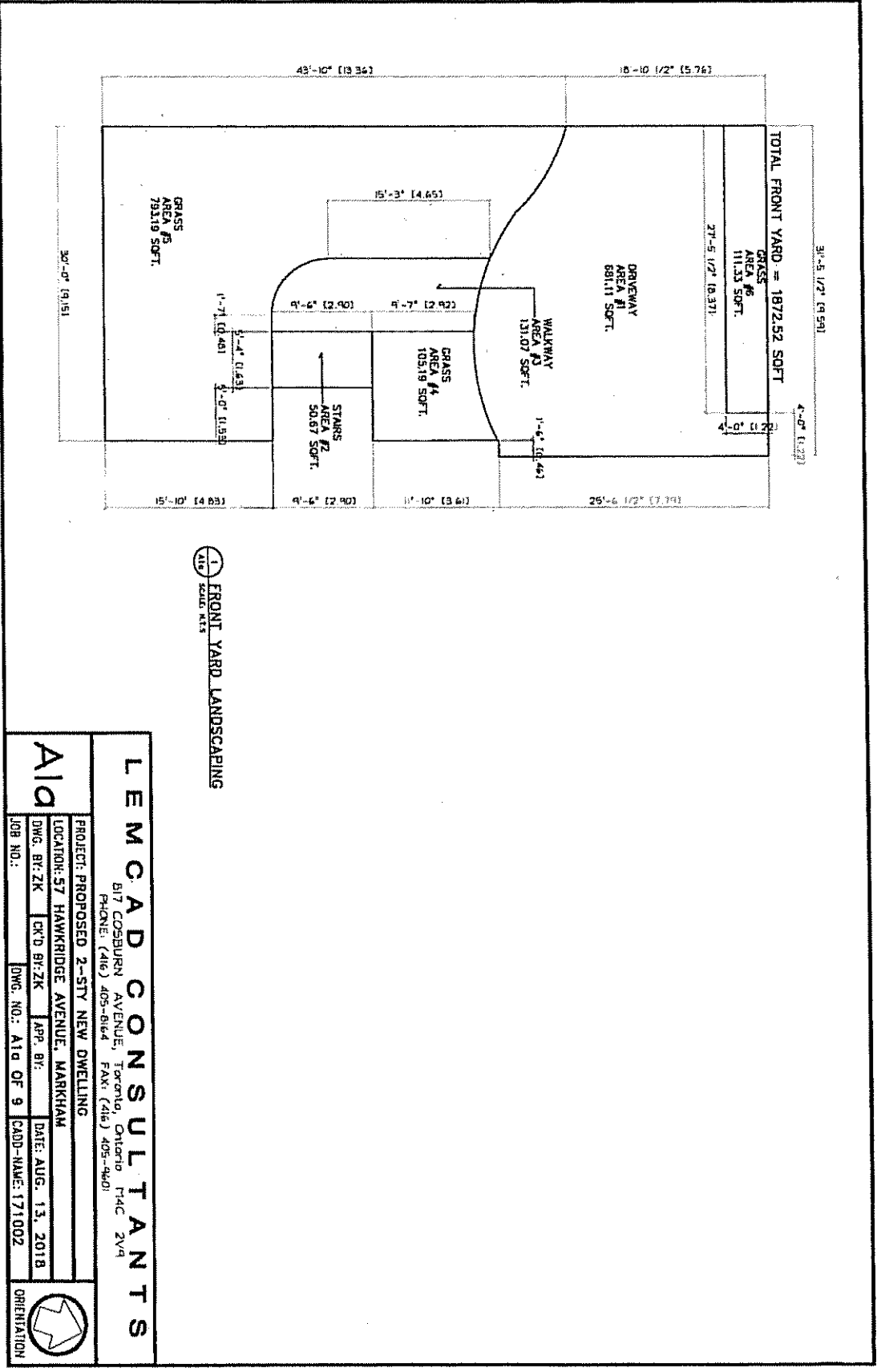
No. 57  
PROPOSED  
TWO-STORY  
BRICK AND STONE  
DWELLING  
1954 1984  
17 1218  
10 1818  
20 1818

CONVEYANCE  
(FURNISH CERTIFIED)

CONVEYANCE  
(FURNISH CERTIFIED)

TRAIL  
SIDE





1 FRONT YARD LANDSCAPING  
118 SCALE: NTS

<b>LEM CAD CONSULTANTS</b>		714	
PROJECT PROPOSED 2-STY NEW DWELLING 117 COBURN AVENUE, Toronto, Ontario, M4C 2V4 PHONE: (416) 405-6164 FAX: (416) 405-8601			
LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM DWG. BY: ZK CK'D BY: ZK		DATE: AUG. 13, 2018 APP. BY:	
JOB NO.:		DWG. NO.: A1a OF 9	
A1a		CAD: NAME: 171002	
ORIENTATION			

**ADDITIONAL SITE STATISTICS**  
57 HAWKRIDGE AVENUE

Item	Project Description:	Build Code	Part 3 & 9	OBC Reference
1	Ontario Building Code	Part 3 & 9	Part 3	Part 9
2	Project Occupancy(s)	Group C - Residential	2.1.4	9.10.1.3
3	Building Classification	Group C - Residential	2.1.1.3	9.10.4

TOTAL FRONT YARD AREA	PROPOSED	REQUIRED
AREA #1	1873.53 SQFT (173.94 SQFT.)	
AREA #2 + #3	792.40 SQFT (73.67 SQFT.)	508
AREA #4 + #5	181.74 SQFT (16.80 SQFT.)	
PROPOSED SOFT LANDSCAPING	88.38 SQFT (83.17 SQFT.)	75.1
LOT FRONTAGE	PROPOSED	REQUIRED
LOT AREA	14.181	14.271
FRONT YARD SETBACK	14.181	14.181
FRONT YARD SETBACK (NORTH)	1.231	1.231
FRONT YARD SETBACK (SOUTH)	1.231	1.231
REAR YARD SETBACK	1.231	1.231
REAR YARD SETBACK	1.231	1.231
COVERED PORCH	PROPOSED	REQUIRED
COVERED PORCH	33.102	33.102
FLOOR AREA RATIO	LOT AREA: 173.94 SQFT. (173.94 SQFT.)	12.42 SQFT. (12.42 SQFT.)
BUILDING HEIGHT	10.181	9.81
BUILDING HEIGHT	10.181	9.81
BUILDING HEIGHT	21.491	14.81
GARAGE WIDTH	4.181	7.71

**SITE DATA**

LOT AREA	8771.11 SQ.FT. (85.42 SQ.FT.)
FLOOR AREAS	PROPOSED
GROUND FLOOR	1712.11 SQ.FT. (154.06 SQ.FT.)
SECOND FLOOR	1867.26 SQ.FT. (173.47 SQ.FT.)
TOTALS G.F.A.	3579.37 SQ.FT. (327.53 SQ.FT.) OR 40.78%
COVERED PORCH	PROPOSED
GROUND FLOOR	1721.11 SQ.FT. (154.06 SQ.FT.)
ATTACHED GARAGE	439.44 SQ.FT. (39.43 SQ.FT.)
COVERED PORCH	50.55 SQ.FT. (5.45 SQ.FT.)
SUN ROOM	495.14 SQ.FT. (44.00 SQ.FT.)
TOTALS COVERAGE	2905.54 SQ.FT. (264.93 SQ.FT.) OR 33.10%
FLOOR AREA RATIO	PROPOSED
LOT AREA	8771.11 SQ.FT. (85.42 SQ.FT.)
COVERED PORCH	440.00 SQ.FT. (40.16 SQ.FT.)
GROUND FLOOR	1712.11 SQ.FT. (154.06 SQ.FT.)
ATTACHED GARAGE	439.44 SQ.FT. (39.43 SQ.FT.)
SECOND FLOOR	1867.26 SQ.FT. (173.47 SQ.FT.)
STAIR OPENING	73.41 SQ.FT. (6.67 SQ.FT.)
OPEN TO BELOW	244.41 SQ.FT. (22.59 SQ.FT.)
TOTALS G.F.A.	4291.01 SQ.FT. (391.96 SQ.FT.) OR 54.87%

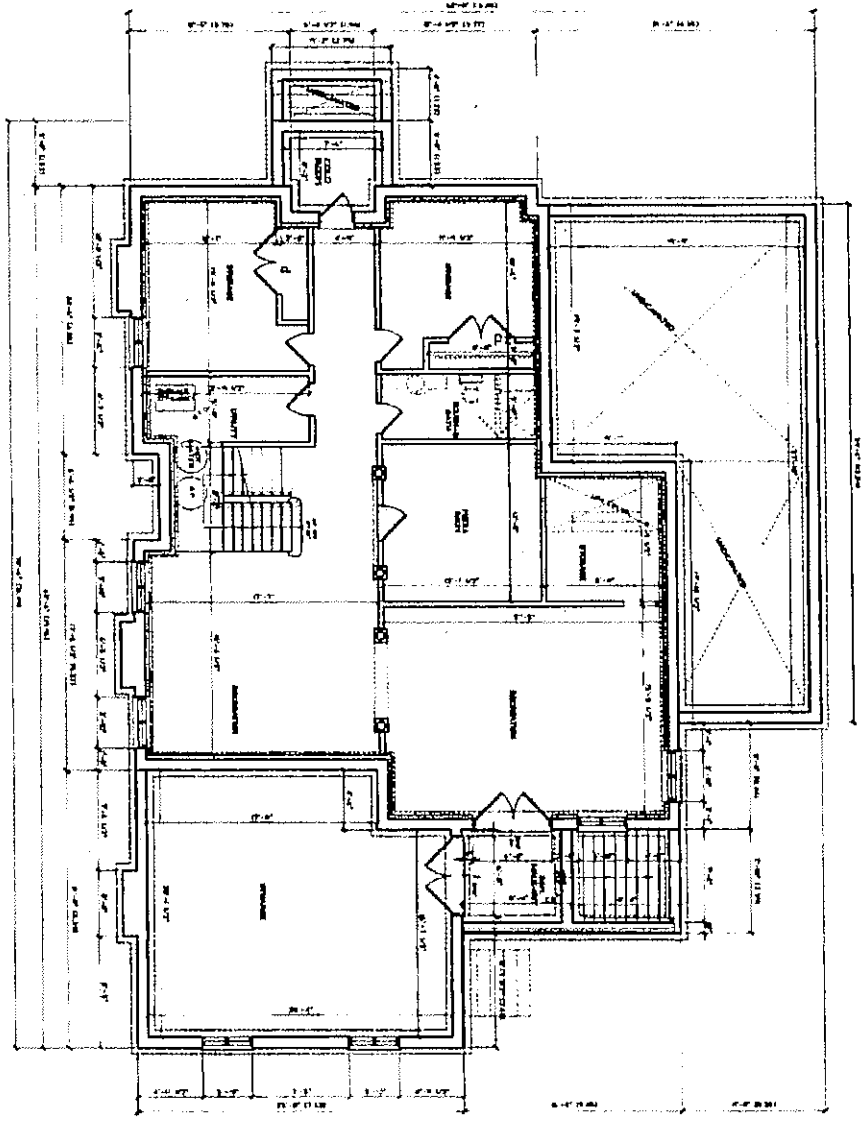
**LEM CAD CONSULTANTS**  
617 COSBURJEN AVENUE, Toronto, Ontario M4C 2V9  
PHONE: (416) 405-8164 FAX: (416) 405-7801


**PROJECT: PROPOSED 2-STY NEW DWELLING**  
**LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM**

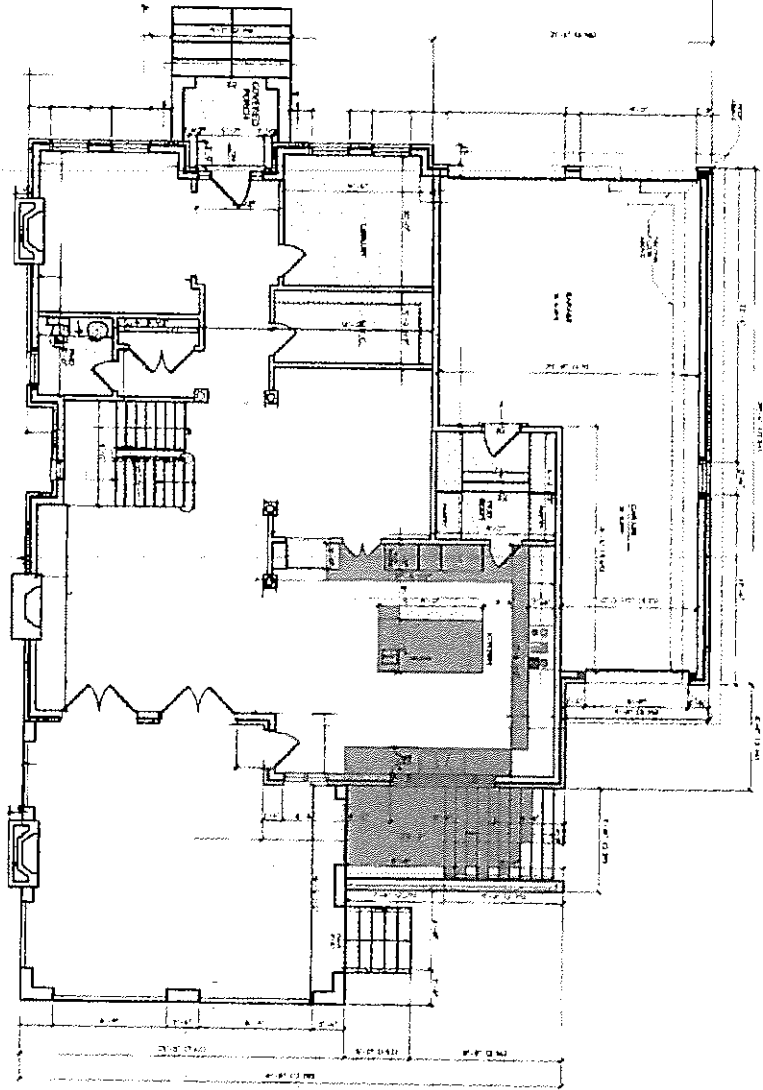
**AIb**  
JOB NO.: DWG. NO.: AIb OF 9 CAD-DRAWG: 171002

DATE: AUG. 13, 2018  
ORIENTATION

PROPOSED  
BASEMENT FLOOR PLAN  
13



<b>LEM CAD CONSULTANTS</b> 617 COSEBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 465-0844 FAX: (416) 465-9601		 ORIENTATION
PROJECT: PROPOSED 2-STY NEW DWELLING	LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM	DATE: AUG. 13, 2018
DWG. BY: ZK	CK'D BY: ZK	APP. BY:
JOB NO.:	DWG. NO.: A2 OF 9	CADS-NAME: 171002



L M A O N U L T A N T S

PROJECT: PROPOSED 2-STY NEW DWELLING

LOCATION: 57 HAWKBRIDGE AVENUE, HARKHAM

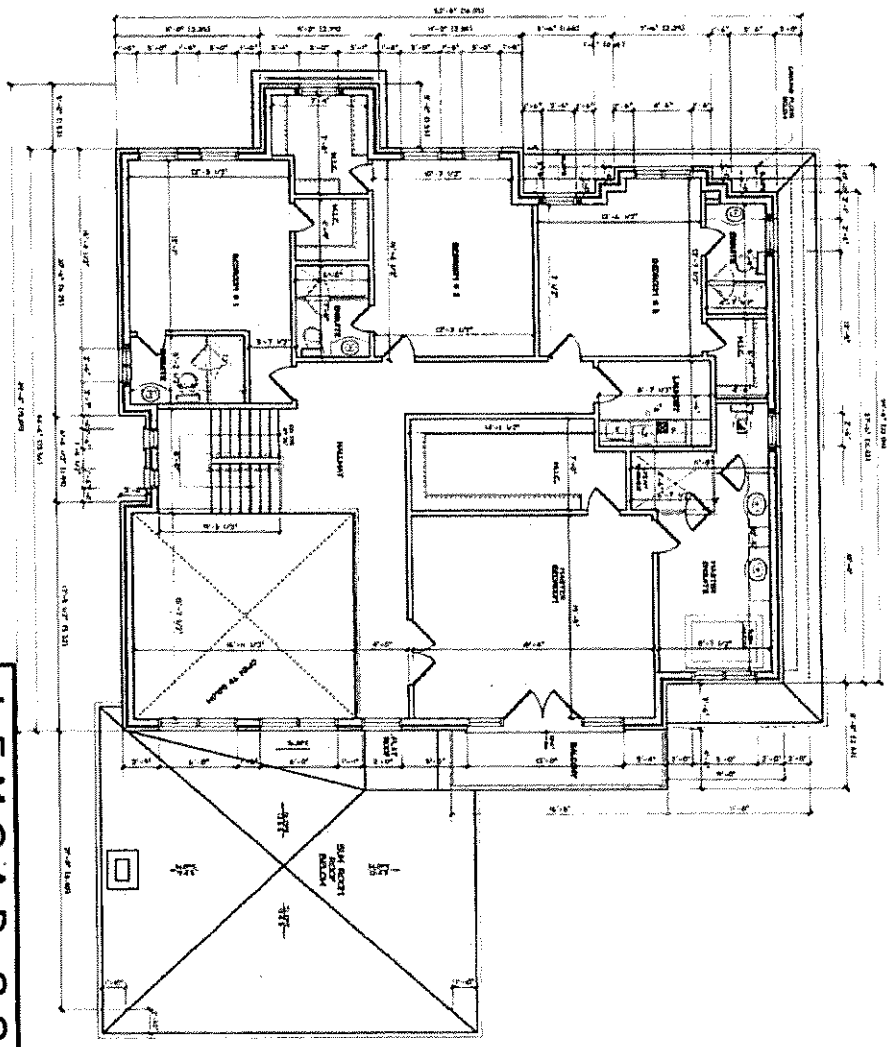
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JOB NO.: DWG. NO.: A3 OF 9 CAD-DRAWN: 171002

A3



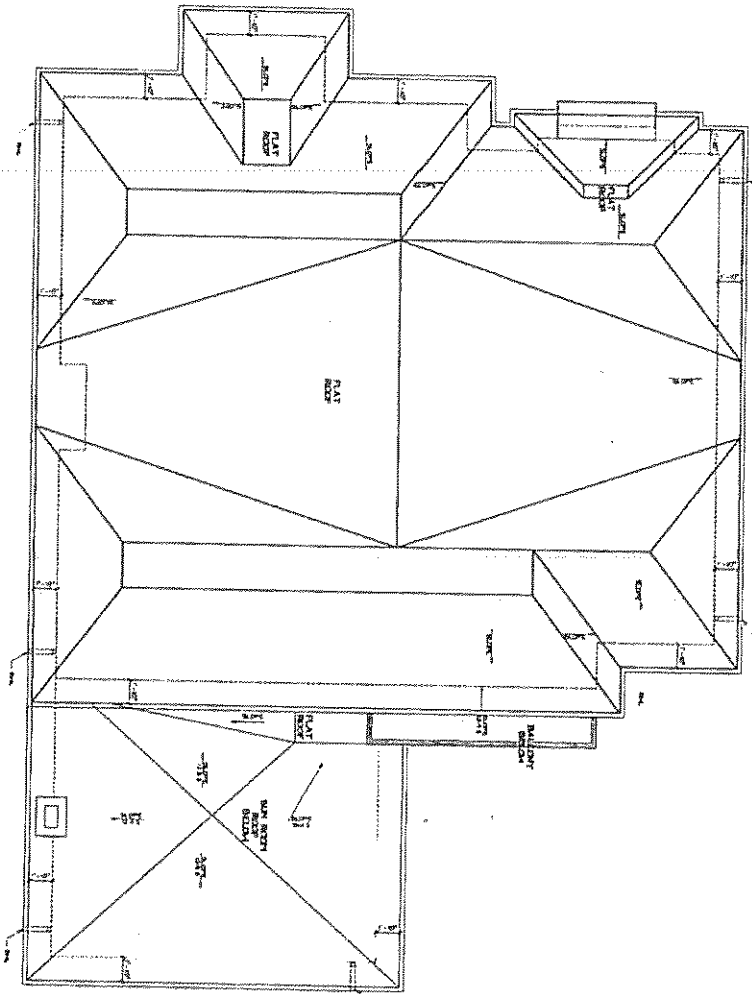
PROPOSED  
SECOND FLOOR PLAN  
Scale: 1/8" = 1'-0"



<b>LEM CAD CONSULTANTS</b>		817 COSEBURN AVENUE, Toronto, Ontario M4C 2V9	
		PHONE: (416) 405-8164 FAX: (416) 405-9620	
PROJECT: PROPOSED 2-STY NEW DWELLING			
<b>A4</b>	LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM	APP. BY:	DATE: AUG. 13, 2018
	DWG. BY: ZK CKD BY: ZK	APP. BY:	CADD-NAME: 171002
JOB NO.:	DWG. NO.: A4 OF 9		ORIENTATION



PROPOSED  
ROOF PLAN  
SCALE: 1/8" = 1'-0"



**LEM CAD CONSULTANTS**

817 COBURN AVENUE, Toronto, Ontario M4C 2V9  
PHONE: (416) 405-8144 FAX: (416) 405-9401

PROJECT: PROPOSED 2-STY NEW DWELLING

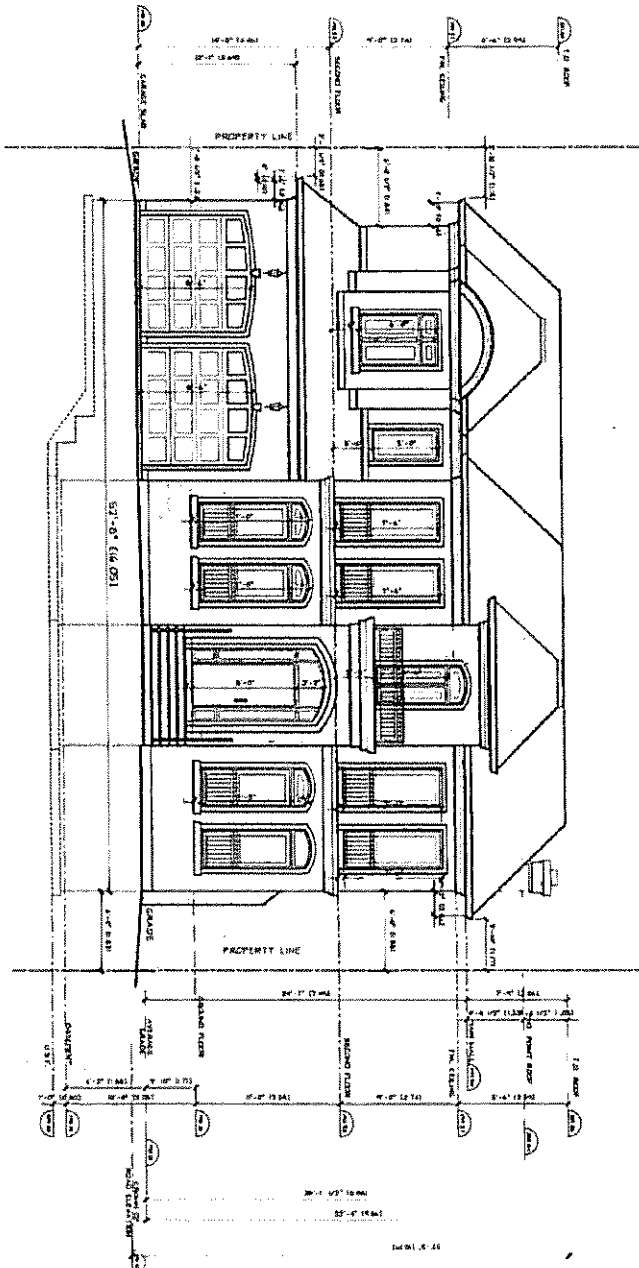
**A5**

LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM  
DWG. BY: ZK CK'D BY: ZK APP. BY: DATE: AUG. 13, 2018  
JOB NO.: DWG. NO.: A5 OF 9 CAD-NAME: 171002



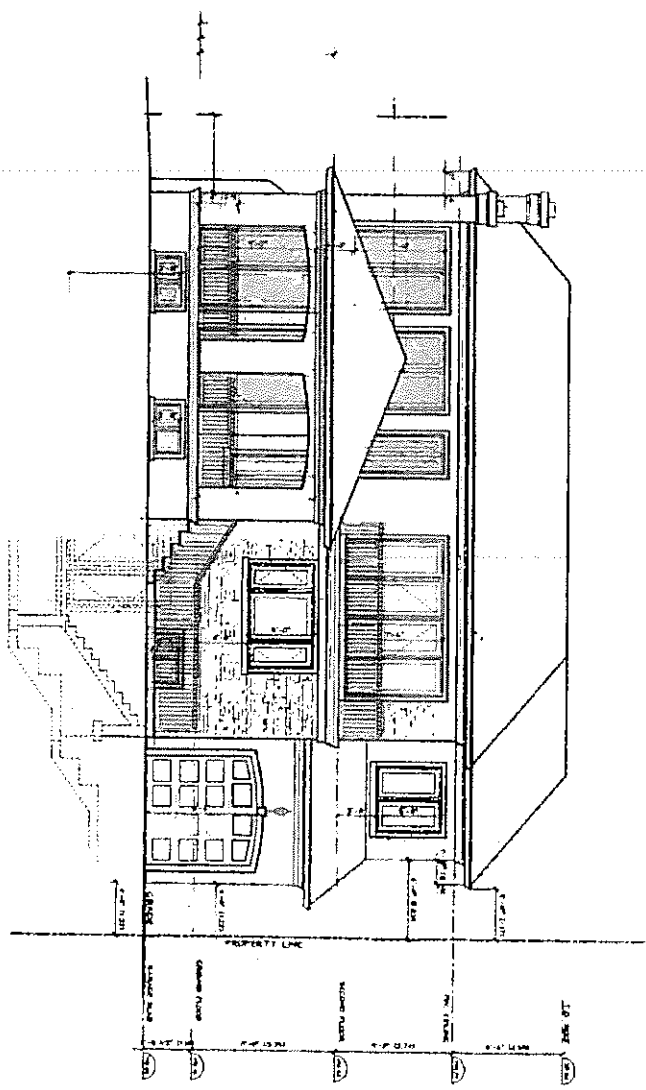
ORIENTATION

PROPOSED  
FRONT (EAST) ELEVATION  
SCALE: 1/8"=1'-0"



<b>LEM CAD CONSULTANTS</b>		817 COSEBURN AVENUE, Toronto, Ontario M4C 2V9	
		PHONE: (416) 405-8164 FAX: (416) 405-8161	
PROJECT: PROPOSED 2-STY NEW DWELLING		DATE: AUG. 13, 2018	
LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM		CADD-NUM: 171002	
<b>A6</b>	DWG. BY: ZK	CK'D BY: ZK	APP. BY:
	JOB NO.:	DWG. NO.: A6 OF 9	ORIENTATION

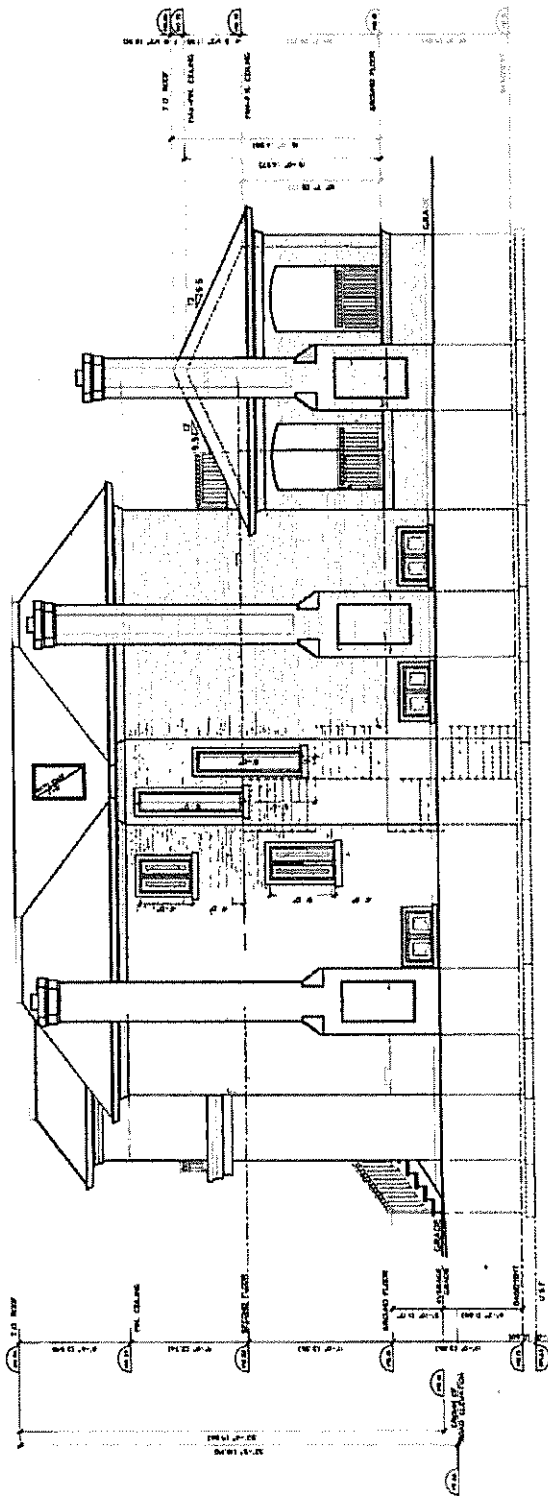
PROPOSED  
BEAR (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



<b>LEM CAD CONSULTANTS</b>			
817 COSBURN AVENUE, Toronto, Ontario M1C 2V4 PHONE: (416) 405-8164 FAX: (416) 405-9801			
PROJECT: PROPOSED 2-STY NEW DWELLING			
LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM			
DWG. BY: ZK	CHK'D BY: ZK	APP. BY:	DATE: AUG. 13, 2018
JOB NO.:	DWG. NO.: A7 OF 9	CAD00-MAR-171002	
			ORIENTATION

A7





**LEM CAD CONSULTANTS**

817 COSEBURN AVENUE, Toronto, Ontario M4C 2V9  
 PHONE: (416) 405-8164 FAX: (416) 405-9601

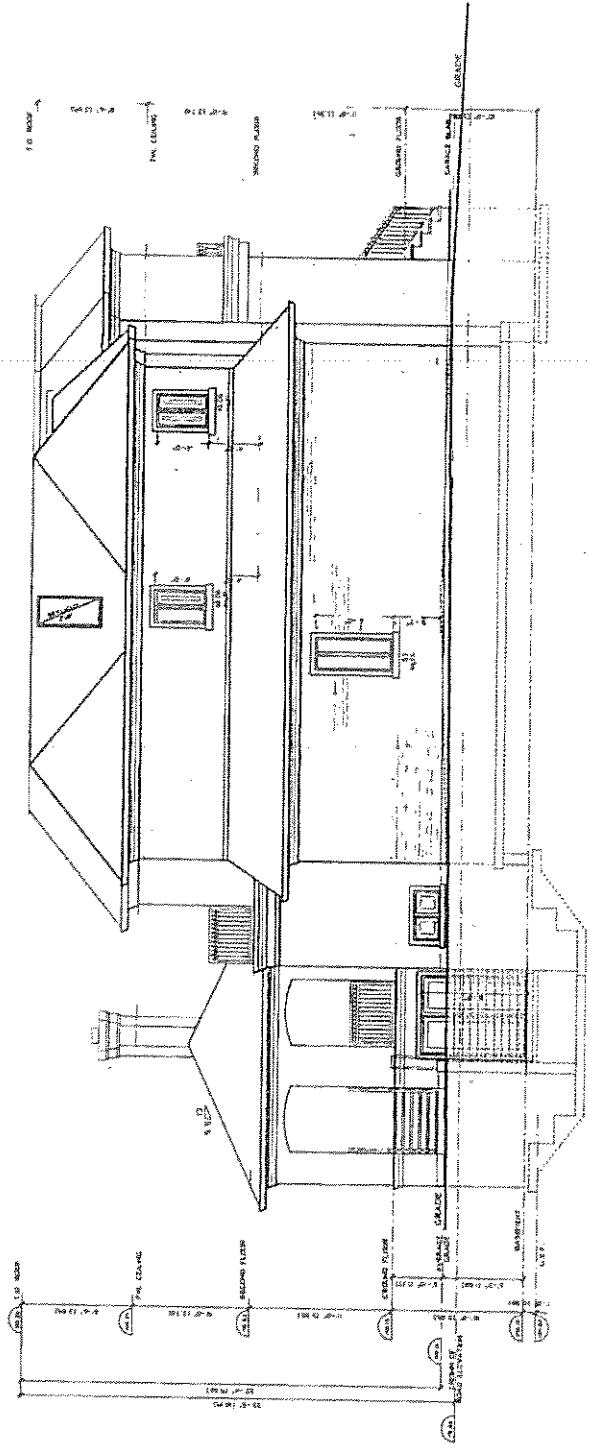
PROJECT: PROPOSED 2-STY NEW DWELLING	
LOCATION: 57 HAWKBRIDGE AVENUE, MARKHAM	DATE: AUG. 13, 2018
DWG. BY: ZK	CK'D BY: ZK
APP. BY:	DWG. NO.: A8 OF 9
JOB NO.:	CADD-NAME: 171002

**A8**

PROPOSED  
 SIDE (SOUTH) ELEVATION  
 SCALE: 1/8"=1'-0"



ORIENTATION



PROPOSED  
SIDE (NORTH) ELEVATION  
SCALE: 1/8"=1'-0"

LEM CAD CONSULTANTS

617 COSEBURN AVENUE, Toronto, Ontario M4C 2V4  
PHONE: (416) 409-8164 FAX: (416) 409-1601

PROJECT: PROPOSED 2-STY NEW DWELLING  
LOCATION: 57 HAWKRIDGE AVENUE, MARKHAM

DWG. BY: ZK CK'D BY: ZK APP. BY: DATE: AUG. 13, 2018  
JOB NO.: DWG. NO.: A9 OF 9 CAD-NAME: 171002

A9



ORIENTATION