

Memorandum to the City of Markham Committee of Adjustment

March 1, 2021

File: A/84/16
Address: 7543 Kennedy Road, Markham
Applicant: Kirumpakaran Ehamparam (2101125 Ontario Ltd.)
Agent: Blackthorn Development Corp. (Maurizio Rogato)
Hearing Date: Wednesday, March 10, 2021

The following comments are provided on behalf of the Central Team:

The applicant is requesting relief from the following requirements of By-law 90-81, as amended, to permit:

- a) **Amending By-law 2007-69, Section 7.50.3 (b)(i):**
a maximum of two (2) Medical Clinics, whereas the By-law only permits a maximum of one (1);
- b) **Amending By-law 2007-69, Section 7.50.3 (b)(ii):**
a maximum Net Floor Area of 286.80 m², whereas the By-law permits a maximum of 270 m²;
- c) **Amending By-law 2007-69, Section 7.50.2 (e):**
a maximum Gross Floor Area of 590.90 m², whereas the By-law permits a maximum of 430 m²;
- d) **Amending By-law 2007-69, Section 7.50.3 (iv):**
a minimum landscape strip of 1.029 m along the south lot line, whereas the By-law requires a minimum of 1.4 m;
- e) **Parking By-law 28-97, Section 3.0, Table B:**
a minimum of 12 parking spaces, whereas the By-law requires a minimum of 14 parking spaces;

as they relate to a proposed medical clinic facility.

BACKGROUND

Property Description

The 0.3 acre (0.12 hectare) subject property is located on the east side of Kennedy Road, south of Highglen Avenue. There is an existing one-storey building on the property that is vacant. No significant vegetation or natural features exist on the site.

Surrounding land uses include single detached dwellings to the north fronting onto Highglen Avenue and to the east fronting onto Doulton Court. Abutting to the south is a commercial/office building followed by three properties, which are also used for commercial purposes. To the west, across Kennedy Road, is the

Milliken Mills High School and Community Centre (see Appendix A – Aerial Photo).

Proposal

The applicant has applied for variances to facilitate the development of a new two-storey, 590.90 m² (6,360.39 ft²), medical clinic facility with a pharmacy on the ground floor and two medical clinics on the second floor (see Appendix B – Architectural Plans). A total of 12 surface parking spaces (including one accessible space) are provided on-site, located at the rear of the proposed building. Vehicular access is proposed from Kennedy Road and is to be restricted to right-in, right-out movements.

History

In 2007, site-specific Official Plan and Zoning By-Law Amendments were approved for the subject property to facilitate the development of a two-storey medical clinic. Since that time, the applicant has been working with Regional and City staff to resolve technical site plan matters relating to vehicular turning movements, parking supply, pedestrian accessibility, servicing, etc.

The Committee of Adjustment initially deferred this application at the July 20, 2016 meeting to allow the applicant to revise the application and accurately identify the variances requested. The application was brought back to the Committee of Adjustment on August 10, 2016 and subsequently deferred pending the submission of a parking study. On February 21, 2018, the Committee of Adjustment recommended deferral of the application once again, in order for the proposal to undergo further review under the Site Plan Approval process (File No. SC 05 021528). Upon additional review, variance b), to permit a maximum Net Floor Area of 286.80 m², has since been added. Further details are provided in the comment section below.

Official Plan and Zoning

Official Plan 1987, as amended by Official Plan Amendment No.160 (OPA 160)

The subject property is designated “Urban Residential”, in the 1987 Official Plan. Site-specific Official Plan Amendment No.160 (OPA 160) was passed in 2007 to permit a medical clinic facility accommodating medical offices and a pharmacy not exceeding two storeys in height.

Official Plan 2014 (partially approved on November 24, 2017, and further updated on April 9, 2018)

The subject property is designated “Residential – Low Rise”, in the 2014 Official Plan, which provides for low rise housing forms such as detached and semi-dwellings. Notwithstanding, Section 11.1.3 of the 2014 Official Plan recognizes that legally existing development and land uses shall be deemed to conform as they exist at the time the 2014 Official Plan is approved.

Zoning By-Law 90-81 and Amending By-law 2007-69

The subject property is zoned “Third Density – Single Detached Residential (R3)” under By-law 90-81, as amended. Site-specific Zoning By-law Amendment 2007-69 was passed in 2007 to permit a 2-storey medical clinic and a pharmacy. The By-law also established a number of site-specific development standards based on the proposal at the time, including minimum landscape strip requirements, maximum gross floor area, maximum number of medical clinics, etc.

Parking Standards By-law 28-97

The proposed medical offices also does not comply with the standards of the City’s Parking By-law 28-97, as amended, with respect to the minimum required number of parking spaces. Further details of the parking requirement is provided in the comment section below.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However the applicant has received comments from the Zoning Department through their Site Plan Control application process to confirm the variances required for the proposed development.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- 1) The variance must be minor in nature;
- 2) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- 3) The general intent and purpose of the Zoning By-law must be maintained;
- 4) The general intent and purpose of the Official Plan must be maintained.

Second Medical Clinic and Increase in Net Floor Area (NFA)

The applicant is requesting relief to permit a second medical clinic, whereas the By-law only permits one medical clinic. The applicant is also requesting to permit a Net Floor Area (NFA) of 286.80 m² (3,087.09 ft²), whereas the 2007 site-specific zoning by-law amendment only permits one medical clinic with a maximum NFA of 270 m² (2,906.26 ft²).

According to the Zoning Department’s interpretation of the By-law, a pharmacy that operates independently from the medical clinic will not be included in the medical clinic NFA calculation, whereas a pharmacy that operates in conjunction to the medical clinic will be included in the calculation. This is noteworthy as the proposed total combined NFA of the second floor medical clinics is 226.90m².

The applicant has confirmed that the ground floor pharmacy will operate in conjunction to the two medical clinics located on the second floor and that the NFA of the proposed pharmacy is to be included in the total NFA calculation for the medical clinics. Given that both medical clinics would comply with the NFA requirements if the pharmacy were to operate independently, Staff are of the opinion that the variance request is minor in nature.

Increase in Gross Floor Area (GFA)

The applicant is requesting relief to permit a maximum Gross Floor Area (GFA) of 590.90 m² (6,360.39 ft²), whereas the By-law permits a maximum GFA of 430 m² (4,628.48 ft²).

The proposed building layout meets the required setbacks that establish the prescribed building envelope, which ensures the proposed building will be in keeping with the scale of developments along Kennedy Road. Staff also note that the proposed building footprint remains consistent with the plans reviewed as part of the 2007 site-specific Official Plan and Zoning By-law Amendment applications. As such, Staff have no objections to the requested variance.

Landscape Strip Reduction

The applicant is requesting relief to permit a minimum landscape strip of 1.029 m (3.38 ft) along the south lot line, whereas the By-law requires a minimum of 1.4 m (4.59 ft). The variance will facilitate vehicular turning movements in and out of the property. As the turning templates were applied to the proposal during the site plan review process, which identified the need for additional space for vehicular ingress and egress, Staff have no objections to the requested variance request.

Parking Reduction

The applicant has submitted a parking justification study in support of the variance request to permit a minimum of 12 parking spaces, whereas 14 parking spaces are required. The study concludes that:

“Based on proxy site parking demand surveys conducted at two similar developments within Markham, a peak parking demand rate of 4.06 spaces per 100 m² of NFA (was observed), which results in a parking requirement of 12 spaces for the proposed development. As such, the proposed parking provisions will be sufficient to meet future demand for the proposed development.”

Staff note that although the NFA has increased from 283 m² to 286.80 m² since the submission of the parking justification study, the study's conclusions remain valid. Transportation Engineering staff are satisfied with the submitted parking justification study and have no objections to the approval of the proposed parking reduction.

PUBLIC INPUT SUMMARY

No written submissions were received as of March 5, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of *The Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of *the Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of *the Planning Act* required for the granting of minor variances.

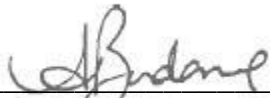
Please see Appendix "C" for conditions to be attached to any approval of this application.

Prepared By:



Melissa Leung, Planner, Central District

Reviewed By:



Sabrina Bordone, Senior Planner, Central District

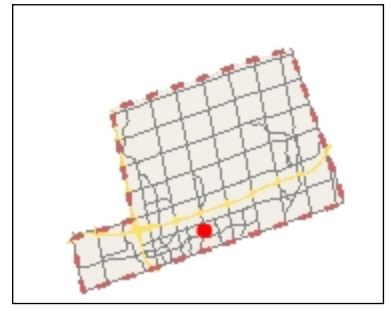
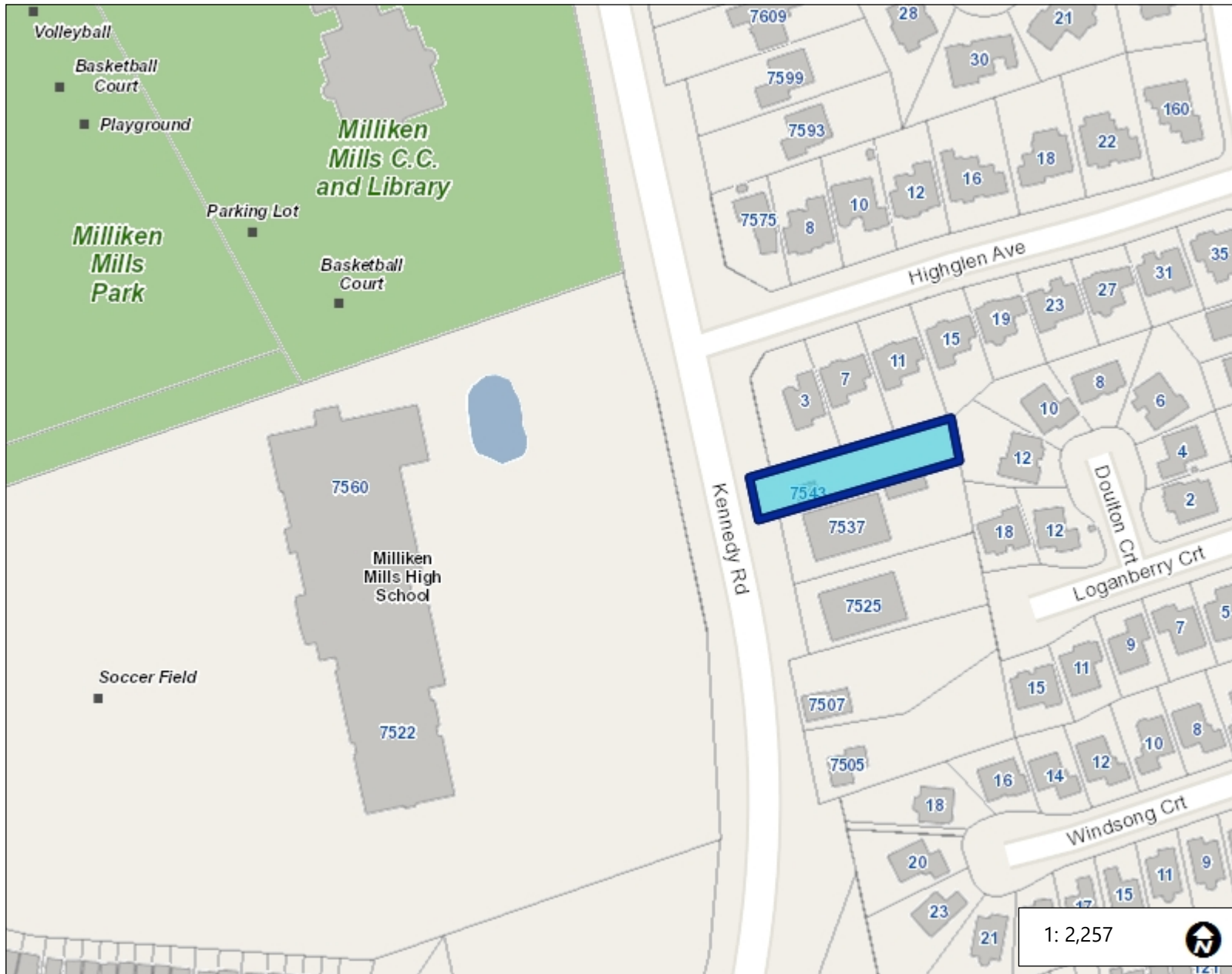
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APPENDICES:

Appendix A – Aerial Photo

Appendix B – Architectural plans

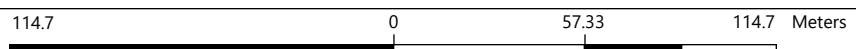
Appendix C - Conditions



Legend

- LANDMARKS_6000
- SLRN_6000
- PARKS_6000
- Building Footprints
- Ponds
- Creeks
- Rivers
- Parcel (MPAC)
- Park Facilities
- Parks**
- <all other values>
- Under Development

Notes



1: 2,257

PROPOSED COMMERCIAL BUILDING

Kennedy Medical Building

7543 KENNEDY ROAD, MARKHAM, ONTARIO



DRAWING LIST

A 100 SERIES		
A000	COVER PAGE	N.T.S
A101	SITE PLAN & SITE STATISTICS	1:125
A 200 SERIES		
A201	BASEMENT FLOOR PLAN	1:75
A 300 SERIES		
A301	GROUND FLOOR PLAN	1:75
A302	2ND FLOOR PLAN	1:75
A 400 SERIES		
A401	BUILDING ELEVATIONS (EAST-WEST)	1:75
A402	BUILDING ELEVATIONS (NORTH-SOUTH)	1:75
A403	NORTH-SOUTH SITE ELEVATION	1:125
A 500 SERIES		
A501	NORTH-SOUTH BUILDING SECTION	1:50
TOTAL SHEETS		9



SITE STATISTICS		
1. SITE AREA BREAKDOWN	AREA ft2	AREA m2
LOT AREA	13,127.24	1,219.52
ROAD WIDENING LANDS AREA	1,485.02	137.96
NET LOT AREA	14,612.26	1,357.48
2. BUILDING AREA (FOOTPRINT)	3,595.41	334.01
3. PROPOSED BUILDING HEIGHT		
2 STOREYS (MEASURED FROM FFE 202.05)	8.22m (27'-0")	
4. F.S.I (FLOOR SPACE INDEX)		
GROSS FLOOR AREA (m2) / SITE AREA (m2)	(GFA) 461.10 / (SITE) 1,357.48	0.33
5. PARKING (TYPICAL PARKING SPACE SIZE = 2.75m X 5.8m)		
REQUIRED PARKING		
PHARMACY PARKING (1 PARKING SPACE / 25m2 OF NFA (59.9/25))	2.39 SPACES	
OFFICE PARKING (1 PARKING SPACE / 20m2 OF NFA (226.9/20))	11.34 SPACES	
TOTAL REQUIRED PARKING	(2.39 + 11.34 = 13.73)	14 SPACES
PROVIDED PARKING		*12 SPACES
* OF WHICH 1 SPACE IS BARRIER-FREE (2.6+1.5m X 5.8m)		

6. FLOOR AREA BREAKDOWN	GROSS FLOOR AREA (GFA)		DEDUCTIONS		NET FLOOR AREA (NFA)		
	ft2	m2	ft2	m2	ft2	m2	
BASEMENT	1,397.50	129.80	ENTIRE FLOOR (SERVICE STORAGE)	1397.5	129.8	0	0
GROUND FLOOR (PHARMACY, GROUP E CLASSIFICATION)	1,368.08	127.09	UNIVERSAL WASHROOM	80.63	7.49	644.82	59.90
			STAR A	235.20	21.85		
			STAR R/C	363.82	33.60		
			ELEVATOR	43.61	4.05		
			MECH. ROOM	133.49	12.40		
2nd FLOOR (OFFICE, GROUP D CLASSIFICATION)	3,595.41	334.01	STAR A	104.61	9.72	2442.2	226.9
			STAR B	74.27	6.90		
			ELEVATOR	43.61	4.05		
			WASHROOMS	135.84	12.62		
			STAFF LOCKER	278.15	25.84		
TOTAL	4,963.49	461.10	DEDUCTIONS	1153.2	107.1	3,087.0	286.8

7. SETBACKS (PROVIDED)	
NORTH SIDYARD SETBACK	3.0m
SOUTH SIDYARD SETBACK	1.5m
EAST (KENNEDY RD.) FRONTIARD SETBACK	11.0m
WEST REARYARD SETBACK	41.0m

PLAN OF SURVEY, TOPOGRAPHY AND ELEVATIONS ON PART OF LOT 4, CONCESSION 6 TOWN OF MARKHAM (REGIONAL MUNICIPALITY OF YORK)

BEARINGS ARE GRID, DERIVED FROM SPECIFIED CONTROL POINTS 092903164 & 092901510, MTM ZONE 10, NAD83 ORIGINAL (REFER TO SURVEY)

DONALD E. ROBERTS LTD.
 ONTARIO LAND SURVEYORS SUITE 304
 111 RAALSDALE RD., TORONTO, ONTARIO, M3A 1B2
 Tel: (416) 755-5320

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- revisions: m - d - yr.

architectural team :

eduardo ortiz
 maurizio di giulio



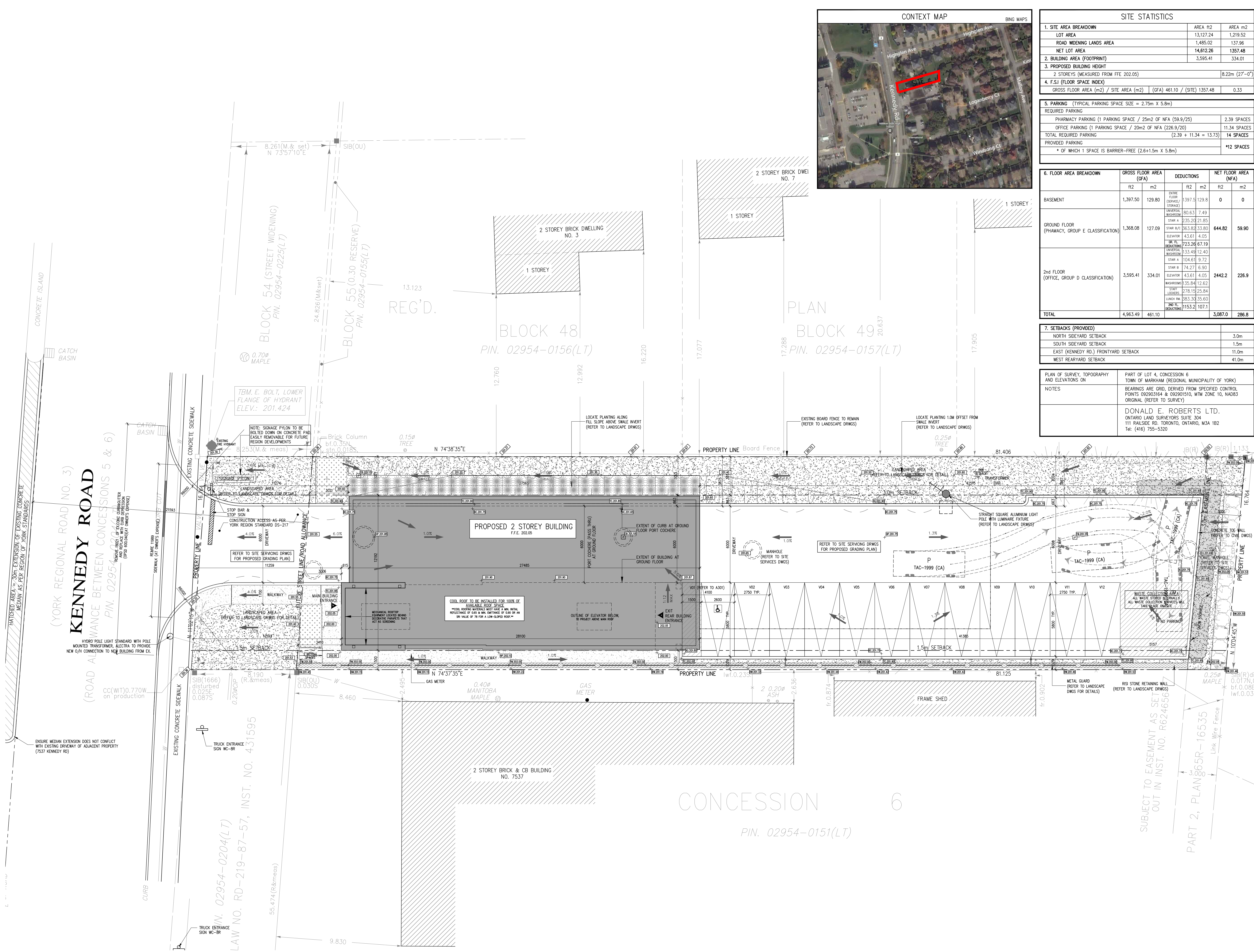
- planning:
- structural:
- electrical:
- mechanical:
- landscape: cosburn nauboris ltd.
- lead:
- site services: john towle associates ltd.

project:
 Kennedy Medical Building
 7543 Kennedy Road
 markham, ontario

site plan, context map & statistics

aug. 25, 2020 date:
 1:125 scale:
 14-75 D project:
 m.dg drawn by:

drawing number:
A101



architectureunfolded

info@unfolded.co
 416.601.5416
 toronto, on. msk 1197 tel: (416) 601.5416
 219 currier street, suite 201b.

CATCH BASIN

1000 REGIONAL ROAD NO. 3)

KENNEDY ROAD

(ROAD ALLOWANCE BETWEEN CONCESSIONS 5 & 6)
PIN. 02954-0204(LT)

CATCH BASIN

CURB CUT

EXISTING CONCRETE SIDEWALK

PROPERTY LINE VALVE 16.764

N 11°02'15"W

EXISTING CONCRETE SIDEWALK

SIB(1666) disturbed
0.025E,
0.087S

37-57, INST. NO. 431595
24(LT)

TBM. E. BOLT, LOWER FLANGE OF HYDRANT
ELEV.: 201.424

0.70Ø MAPLE

BLOCK 54
PIN. 02954

BLOCK 55
PIN. 02954

24.826 (M&S)

REG'D.

13.123

BLOCK 48
PIN. 02954-0156(LT)

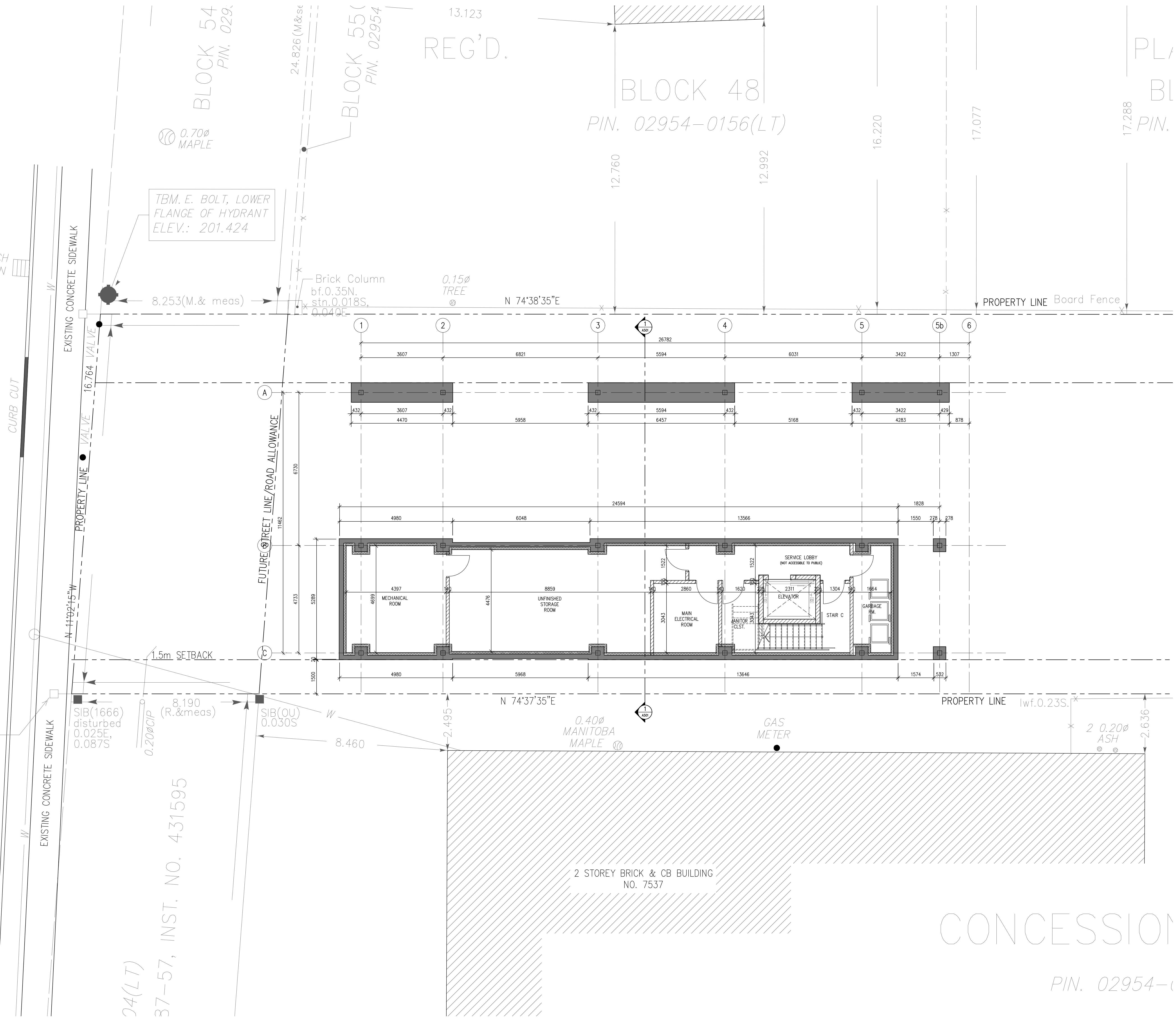
N 74°38'35"E

0.15Ø TREE

Brick Column
bf. 0.35N.
stn. 0.018S.
0.04Ø

PROPERTY LINE Board Fence

PL/BL
PIN. 17.288



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Kennedy Medical Building
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multimark.on.ca

building floor plans
basement

aug. 25, 2020 date:
1:75 scale:
14-75 D project:
m.dg drawn by:

CONCESSION

PIN. 02954-0



A201

architectureunfodled

info@unfodled.co

toronto, on. 219 currier street, suite 201b.

max 1yr tel: (416)601.5416

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(ROAD ALLOWANCE BETWEEN CONCESSIONS 5 & 6)
PIN. 02954-0204(LT)

CONCESSION 5
-87-57, INST. NO. 431595
204(LT)

REG'D.

BLOCK 48
PIN. 02954-0156(LT)

PLA
BL
PIN.

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Kennedy Medical Building
7543 Kennedy Road
markham, ontario

building floor plan
ground

aug. 25, 2020
1:75
14-75 D
m.dg

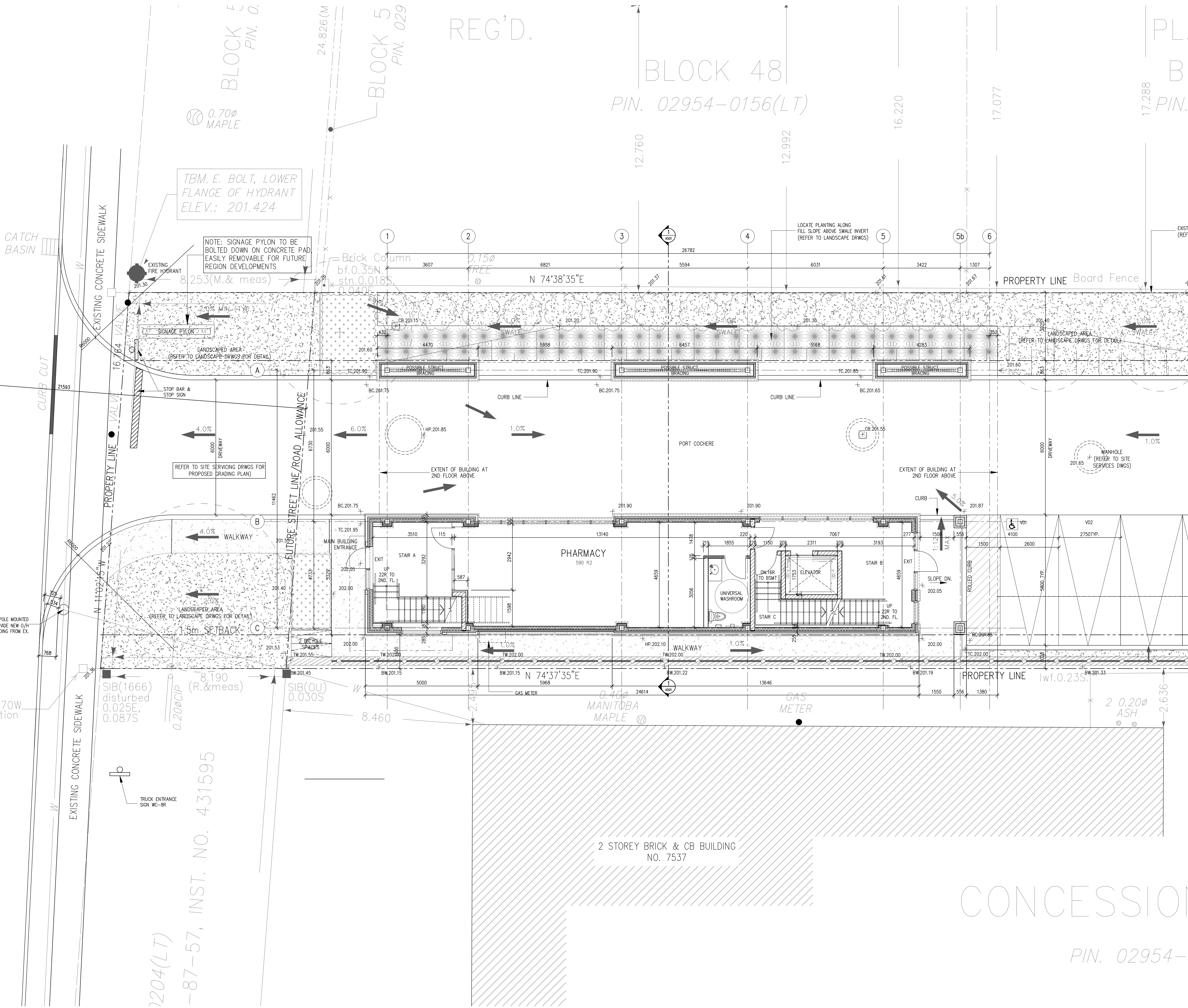
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scale:
project:
drawn by:



drawing number:
A301

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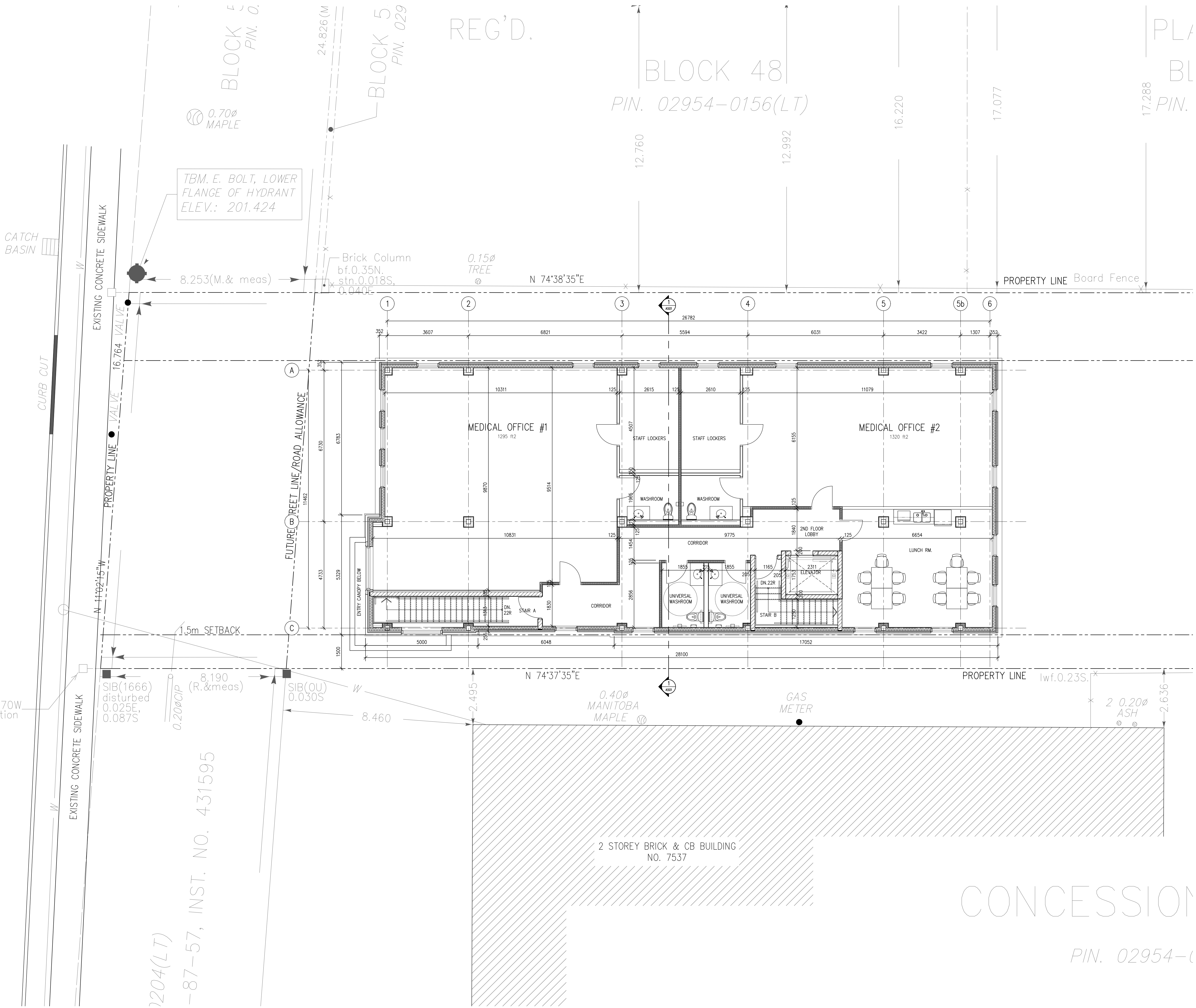
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EXISTING CONCRETE SIDEWALK

PROPERTY LINE VALVE

N 11°02'15"W

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0.025E,
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0204(LT)
-87-57, INST. NO. 431595

TBM. E. BOLT, LOWER
FLANGE OF HYDRANT
ELEV.: 201.424

0.70Ø
MAPLE

BLOCK 5
PIN. 0

BLOCK 5
PIN. 029

24.826(M)

Brick Column
bf.0.35N.
stn.0.018S.
0.040E

0.15Ø
TREE

N 74°38'35"E

0.40Ø
MANITOBA
MAPLE

2 STOREY BRICK & CB BUILDING
NO. 7537

REG'D.

BLOCK 48
PIN. 02954-0156(LT)

12.760

12.992

16.220

17.077

17.288

PLA
BL
PIN.

PROPERTY LINE Board Fence

N 74°37'35"E

PROPERTY LINE 1wf.0.23S.

2.636

1.5m SETBACK

FUTURE STREET LINE / ROAD ALLOWANCE

GAS METER

2 0.20Ø
ASH

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architectural team :

eduardo ortiz
maurizio di giulio



- planning:
- structural:
- electrical:
- mechanical:
- landscape:
cosburn nauboris ltd.
- lead:
- site services:
john towle associates ltd.

project:
Kennedy Medical Building
7543 Kennedy Road
markham, ontario

building floor plan
2nd floor

aug. 25, 2020 date:
1:75 scale:
14-75 D project:
m.dg drawn by:



drawing number:
A302

architectureunfolded

info@unfolded.co

416.601.5416

toronto, on.

219 currier street, suite 201b.

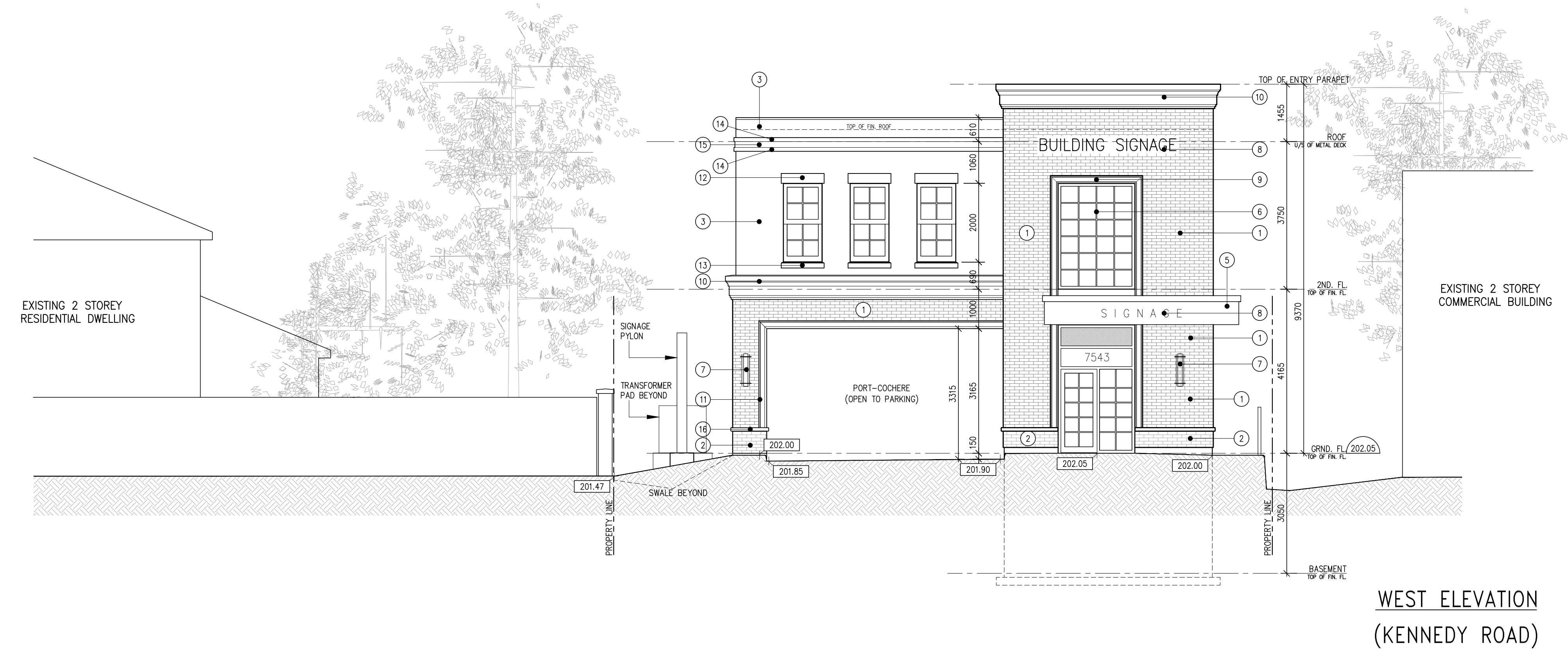
max 1yr tel: 416.601.5416

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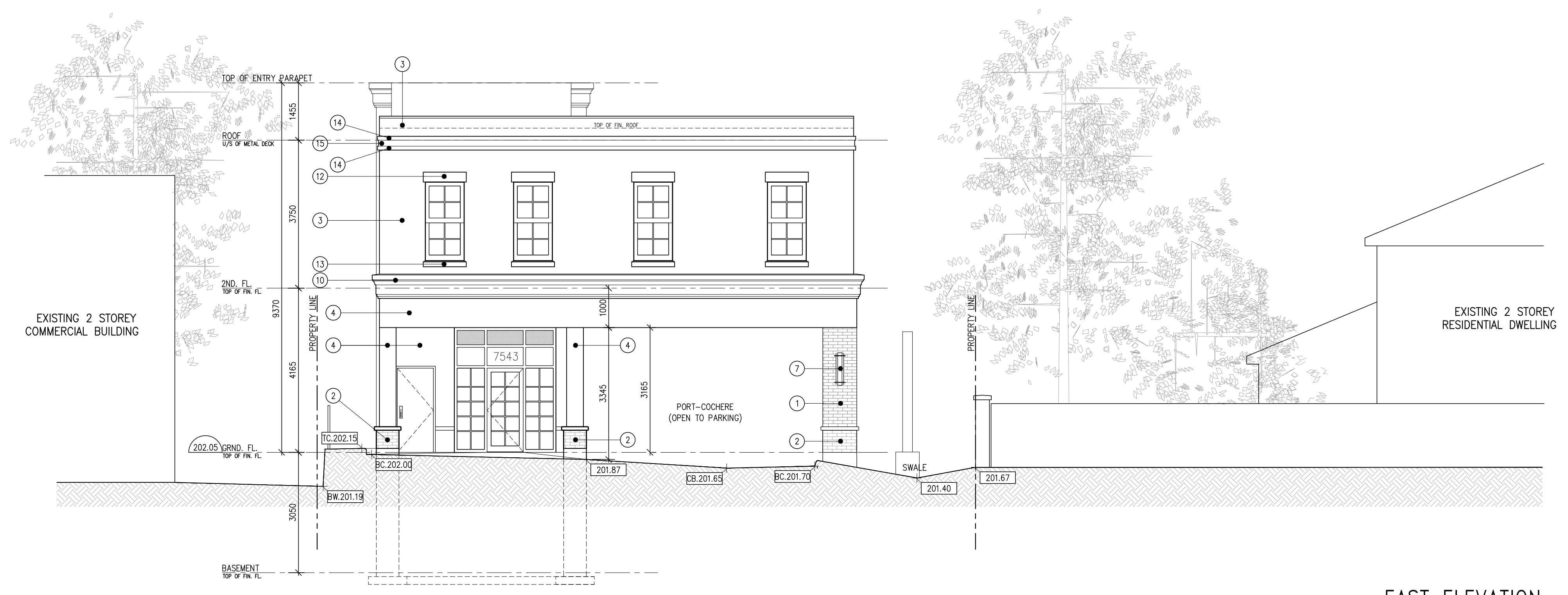
LEGEND					
1	SHOULDICE STRATA BRICK - GALAXY SMOOTH FACE, 190X390	7	ARCHITECTURAL LIGHT FIXTURES - WALL SCONCES WITH DOWNWARD LIGHTING	13	CANAMOULD EXTERIOR MOULDINGS - WINDOW SILL LUI 001 - 6" HEIGHT
2	SHOULDICE STRATA BRICK - POLAR SMOOTH FACE, 190X390	8	COMMERCIAL SIGNAGE INDIVIDUAL ILLUMINATED CHANNEL LETTERS	14	CANAMOULD EXTERIOR MOULDINGS - TRIM TRIM STN 2" SERIES - 4"HEIGHT
3	STUCCO (BLDG MAIN WALL) - DRYVIT SYSTEMS 132 MOUNTAIN FOG, SANDPEBBLE DPR, S14L43003	9	ARCHITECTURAL STONE ACCENT - SHOULDICE DESIGNER STONE GEM STONE, DIAMOND	15	CANAMOULD EXTERIOR MOULDINGS - TRIM TRIM STN 1" SERIES - 6"HEIGHT
4	STUCCO (BLDG ACCENT BASE) - DRYVIT SYSTEMS TERRANO BLACK BEAUTY, 715 LICORICE, S14G39576	10	CANAMOULD EXTERIOR MOULDINGS - MAIN CORNICE CORNICE BAN 012	16	SHOULDICE DESIGNER STONE - SUPER SILLS 424 TAPESTRY (TEX-STONE)
5	STUCCO (CANOPY) - DRYVIT SYSTEMS REFLECTIT, 261 CHILI PEPPER	11	CANAMOULD EXTERIOR MOULDINGS - WALL OPENING TRIM TRIM STB 001	17	
6	WINDOW WALL - PRE-FINISHED METAL FRAME DURANAR SILVERSTORM, PPG UCFX11166	12	CANAMOULD EXTERIOR MOULDINGS - WINDOW HEADERS TRIM STN 2" SERIES - 10"HEIGHT	18	

BIRD FRIENDLY BUILDING CHECKLIST
<p>Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.</p> <p>MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS</p> <p>At Grade Condition (check to confirm the below is applied)</p> <p><input type="checkbox"/> Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.</p> <p><input checked="" type="checkbox"/> Development contains no glass greater than 2m² within 16m from finished grade.</p> <p>Roof Landscape Condition (check to confirm one of the below is applied)</p> <p><input type="checkbox"/> Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.</p> <p><input checked="" type="checkbox"/> Development contains no glass panel within 16m from roof level finished grade.</p> <p>Treatment (check to confirm one of the below is applied)</p> <p>* Refer to Guidelines for requirements</p> <p><input type="checkbox"/> Stripes</p> <p><input type="checkbox"/> Dots</p> <p><input type="checkbox"/> Netting</p> <p><input type="checkbox"/> Frit and Etched Patterns</p> <p>Specifications (check to confirm one of the below is applied)</p> <p><input type="checkbox"/> Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.</p> <p><input type="checkbox"/> Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.</p>

BIRD FRIENDLY LIGHTING CHECKLIST
<p>Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P. Eng.</p> <p>MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS</p> <p>(check to confirm below is applied)</p> <p><input checked="" type="checkbox"/> The use of exterior up lighting is eliminated.</p> <p><input checked="" type="checkbox"/> There is no exterior light spill outside of property line.</p>



WEST ELEVATION
(KENNEDY ROAD)



EAST ELEVATION

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Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the architect before commencing work.

Positions of rebar or finished mechanical or electrical devices, fittings, and fixtures are indicated on architectural drawings. The locations shown on the architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as directed by the architect.

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All work to be carried out in conformance with the Code and bylaws of the authorities having jurisdiction.

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notes:
City File number:
SC 05 021528

- 13 re-issued for site plan approval 08-25-20
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maurizio di giulio



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project:
Kennedy Medical Building
7543 Kennedy Road
markham, ontario

building elevations
east & west

aug. 25, 2020 date:
1:75 scale:
14-75 D project:
m.dg drawn by:



drawing number:
A401

LEGEND					
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BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS

At Grade Condition (check to confirm the below is applied)

Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.

Development contains no glass greater than 2m² within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)

Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.

Development contains no glass panel within 16m from roof level finished grade.

Treatment (check to confirm one of the below is applied)

* Refer to Guidelines for requirements

Stripes

Dots

Netting

Frit and Etched Patterns

Specifications (check to confirm one of the below is applied)

Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.

Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

BIRD FRIENDLY LIGHTING CHECKLIST

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P. Eng.

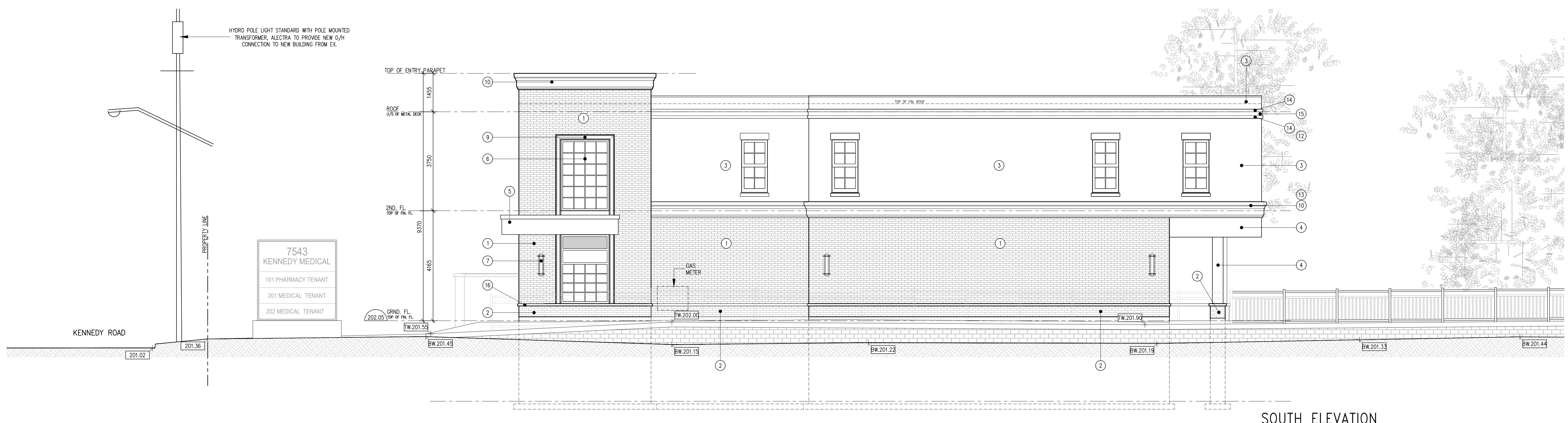
MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS (check to confirm below is applied)

The use of exterior up lighting is eliminated.

There is no exterior light spill outside of property line.



NORTH ELEVATION



SOUTH ELEVATION

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eduardo ortiz
maurizio di giulio



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- landscape: cosburn nauboris ltd.
- lead:
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project:
Kennedy Medical Building
7543 Kennedy Road
markham, ontario

building elevations
north & south

aug. 25, 2020
1:75
14-75 D
m.dg

date:
scale:
project:
drawn by:



drawing number:
A402

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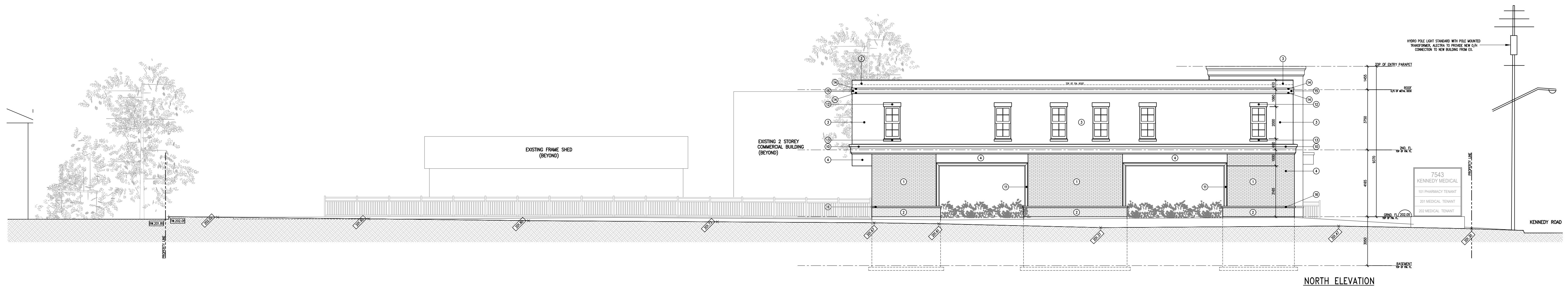
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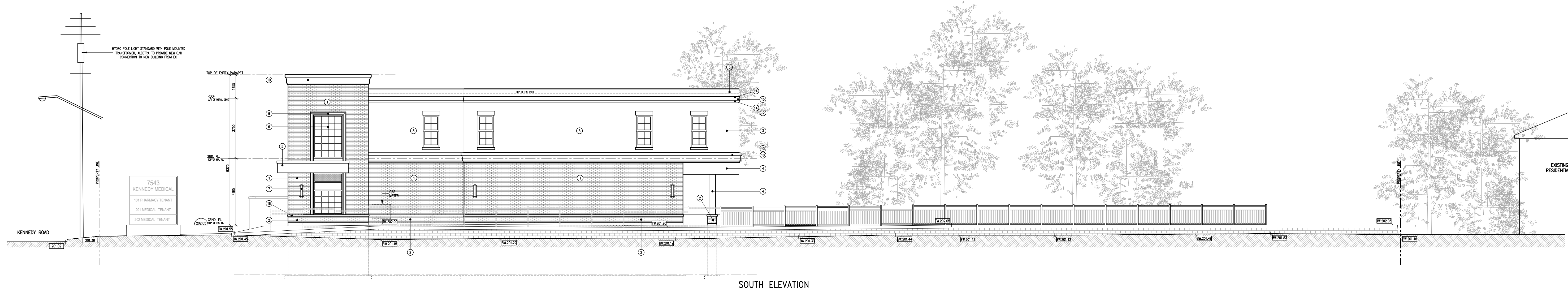
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NORTH ELEVATION



SOUTH ELEVATION

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landscape: cosburn nauboris ltd.
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project:
 Kennedy Medical Building
 7543 Kennedy Road
 markham, ontario

site elevations
 north & south

aug. 25, 2020 date:
 1:125 scale:
 14-75 D project:
 m.dg drawn by:



drawing number:
A403

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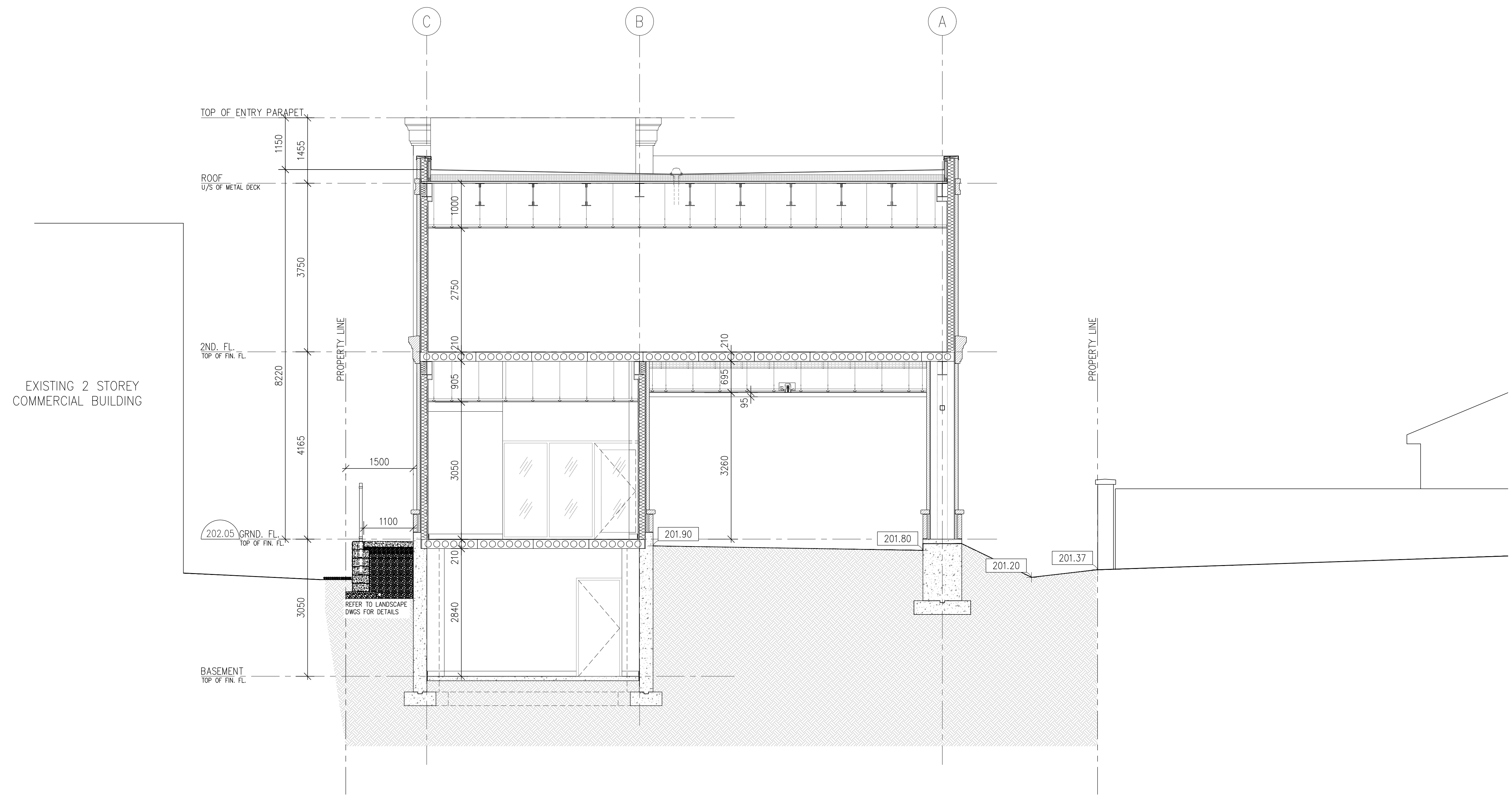
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 7543 Kennedy Road
 markham, ontario

building section
 north/south

aug. 25, 2020 date:
 1:50 scale:
 14-75 D project:
 m.dg drawn by:



drawing number:
A501

APPENDIX "C"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/84/16

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply on to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report; or further revised by any site plan 'endorsed' or 'approved' drawings under File SC 05 021528.

Conditions Prepared By:



Melissa Leung, Planner, Central District