

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-11-04
2.		
3.		
4.		
5.		



RTA
ARCHITECTS



ONTARIO ASSOCIATION
OF
ARCHITECTS
RASH TASHDIJAN
LICENCE
9666

PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raff@rtarchitects.ca
w: www.rtarchitects.ca

Project:
EXTENSION & INTERIOR ALTERATION DESIGN
45 THORNY BRAE DR., MARKHAM, ON

Drawing Name:
SITE PLAN

THORNY BRAE RESIDENCE	
Project no.:	2240149 Date: JUNE 2024
Drawn by:	PF Scale: AS NOTED
Checked by:	RT
North Arrow:	Drawing No.:

1
G1.0
SITE PLAN
SCALE: 1:200

G1.0

SITE STATISTICS:		MARKHAM ZONING	
ZONING:	ZONING BY LAW (2024-19) & ZONE (RES-ENLR) (including the specific by-law development standards within section 6.3.2)	LOT NUMBER:	60
BUILDING STRUCTURE:	DETACHED	REGISTERED PLAN:	7695
	EXISTING	BY LAW	PROPOSED
LOT AREA:	825.87 SM [8,889.6 SF]		
GROUND FLOOR AREA:	197.11 SM [2,121.7 SF]	30% OF LOT AREA 247.76 SM [2,666.9 SF]	25.9% OF LOT AREA 214.4 SM [2,308.3 SF]
SECOND FLOOR AREA:	67.86 SM [730.5 SF]	20% OF LOT AREA 165.17 SM [1,778.0 SF]	21% OF LOT AREA 173.5 SM [1,867.0 SF]
(OPEN TO BELOW & STAIRS AREAS)			8.94 SM [96.5 SF]
GROSS FLOOR AREA: (INCLUDING GARAGE INTERIOR AREA 352.5 SF)	264.97 SM [2,852.2 SF]		370.63 SM [3,989.8 SF]
LOT COVERAGE:	23.8% (2,115.3 SF)	35.0% (3,111.4 SF)	(INCLUDING CANOPY) 29.8% (2,651.0 SF)
BUILDING HEIGHT: (FROM ESTABLISHED GRADE)	10.0 M		7.46 M [24'-6"]
MAX DISTANCE OF THE MAIN BUILDING FROM ESTABLISHED BUILDING LINE			
(FIRST STOREY)		19.50 M [63'-11 $\frac{3}{4}$ "	17.23 M [56'-6 $\frac{1}{2}$ "
(SECOND STOREY)		14.50 M [47'-7"	17.23 M [56'-6 $\frac{1}{2}$ "
BUILDING SETBACK:			
FRONT: (EAST) (AVERAGE FRONT YARD SETBACK OF NEIGHBOR. LOTS)		8.36 M [27'-5"	EXISTING 8.68 M [28'-6"
REAR: (WEST)		7.50 M [24'-7 $\frac{1}{4}$ "	EXISTING 12.58 M [41'-3 $\frac{1}{2}$ "
SIDE: (NORTH) (GROUND FLOOR)			EXISTING 1.45 M [4'-9"
(SECOND FLOOR)			3.58 M [11'-9"
SIDE: (SOUTH)		1.22 M [4'-0"	EXISTING 1.47 M [4'-10"

- By-law 2024-19; Section 6.3.2.2 c) - Maximum Main Building Coverage: to permit a main building coverage of 21% (1,867 sq.ft) for the 2nd storey; whereas, the By-law permits a a max main building coverage of 20% (1,778 sqft) of the lot area for any storey above the first.
- By-law 2024-19; Section 6.3.2.2 E) - Maximum Distance of Main Building from the Established Building Line: to permit a main building distance of 17.1m ± for the 2nd storey; whereas, the By-law permits a maximum distance of 14.5m for any storey above the first from the established building line. "Established Building Line" means a line that is the average distance between the front lot line and the nearest wall (including the private garage) of the main building facing the front lot line on the two neighbouring lots fronting the same street.

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-11-04
2.		
3.		
4.		
5.		



PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca



ONTARIO ASSOCIATION
OF
ARCHITECTS
RASHI TASHDJIAN
LICENCE
9666

Project :
EXTENSION & INTERIOR ALTERATION DESIGN
45 THORNY BRAE DR, MARKHAM, ON

Drawing Name :
ZONING STATISTICS

Project no. : 2240149 Date : JUNE 2024
Drawn by : PF Scale : AS NOTED
Checked by : RT

North Arrow: Drawing No :
G1.1

184.03
ROOF PARAPET HIGH (FRONT)(N)
183.32
SEC FL CEIL (FRONT)(N)

180.98
ROOF PARAPET LOW (FRONT)(N)
180.57
SEC FL FIN (FRONT)(N)
180.21
GR FL CEIL (FRONT)(N)

177.16
GR FL FIN (FRONT)(E)
ESTABLISHED GRADE
176.56



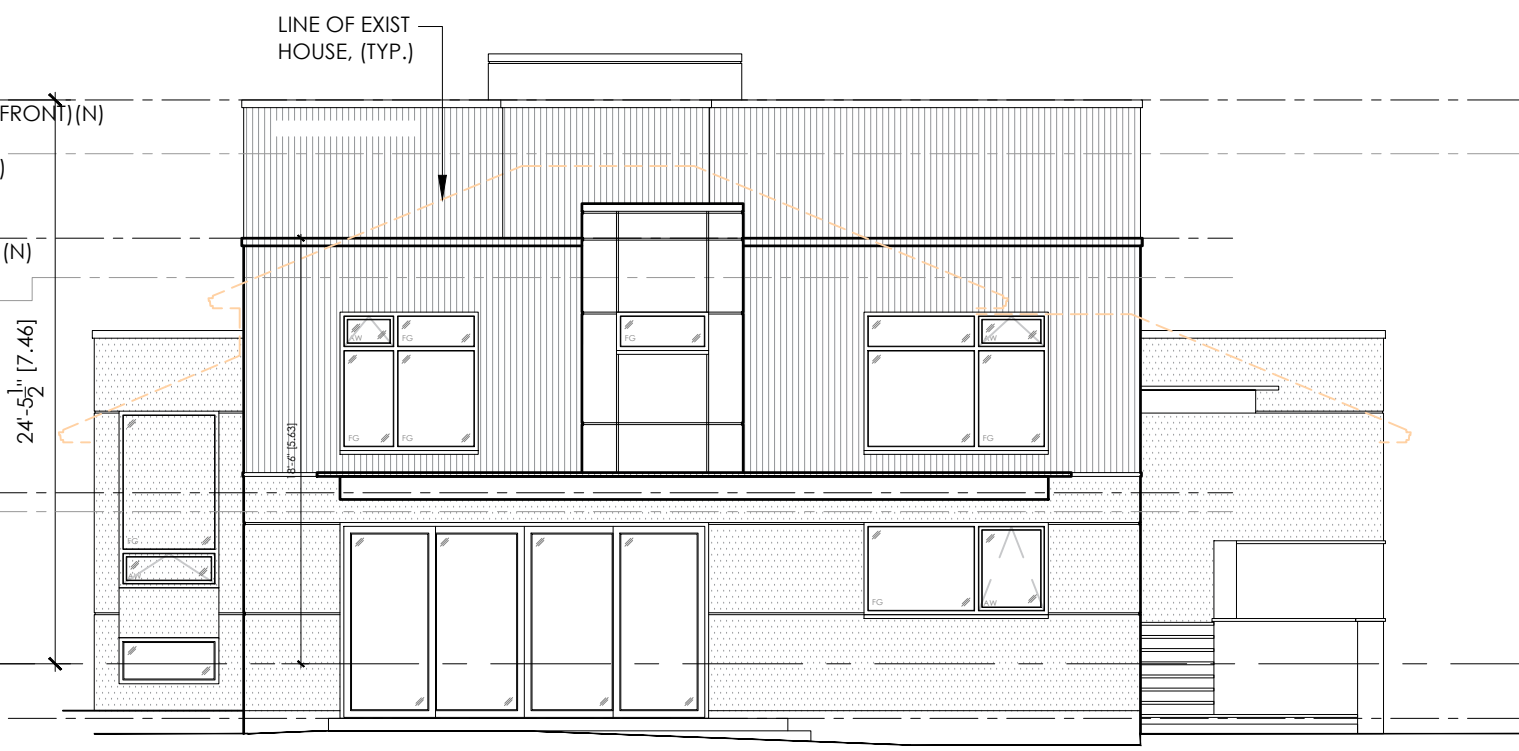
1 FRONT ELEVATION
A1.4 SCALE: 1:100

184.03
ROOF PARAPET HIGH (FRONT)(N)
183.32
SEC FL CEIL (FRONT)(N)

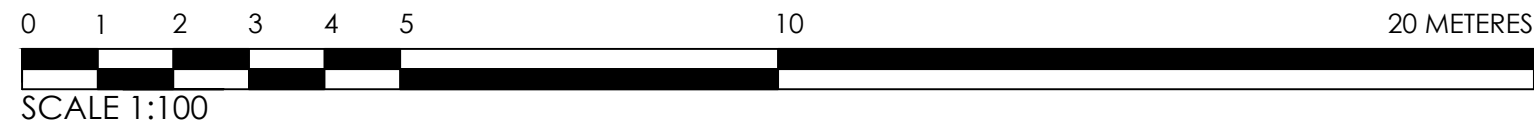
182.18
ROOF PARAPET (REAR)(N)
181.56
SEC FL CEIL (REAR)(N)

178.82
SEC FL FIN (REAR)(E)

ESTABLISHED GRADE
176.56
175.84
GR FL FIN (REAR)(N)



2 REAR ELEVATION
A1.4 SCALE: 1:100



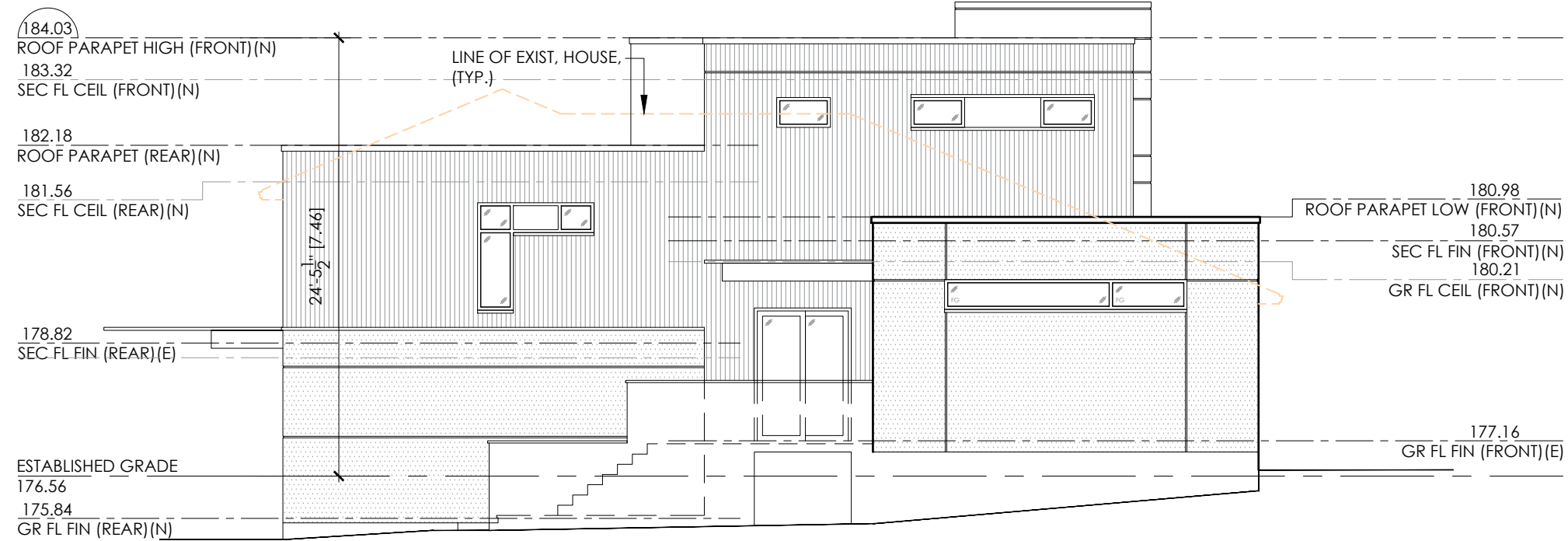
REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-11-04
2.		
3.		
4.		
5.		

Project:
EXTENSION & INTERIOR ALTERATION DESIGN
45 THORNY BRAE DR, MARKHAM, ON

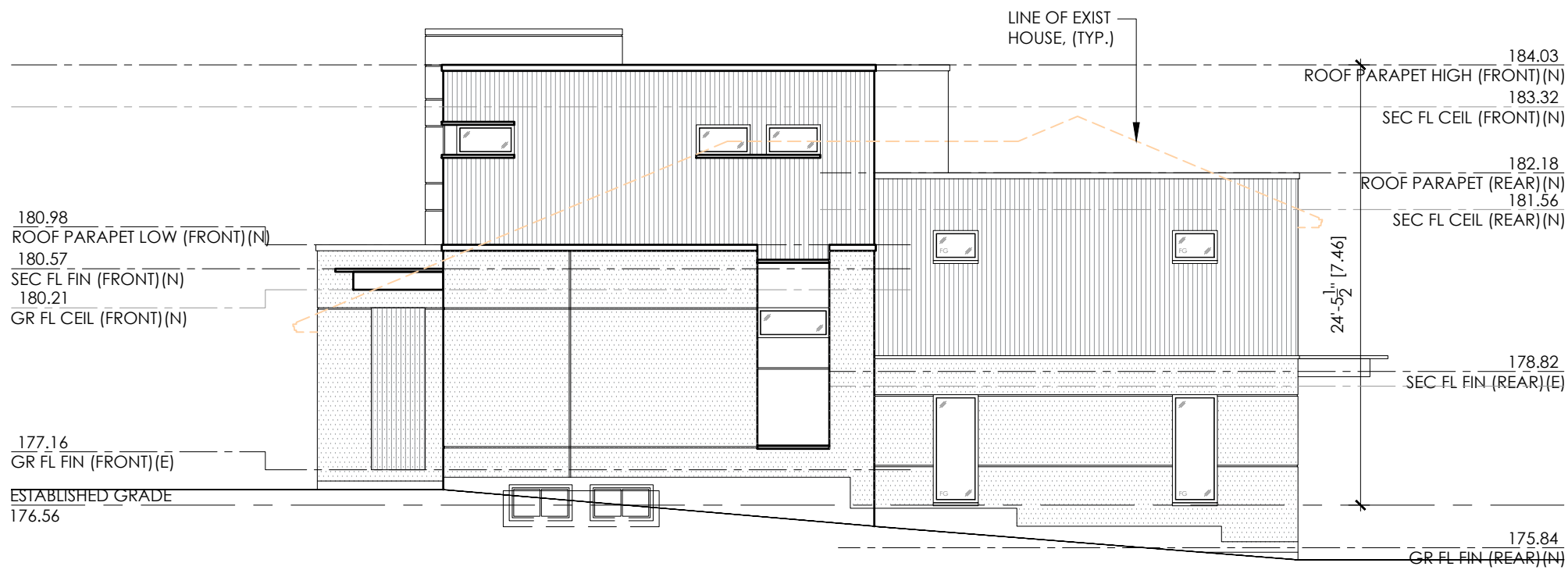
Drawing Name:
FRONT & REAR ELEVATIONS
THORNY BRAE RESIDENCE

Project no.:	2240149	Date:	JUNE 2024
Drawn by:	PF	Scale:	AS NOTED
Checked by:	RT		
North Arrow:		Drawing No.:	

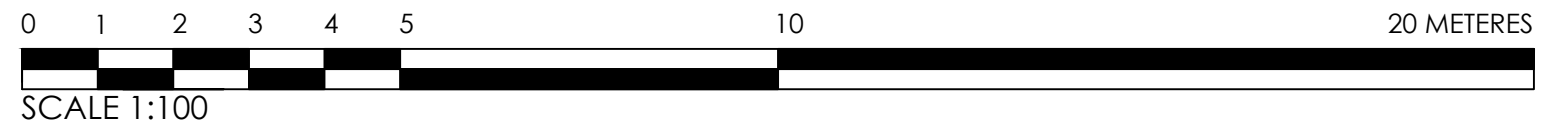
A1.4



1 SIDE ELEVATION
A1.5 SCALE: 1:100



2 SIDE ELEVATION
A1.5 SCALE: 1:100



REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR COMMITTEE OF ADJUSTMENT	2024-11-04
2.		
3.		
4.		
5.		

ONTARIO ASSOCIATION
OF
ARCHITECTS
RASH TASHDJIAN
LICENCE
9666

PO Box 31031 Drive-Thru Parcel Centre,
Richmond Hill, ON L4C 0V3
c: 416.270.2129; e: raffi@rtarchitects.ca
w: www.rtarchitects.ca

Project:
**EXTENSION & INTERIOR ALTERATION
DESIGN**
45 THORNY BRAE DR, MARKHAM, ON

Drawing Name:
SIDE ELEVATIONS

THORNY BRAE RESIDENCE	
Project no.:	2240149
Date:	JUNE 2024
Drawn by:	PF
Scale:	AS NOTED
Checked by:	RT
North Arrow:	
Drawing No.:	

A1.5