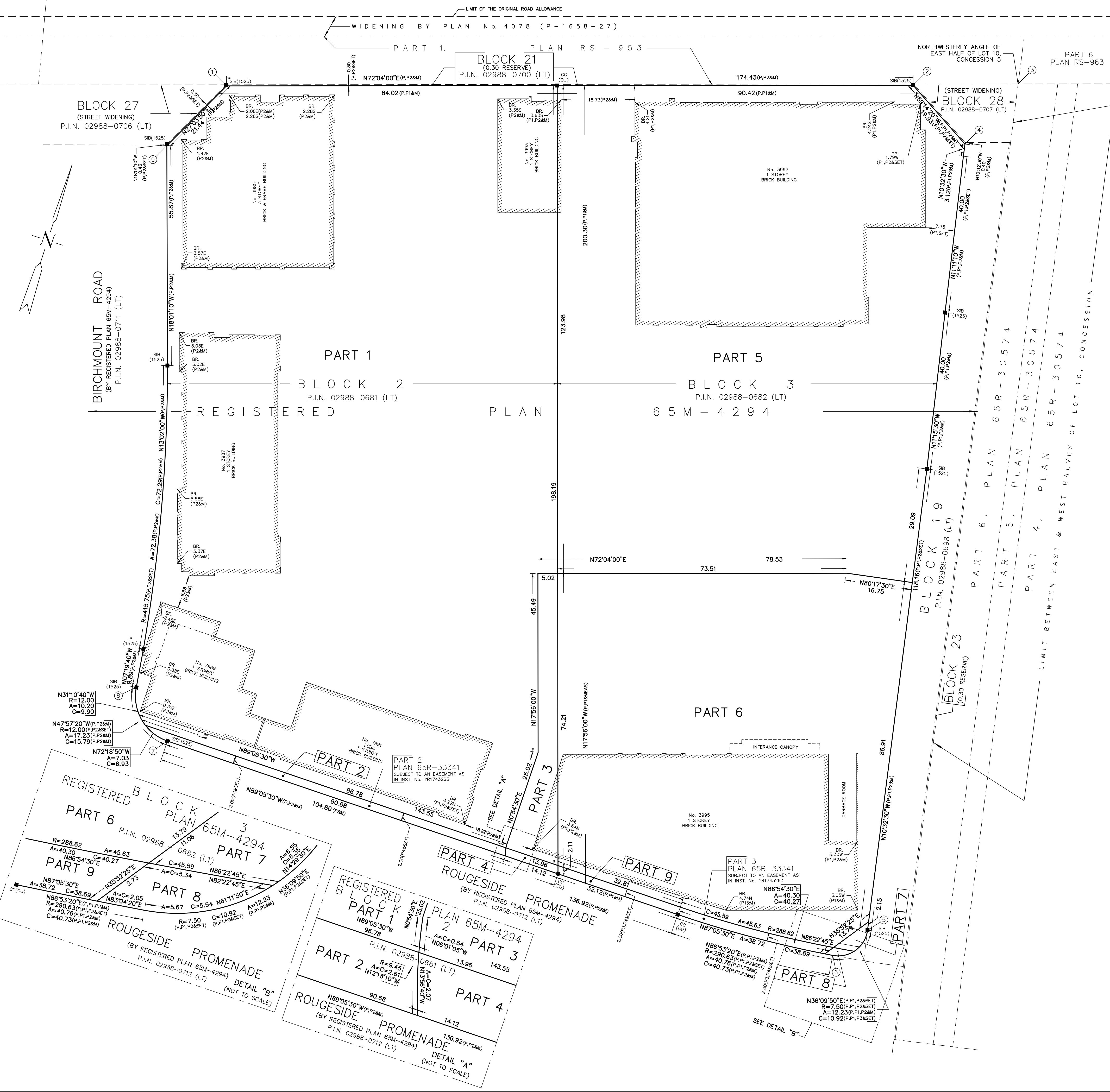


THE KING'S HIGHWAY No. 7

(ROAD ALLOWANCE BETWEEN LOTS 10 AND 11, CONCESSION 5)

P.I.N. 02985-0493 (LT)



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE \_\_\_\_\_

PIRATHEEPAN RAMACHANDRAN  
ONTARIO LAND SURVEYOR

PLAN 65R-  
RECEIVED AND DEPOSITED

DATE \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION (No. 65)

SCHEDULE

PART	BLOCK	REGISTERED PLAN	P.I.N.	AREA (sq. m.)
1				17664.6
2	PART OF BLOCK 2		PART OF 02988-0681 (LT)	189.8
3				479.6
4				28.1
5		65M-4294		12053.8
6	PART OF BLOCK 3		PART OF 02988-0682 (LT)	2297.7
7				27.4
8				9.4
9				144.2

PARTS 1, 2, 3 AND 4: ALL OF P.I.N. 02988-0681 (LT)  
 PARTS 5, 6, 7, 8 AND 9: ALL OF P.I.N. 02988-0682 (LT)  
 PARTS 2 & 4: SUBJECT TO AN EASEMENT AS IN INST. No. YR1743263  
 PARTS 8 & 9: SUBJECT TO AN EASEMENT AS IN INST. No. YR1743263

PLAN OF SURVEY OF  
**BLOCKS 2 AND 3**  
**REGISTERED PLAN 65M-4294**  
 CITY OF MARKHAM  
 REGIONAL MUNICIPALITY OF YORK  
 SCALE 1 : 500

R. AVIS SURVEYING INC.  
 METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES AND LEGEND

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM MARKHAM HORIZONTAL CONTROL MONUMENTS No. 092063056 AND No. 09206357, ZONE 10, CENTRAL MERIDIAN 79° 30' WEST LONGITUDE.  
 (3° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS-1997))

HCM No. 092063056      HCM No. 092063057  
 N 4857428.951      N 4857633.527  
 E 318428.531      E 318429.206

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.9999305.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CC DENOTES CUT CROSS
- WT DENOTES WITNESS
- MEAS DENOTES MEASURED
- N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
- P DENOTES PLAN 65M-4294
- P1 DENOTES PLAN OF SURVEY BY R. AVIS SURVEYING INC., DATED OCTOBER 20, 2021.
- P2 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY R. AVIS SURVEYING INC., DATED AUGUST 28, 2012.
- P3 DENOTES PLAN 65R-33341
- (1525) DENOTES R.AVIS SURVEYING INC.

3° MTM ZONE 10 COORDINATES  
 NAD83(CSRS-2010) (CENTRAL MERIDIAN 79°30' WEST LONGITUDE)  
 DERIVED FROM MONUMENTS No. 092063056 AND No. 092063057

	NORTHING	EASTING
1	4857553.26	318940.25
2	4857606.97	319106.21
3	4857615.47	319131.50
4	4857596.78	319123.33
5	4857399.07	319161.09
6	4857390.26	319154.65
7	4857390.22	318977.08
8	4857400.79	318965.36
9	4857534.17	318930.50

(1) THE MTM COORDINATES LISTED ABOVE ARE TO AN URBAN ACCURACY, PER SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT

(2) THE MTM COORDINATES LISTED ABOVE ARE TO BE USED FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY AND CANNOT BE USED TO RE-ESTABLISH THE PROPERTY CORNERS OR BOUNDARIES SHOWN HEREON

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 23<sup>rd</sup> DAY OF JULY, 2024.

AUGUST 21, 2024  
 DATE \_\_\_\_\_

PIRATHEEPAN RAMACHANDRAN  
 Ontario Land Surveyor

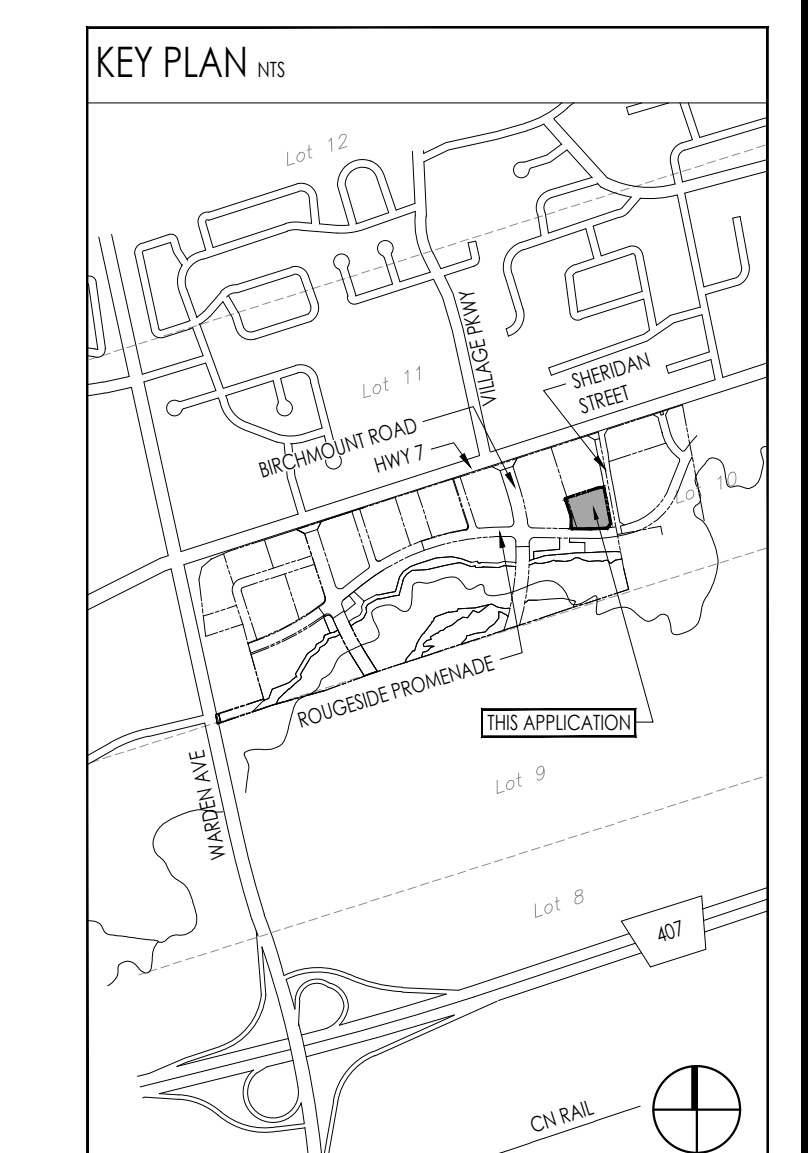
R. AVIS SURVEYING INC.

SUITE 203  
 235 YORKLAND BOULEVARD  
 TORONTO, ONTARIO  
 M2J 4Y8

TEL.: (416) 490-8352      www.ravisurveying.com      FAX: (416) 491-6206

CHECKED BY : P.R., O.L.S.  
 CALCULATED BY : H.T./F.M.  
 DRAWN BY : H.T./F.M.

PROJECT No. : 2566-85  
 DRAWING No. : 2566-85R.DWG



### SURVEY INFORMATION

**PLAN OF SURVEY**  
BLOCKS 2 AND 3  
REGISTERED PLAN 654-424  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK

**NOTES**  
BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM MARKHAM HORIZONTAL CONTROL MONUMENTS NO. 0920356 AND NO. 0920357, ZONE 10, CENTRAL MERIDIAN 79° 32' WEST LONGITUDE.  
17 NAD83 TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS 1997)

**ADDITIONAL NOTES**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**SURVEY DATE**  
AUGUST 21, 2024

**SURVEYOR CONTACT INFORMATION**  
**R. AVIS SURVEYING INC.**  
235 YORKLAND BOULEVARD, SUITE 303  
TORONTO, ONTARIO, M2J 4Y6  
TEL: (416) 490-8202  
FAX: (416) 491-4206  
www.ravisurveying.com

### ZONING

RESIDENTIAL

### SITE PLAN LEGEND n15

- MAIN ENTRANCE
- SECONDARY ENTRANCE
- EXISTING GRADE DATUM
- FINISH FLOOR ELEVATION
- ESTABLISHED GRADE
- PROPOSED GRADE DATUM
- EXISTING TREE (REFER TO SURVEY) CANNOT NOT TO SCALE
- PROPOSED TREE (REFER TO LANDSCAPE DWG)
- EXISTING HYDRANT (REFER TO SURVEY)
- PROPOSED HYDRANT (REFER TO CIVIL DWG)
- SWANSE CONNECTION (REFER TO MECH/CIVIL DWG)
- SANITARY MANHOLE (REFER TO CIVIL DWG)
- STORM SEWER MANHOLE (REFER TO CIVIL DWG)
- CATCH-BASIN SEDIMENT TRAP (REFER TO CIVIL DWG)
- CATCH-BASIN (REFER TO CIVIL DWG)
- EXISTING STREET LIGHT (REFER TO SURVEY/ELEC)
- PROPOSED STREET LIGHT (REFER TO ELEC DWG)
- TRANSFORMER (REFER TO ELEC DWG)
- GAS METER (REFER TO MECH DWG)
- HYDRO METER (REFER TO ELEC DWG)
- RECEPTACLE (REFER TO ELEC DWG)
- AREA DRAIN
- HOSE BIB (REFER TO MECH/CIVIL DWG)
- POST-MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- WALL/COLUMN MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- BI = BARRIER FREE PARKING STOP = STOP SIGN
- LF = LOADING ZONE IM = TRUCK MANOEUVRING
- HP = NO PARKING CM = CONVEYER HOBOR
- NS = NO STOPPING FR = FIRE ROUTE
- BL = BOLLARD LIGHTING (REFER TO LANDSCAPE DWG)
- PL = POLE LIGHTING
- WALL/COLUMN/FENCE MOUNTED OR CEILING MOUNTED CONVEYER HOBOR SUBJECT TO ACTUAL CONDITION
- ELECTRIC VEHICLE CHARGER ROUGH-IN (SEE ELEC DWG)

### PARKING LEGEND n15

- PROPOSED PARKING SPACE (2600x5800) ENCLOSED/UG PARKING
- PROPOSED VISITOR PARKING SPACE (2600x5800) ENCLOSED/UG PARKING
- PROPOSED BARREER FREE PARKING SPACE (2600x5800) SURFACE PARKING WITH 1500 WIDE WALKWAY
- PROPOSED COMMERCIAL PARKING SPACE (2600x5800) SURFACE PARKING
- PROPOSED SHORT TERM PARKING SPACE (2700x5800) SURFACE PARKING
- COMPACT PARKING SPACE (2200x5800) NOT INCLUDED IN PARKING COUNT
- MOVING BAY (4000x8000)
- PROPOSED LOADING SPACE (1800X3000)
- PROPOSED HORIZONTAL BICYCLE PARKING (600X1800)

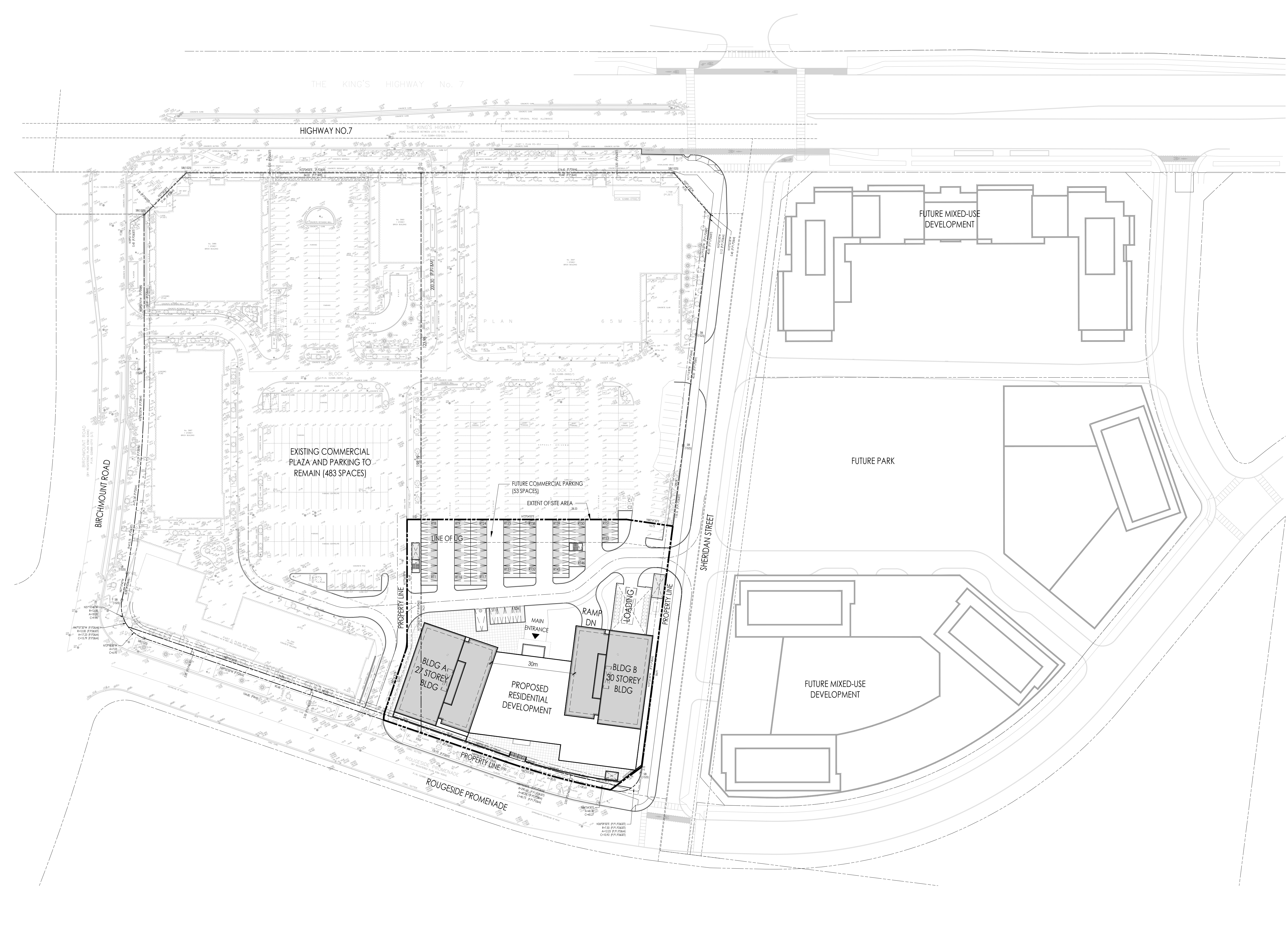
### 9. BUILDING HEIGHT

(OVERALL HEIGHT MEASURED FROM GROUND FLOOR)

	BUILDING A	BUILDING B
FOOTING	1 STOREY	1 STOREY
TOWER	26 STOREY	29 STOREY
TOTAL	27 STOREY (91.05 m)	30 STOREY (95.10 m)

### 10. LOADING AREA

	BUILDING A	BUILDING B
LOADING AREAS	SHARED WITH BLDG B	1



### 1. SITE AREA

	SQ. FEET (ft <sup>2</sup> )	SQ. METER (m <sup>2</sup> )	ACRES (ac)	HECTARES (ha)
TOTAL	85,548.78	7,949.40	1.96	0.79

### 2. GROSS FLOOR AREA (GFA)

Gross Floor Area means the aggregate of the area of each floor of a building or structure above or below grade, measured between the exterior walls of the building or structure, or where there are none, with between walls or building or structure, measured to the centerline of a common wall. The calculation of gross floor area excludes the area of fixed floor slabs, or designed or intended for the parking of motor vehicles, unless the proposed use of building or structure is for parking of motor vehicles.

	BUILDING A		BUILDING B		TOTAL		
	NO. FLS x (m <sup>2</sup> )	SQ. METER (m <sup>2</sup> )	NO. FLS x (m <sup>2</sup> )	SQ. METER (m <sup>2</sup> )	SQ. FEET (ft <sup>2</sup> )	SQ. METER (m <sup>2</sup> )	
P2/P4 UNDERGROUND	3 FLS x m <sup>2</sup>	2,157	23,218	P2/P4 UNDERGROUND	3 FLS x m <sup>2</sup>	2,157	23,218
P1 UNDERGROUND	742	7,987	1,484	P1 UNDERGROUND	742	7,987	1,484
GROUND				GROUND			
RESIDENTIAL	883	9,305	RESIDENTIAL	964	10,375	1,647	19,881
AMENITY	533	5,912	AMENITY	601	6,449	1,154	12,421
SUBTOTAL	1,416	15,437	SUBTOTAL	1,565	16,844	3,021	32,322
2ND FLOOR			2ND FLOOR				
RESIDENTIAL	694	7,470	RESIDENTIAL	694	7,470	1,388	14,940
AMENITY	49	527	AMENITY	49	527	98	1,055
SUBTOTAL	743	7,998	SUBTOTAL	743	7,998	1,486	15,995
3RD-21ST FLOOR	19 FLS x 743 m <sup>2</sup>	14,117	151,954	3RD-21ST FLOOR	19 FLS x 743 m <sup>2</sup>	14,117	151,954
22ND-27TH FLOOR	6 FLS x 743 m <sup>2</sup>	4,458	47,985	22ND-27TH FLOOR	8 FLS x 743 m <sup>2</sup>	5,944	63,981
	0	0	30TH FLOOR	1 FLS x 743 m <sup>2</sup>	743	7,987	743
	0	0		0	0	0	0
MECHANICAL PENITHOUSE	399	4,295	MECHANICAL PENITHOUSE	399	4,295	798	8,592
TOTAL - BUILDING A	24,052	258,893	TOTAL - BUILDING B	26,410	284,275	50,462	543,168

\*OF WHICH 1,154 ARE BARRIER FREE (5% REQUIRED)  
\*\*OF WHICH 4 SPACES ARE BARRIER FREE (5% REQUIRED)  
\*\*\* SHORT TERM SPACES NOT INCLUDED IN TOTAL

### 3. DENSITY (F.S./I)

GROSS FLOOR AREA (GFA) / LOT AREA	SQ. METERS (m <sup>2</sup> )	/	SQ. METERS (m <sup>2</sup> )	6.33
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### 4. COVERAGE

MAXIMUM BUILDING COVERAGE:

	SQ. METERS (m <sup>2</sup> )	%
BUILDING PROPOSED	3,197	40
LANDSCAPED AREAS	2,292	28
PAVED AREAS (DRIVE AISLES & PARKING AREAS)	2,301	31
TOTAL	7,790	100

### 5. UNIT MIX

	BUILDING A				BUILDING B				TOTAL UNITS	
	18/18+D	28/28+D	38/38+D	TOTAL	18/18+D	28/28+D	38/38+D	TOTAL	TOTAL	TOTAL
GROUND FLOOR	5	3	1	9	0	0	0	0	0	0
2ND FLOOR	24	12	4	40	0	0	0	0	0	18
3RD-4TH FLOOR (RFL)	6	1	1	8	2	2	10	14	0	80
7TH FLOOR	1	1	2	4	1	1	2	4	0	20
8TH FLOOR	1	1	2	4	1	1	2	4	0	20
9TH FLOOR	1	1	2	4	1	1	2	4	0	20
10TH-21ST FLOOR (12R)	1	1	2	4	1	1	2	4	12	240
22ND-27TH FLOOR (8R)	6	42	18	66	6	42	18	66	8	154
30TH FLOOR	0	0	0	0	1	7	3	11	11	11
TOTAL - BUILDING A	36	16	8	60	6	125	62	125	265	563
TOTAL - BUILDING B	0	0	0	0	9	146	71	126	298	563

### 6. LOCKER STORAGE

	BUILDING A	BUILDING B	TOTAL
GROUND	0	0	0
P1 UNDERGROUND	110	89	199
P2 UNDERGROUND	110	72	182
P4 UNDERGROUND	110	72	182
TOTAL PROVIDED	225	233	563

### 7. BICYCLE PARKING

	SHORT-TERM - RESIDENTIAL		LONG-TERM		TOTAL
	BUILDING A (27 REQ)	BUILDING B (133 REQ)	BUILDING A (147 REQ)	BUILDING B (147 REQ)	
SURFACE					
GROUND	48	13	14	42	117
P1 UNDERGROUND			40	45	85
P2 UNDERGROUND			21	23	44
P3 UNDERGROUND			33	37	70
P4 UNDERGROUND			33	37	70
SUBTOTAL PROVIDED	0	0	48	133	141
TOTAL PROVIDED			61	283	344

### 8. PARKING

	SHORT-TERM		VISITOR		RESIDENTIAL		TOTAL
	BUILDING A (27 REQ)	BUILDING B (133 REQ)	BUILDING A (33 REQ)	BUILDING B (36 REQ)	BUILDING A (285 REQ)	BUILDING B (323 REQ)	
SURFACE	2	2					4
P1 UNDERGROUND			32	36	47	52	167
P2 UNDERGROUND					79	90	169
P3 UNDERGROUND					79	90	169
P4 UNDERGROUND					80	91	171
SUBTOTAL PROVIDED	2	2	32	36	285	323	676
TOTAL PROVIDED	4	4	64	72	686	788	1474

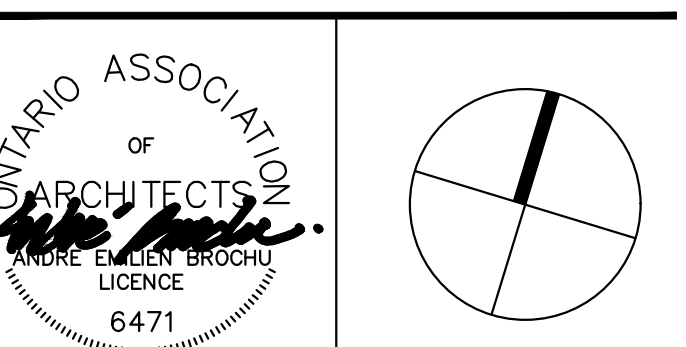
\*OF WHICH 1 SPACES ARE BARRIER FREE (5% REQUIRED)  
\*\*OF WHICH 4 SPACES ARE BARRIER FREE (5% REQUIRED)  
\*\*\* SHORT TERM SPACES NOT INCLUDED IN TOTAL

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ICE BROCHU ARCHITECTS INC.  
DPL, ARCH, DIA, MVAR, DAB

1 SEPT. 19, 2024 ISSUED FOR CONSENT APPLICATION AS

NO. DATE ISSUE BY

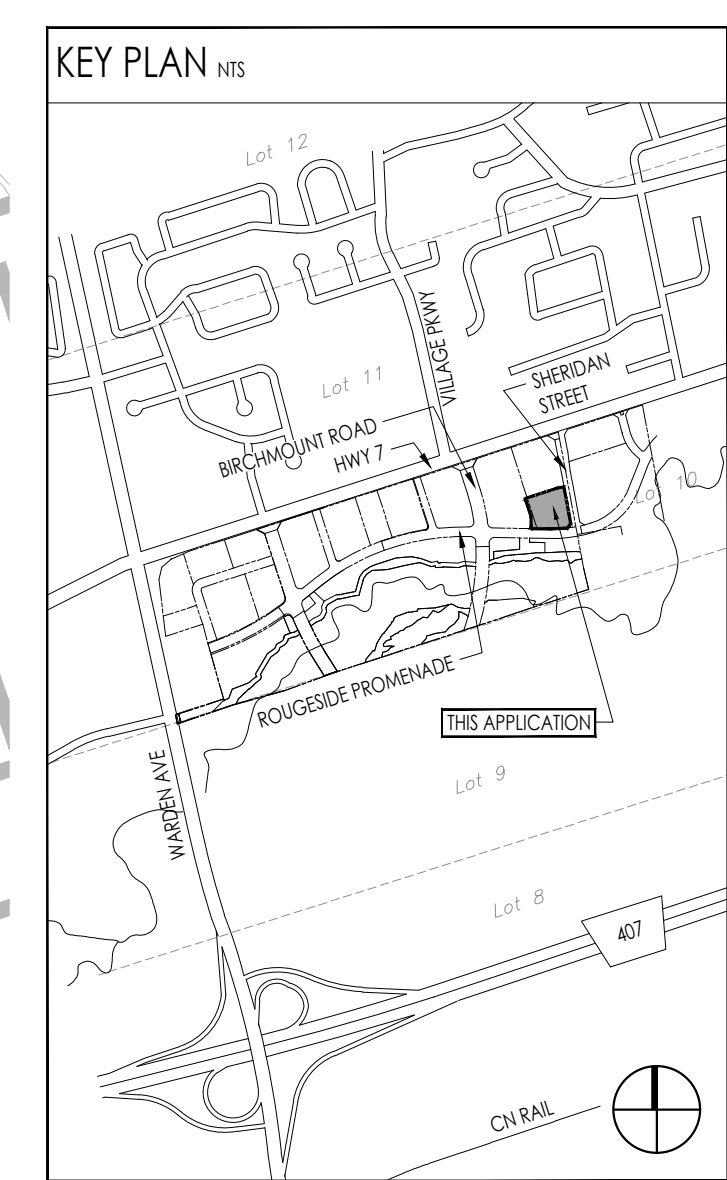


## TIMES MARKHAM CENTRE BED BATH BEYOND

HIGHWAY 7 & BIRCHMOUNT ROAD MARKHAM, ONTARIO

### Drawing Title CONTEXT PLAN

Date: NOV. 2021 Drawn by: KK/PL/SG/YL  
Scale: 1:600 Reviewed by: AB  
Project No.: 19.05 Drawing No.: A101  
Plot Date: October 22, 2024



**SURVEY INFORMATION**

PLAN OF SURVEY: BLOCKS 2 AND 3 REGISTERED PLAN 65M-4294 CITY OF MARKHAM REGIONAL MUNICIPALITY OF YORK

NOTES: BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM MARKHAM HORIZONTAL CONTROL MONUMENT NO. 0920056 AND NO. 0920057, ZONE 10, CENTRAL MERIDIAN 79° 32' WEST LONGITUDE. 17 MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS 1997)

ADDITIONAL NOTES: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEY PLOT DATE: AUGUST 21, 2024

SURVEYOR CONTACT INFORMATION: R. AVIS SURVEYING INC. 235 WYLAND BOULEVARD, SUITE 303 TORONTO, ONTARIO, M2J 4T8 TEL: (416) 490-8522 FAX: (416) 491-4006 www.ravisurveying.com

**ZONING**

**SITE PLAN LEGEND n15**

- MAIN ENTRANCE
- SECONDARY ENTRANCE
- EXISTING GRADE DATUM
- FINISH FLOOR ELEVATION
- ESTABLISHED GRADE
- PROPOSED GRADE DATUM
- EXISTING TREE (REFER TO SURVEY) CANOPY NOT TO SCALE
- PROPOSED TREE (REFER TO LANDSCAPE DWG)
- EXISTING HYDRANT (REFER TO SURVEY)
- PROPOSED HYDRANT (REFER TO CIVIL DWG)
- SHAMSE CONNECTION (REFER TO MECH/CIVIL DWGS)
- SANITARY MANHOLE (REFER TO CIVIL DWG)
- STORM SEWER MANHOLE (REFER TO CIVIL DWG)
- CATCH-BASIN/SEDIMENT TRAP (REFER TO CIVIL DWG)
- CATCH-BASIN (REFER TO CIVIL DWG)
- EXISTING STREET LIGHT (REFER TO SURVEY/ELEC)
- PROPOSED STREET LIGHT (REFER TO ELEC DWG)
- TRANSFORMER (REFER TO ELEC DWG)
- GAS METER (REFER TO MECH DWG)
- HYDRO METER (REFER TO ELEC DWG)
- RECEPTACLE (REFER TO ELEC DWG)
- AREA DRAIN
- HOSE BIB (REFER TO MECH/CIVIL DWG)
- POST-MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- WALL/COLUMN MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- BF = BARRIER FREE PARKING STOP = STOP SIGN
- LD = LOADING ZONE TM = TRUCK MANOEUVRING
- NP = NO PARKING CM = CONVEYER HOBOR
- NS = NO STOPPING FR = FIRE ROUTE
- BL = BOLLARD LIGHTING (REFER TO LANDSCAPE DWG)
- PL = POLE LIGHTING
- WALL/COLUMN/FENCE MOUNTED OR CEILING MOUNTED CONVEYER HOBOR SUBJECT TO ACTUAL CONDITION
- ELECTRIC VEHICLE CHARGER ROUGH-IN (SEE ELEC DWG)

**1. SITE AREA**

	SQ. FEET (ft <sup>2</sup> )	SQ. METER (m <sup>2</sup> )	ACRES (ac)	HECTARES (ha)
TOTAL	85,548.78	7,949.40	1.96	0.79

**2. GROSS FLOOR AREA (GFA)**

BUILDING A	NO. FLS x (HxI)		SQ. METER (m <sup>2</sup> )		SQ. FEET (ft <sup>2</sup> )		BUILDING B	NO. FLS x (HxI)		SQ. METER (m <sup>2</sup> )		SQ. FEET (ft <sup>2</sup> )		TOTAL
	P2/P4 UNDERGROUND	P1 UNDERGROUND	P2/P4 UNDERGROUND	P1 UNDERGROUND	P2/P4 UNDERGROUND	P1 UNDERGROUND		P2/P4 UNDERGROUND	P1 UNDERGROUND	P2/P4 UNDERGROUND	P1 UNDERGROUND	P2/P4 UNDERGROUND	P1 UNDERGROUND	
	3 FLS x m <sup>2</sup>	2.157	23,218	2.157	23,218	4,314	3 FLS x m <sup>2</sup>	2.157	23,218	2.157	23,218	4,314	46,435	
	742	7,987	1,484	15,974	742	7,987	742	7,987	1,484	15,974	742	7,987	15,974	
GROUND		880	9,305		964	10,375		964	10,375		1,647	17,681	19,881	
RESIDENTIAL		883	9,312		967	10,382		967	10,382		1,654	17,748	19,948	
AMENITY		0	0		0	0		0	0		0	0	0	
SUBTOTAL		1,436	15,437		1,565	16,846		1,565	16,846		3,001	32,302	35,302	
2ND FLOOR														
RESIDENTIAL		694	7,470		694	7,470		694	7,470		1,388	14,940	16,410	
AMENITY		49	527		49	527		49	527		98	1,055	1,154	
SUBTOTAL		743	7,998		743	7,998		743	7,998		1,486	15,995	17,544	
3RD-21ST FLOOR		19 FLS x 743 m <sup>2</sup>	14,117	151,954		14,117	151,954		14,117	151,954		151,954	167,154	
22ND-27TH FLOOR		8 FLS x 743 m <sup>2</sup>	4,458	47,985		4,458	47,985		4,458	47,985		47,985	52,443	
MECHANICAL PENITHOUSE		0	0		0	0		0	0		0	0	0	
TOTAL - BUILDING A		24,052	258,893		24,052	258,893		24,052	258,893		258,893	284,143	313,540	

**3. DENSITY (F.S./I)**

GROSS FLOOR AREA (GFA) / LOT AREA: 30,462 m<sup>2</sup> / 7,949.40 m<sup>2</sup> = 3.83

**4. COVERAGE**

MAXIMUM BUILDING COVERAGE: 3,197 m<sup>2</sup> 40 %

LANDSCAPED AREAS (DRIVE AISLES & PARKING AREAS): 2,292 m<sup>2</sup> 28 %

PAVED AREAS (DRIVE AISLES & PARKING AREAS): 3,197 m<sup>2</sup> 38 %

TOTAL: 7,900 m<sup>2</sup> 100 %

**5. UNIT MIX**

BUILDING A	AFFORDABLE RENTAL			MARKET RENTAL			TOTAL	TOTAL UNITS
	18/18'D	28/28'D	38/38'D	18/18'D	28/28'D	38/38'D		
GROUND FLOOR	0	0	0	0	0	0	0	0
2ND FLOOR	5	3	1	9	0	0	9	9
3RD-4TH FLOOR (4FL)	24	12	4	40	0	0	40	40
7TH FLOOR	6	1	1	8	0	2	10	10
8TH FLOOR	1	1	2	4	0	3	7	7
9TH FLOOR	0	0	0	0	4	3	7	7
10TH-21ST FLOOR (12FL)	1	0	0	1	72	36	109	110
22ND-27TH FLOOR (6FL)	6	42	18	66	46	24	136	142
30TH FLOOR	0	0	0	0	0	0	0	0
TOTAL - BUILDING A	38	16	8	62	125	62	255	265

**6. LOCKER STORAGE**

	BUILDING A	BUILDING B	TOTAL
GROUND	0	0	0
P1 UNDERGROUND	0	0	0
P2 UNDERGROUND	110	89	199
P3 UNDERGROUND	110	72	182
P4 UNDERGROUND	110	72	182
TOTAL PROVIDED	225	233	458

**7. BICYCLE PARKING**

MIN. PARKING REQUIRED	0.10 UNIT SHORT TERM				0.5 UNIT LONG TERM				TOTAL
	BUILDING A (1-REQ)	BUILDING B (1-REQ)	BUILDING A (27 REQ)	BUILDING B (133 REQ)	BUILDING A (147 REQ)	BUILDING B (147 REQ)	BUILDING A (147 REQ)	BUILDING B (147 REQ)	
SURFACE									
GROUND			48		14				62
P1 UNDERGROUND					40		45		85
P2 UNDERGROUND					21		23		44
P3 UNDERGROUND					33		37		70
P4 UNDERGROUND					33		37		70
SUBTOTAL PROVIDED	0	0	48	13	141	142	142		344
TOTAL PROVIDED	0	0	61	13	285	283	283		344

**PARKING LEGEND n15**

- PROPOSED PARKING SPACE (2600x5800) ENCLOSED/VEG PARKING
- PROPOSED VISOR PARKING SPACE (2600x5800) ENCLOSED/VEG PARKING
- PROPOSED BARRIER FREE PARKING SPACE (2600x5800) SURFACE PARKING
- PROPOSED COMMERCIAL PARKING SPACE (2600x5800) SURFACE PARKING
- PROPOSED SHORT TERM PARKING SPACE (2700x5800) SURFACE PARKING
- COMPACT PARKING SPACE (2500x2800) NOT INCLUDED IN PARKING COUNT
- MOVING BAY (4000x8000)
- PROPOSED LOADING SPACE (1800X3000)
- PROPOSED HORIZONTAL BICYCLE PARKING (600X1800)

**8. PARKING**

MIN. PARKING REQUIRED	0.10 UNIT VISOR				MIN. 0.80 - MAX. 1.00 UNIT RESIDENTIAL				TOTAL
	BUILDING A (32 REQ)	BUILDING B (36 REQ)	BUILDING A (32 REQ)	BUILDING B (36 REQ)	BUILDING A (285 REQ)	BUILDING B (283 REQ)	BUILDING A (285 REQ)	BUILDING B (283 REQ)	
SURFACE									
P1 UNDERGROUND	2	2							4
P2 UNDERGROUND			32	36	47	52	167	167	167
P3 UNDERGROUND					79	90	169	169	169
P4 UNDERGROUND					79	90	169	169	169
SUBTOTAL PROVIDED	2	2	32	36	265	283	333	333	333
TOTAL PROVIDED	2	2	32	36	265	283	333	333	333

**9. BUILDING HEIGHT** (OVERALL HEIGHT MEASURED FROM GROUND FLOOR)

	BUILDING A	BUILDING B
FOOTING	1 STOREY	1 STOREY
TOWER	26 STOREY	29 STOREY
TOTAL	27 STOREY (91.05 m)	30 STOREY (95.10 m)

\*CF WHICH 1.15m<sup>2</sup> (2.05m<sup>2</sup>/UNIT) IS INDOOR AMENITY

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DATE: 19.05

**ICKE BROCHU**  
 ARCHITECTS  
 517 Wellington St W., Suite 201, Toronto, Ontario, M5V 1G1  
 T: 416-298-1800 | info@ickebrochu.com

**ASSOCIATION OF ARCHITECTS OF ONTARIO**  
 6471

**TIMES MARKHAM CENTRE**  
 BED BATH BEYOND

DATE: NOV. 2021 | DRAWN BY: KK/PL/SG/YL  
 SCALE: 1:250 | REVIEWED BY: AB  
 PROJECT NO.: 19.05 | DRAWING NO.: A102  
 DATE: October 22, 2024