

Memorandum to the City of Markham Committee of Adjustment

April 6, 2022

File: A/011/22
Address: 23 Appleview Rd, Markham
Applicant: design and building permit services (Muhammad Afzal)
Agent: design and building permit services (Muhammad Afzal)
Hearing Date: Wednesday April 06, 2022

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of the “Residential Two Special Provision 133 R2*133” zone under By-law 177-96, as amended, as it relates to a proposed secondary suite (basement apartment):

a) Zoning By-law 177-96, Section 6.5:

an accessory basement dwelling unit, whereas the By-law permits no more than one single detached dwelling/dwelling unit on a lot, unless otherwise specified.

BACKGROUND

Property Description

The 400 m² (4,305.56 ft²) subject property is located on the east side of Appleview Road, south of Castlemore Avenue and north of Saffron Street. The property is located within an established residential neighbourhood comprised of a mix of one and two-storey detached dwelling. There is currently no mature vegetation within the property.

There is an existing two storey single detached residential dwelling on the property, which according to assessment records was constructed in 2004.

Proposal

The applicant is proposing to construct a secondary suite in the basement of an existing dwelling. Changes proposed to the exterior of the dwelling include:

- a) Addition of a door on the right (south) façade to provide separate access to the basement suite;
- b) Enlargement of the four existing windows on the north and east façades at the basement level;
- c) Addition of a new window on the east façade of the building where the kitchen is proposed, bringing the total number of windows to 5 at the basement level.

COMMENTS

Staff are satisfied that the proposed development meets the criteria under [Section 8.13.8](#) of the Official Plan for the establishment of a secondary suite, meets the policies of the Region’s Official Plan, and applicable Provincial policies. Staff support its approval in accordance with the requirements under Section 16(3) of the *Planning Act, R.S.O. 1990, c. P.13, as amended*.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However the applicant has received comments (HP21 145226) from the building department through their permit process to confirm the variances required for the

proposed development. Staff advise that it is ultimately the applicant's responsibility to ensure that the application has accurately identified all variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 1, 2022. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

APPENDICES

Appendix A: Conditions of Approval

Appendix B: Architectural Drawings

PREPARED BY:



Carman Yeung, Senior Planner, East District

REVIEWED BY:



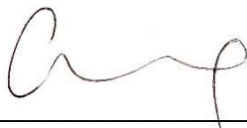
Stacia Muradali, Development Manager, East District

APPENDIX “A”

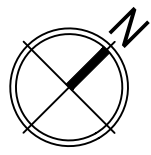
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/011/22

1. The variances apply only to the proposed development as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plans attached as 'Appendix B' to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.

CONDITIONS PREPARED BY:



Carman Yeung, Senior Planner, East District



1	REVISION	31/01 /22
0	ISSUED FOR PERMIT	15/11 /21
NO	DESCRIPTION	DATE

CONSULTANT:
 DESIGN AND BUILDING PERMIT SERVICES INC.
 2196 BRITANNIA ROAD WEST
 MISSISSAUGA, L5M 1R2, ON.
 TEL : 647-856-4456
 EMAIL: dearontario@gmail.com



PROJECT:
 PROPOSED BASEMENT APARTMENT
 23 APPLEVIEW ROAD,
 MARKHAM

TITLE:
 SITE PLAN

CHECKED: MA	DRAWING: A-01
DRAWN: HA	
SCALE: 1 : 100	
DATE: DEC / 1 / 2021	

SCOPE OF WORK

- ① NEW BASEMENT APARTMENT
- ② NEW SIDE DOOR ENTRANCE
- ③ NEW WINDOW WELLS



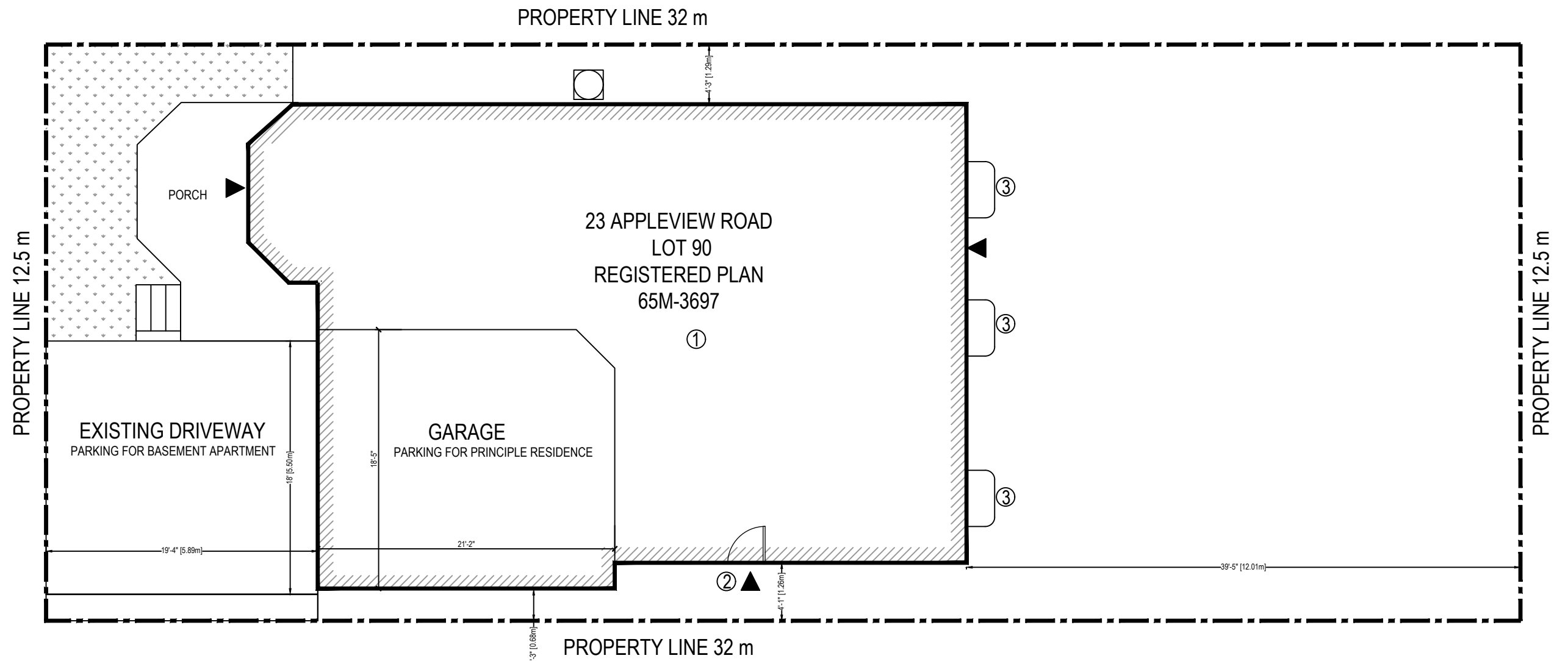
AREA STATISTICS

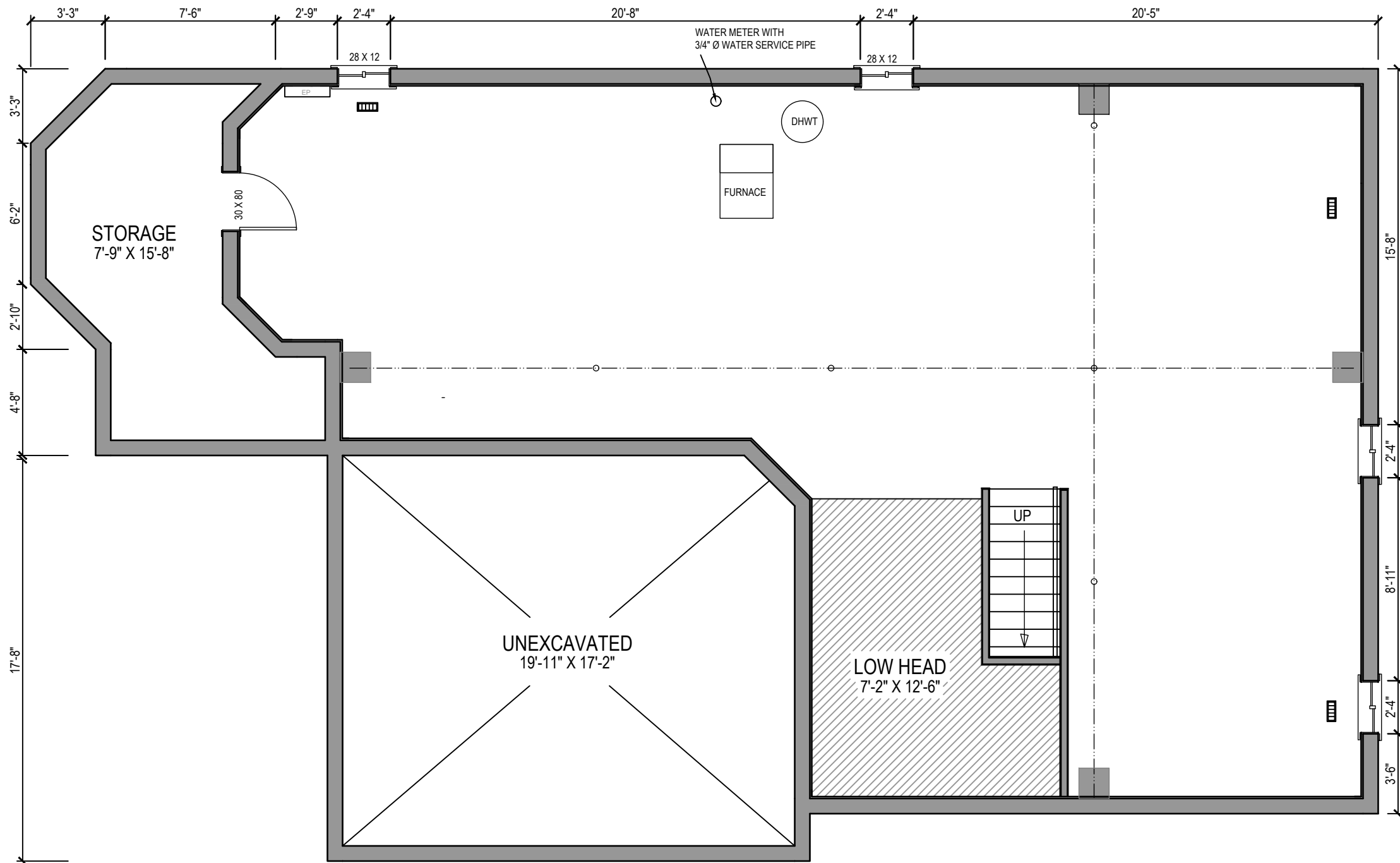
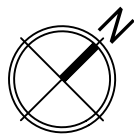
GROSS FLOOR AREA CALCULATIONS

A- PRINCIPAL RESIDENCE
 EXISTING SECOND FLOOR AREA: 134.2 M²
 EXISTING GROUND FLOOR AREA: 115.8 M²
 TOTAL GFA: 250.0 M²

B- BASEMENT APARTMENT
 NEW BASEMENT APARTMENT GFA: 115.8 M²

BASEMENT APARTMENT GFA IS 46.3 % OF
 PRINCIPAL RESIDENCE GFA





EXISTING BASEMENT
 GROSS FLOOR AREA : 1246 SQF (115.8 m²)
 CEILING HEIGHT : 7'-6"
 CEILING HEIGHT UNDER DUCTS AND BEAMS: 6'-10"

DESIGN AND BUILDING PERMIT SERVICES INC.

2196 BRITANNIA RD WEST, MISSISSAUGA, L5M 1R2, ON.
 TEL : 289 - 290 - 0028 FAX: 289 - 290 - 0029

ADDRESS: 23 APPLEVIEW ROAD, MARKHAM

PROJECT DESCRIPTION:
 BASEMENT APARTMENT

DRAWING DESCRIPTION:
 EXISTING BASEMENT FLOOR PLAN

SCALE: $\frac{3}{16}'' = 1'-0''$

DRAWN: HM

CHECKED: MA

0 ISSUED FOR PERMIT

15/11/21

DRAWING NO.: A-02

DESIGN:

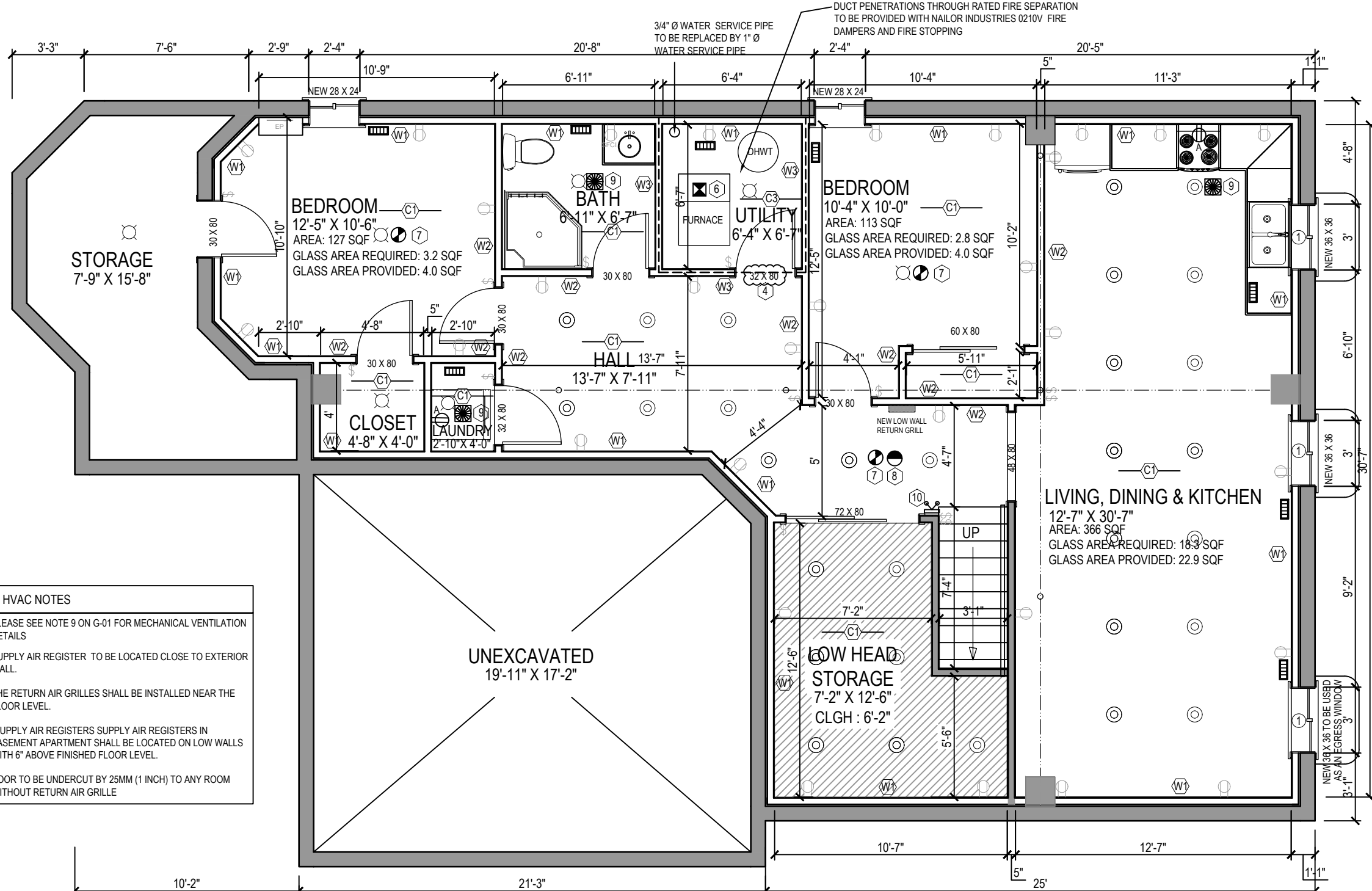
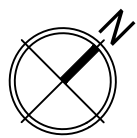
DATE: DEC 1/2021

APPROVED:

NO: DESCRIPTION:

DATE:





HVAC NOTES

PLEASE SEE NOTE 9 ON G-01 FOR MECHANICAL VENTILATION DETAILS

SUPPLY AIR REGISTER TO BE LOCATED CLOSE TO EXTERIOR WALL.

THE RETURN AIR GRILLES SHALL BE INSTALLED NEAR THE FLOOR LEVEL.

SUPPLY AIR REGISTERS SUPPLY AIR REGISTERS IN BASEMENT APARTMENT SHALL BE LOCATED ON LOW WALLS WITH 6" ABOVE FINISHED FLOOR LEVEL.

DOOR TO BE UNDERCUT BY 25MM (1 INCH) TO ANY ROOM WITHOUT RETURN AIR GRILLE

PROPOSED BASEMENT APARTMENT
 GROSS FLOOR AREA : 1246 SQF (115.8 m²)
 CEILING HEIGHT : 7'-6"
 CEILING HEIGHT UNDER DUCTS AND BEAMS: 6'-10"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

NEW LINTELS:
 1 PROVIDE 3 1/2" X 3 X 3/8" STEEL LINTEL AND 3-2 X 8 WOOD LINTEL SPF NO. 1 OR 2 MIN. BEARING OF STEEL LINTEL: 6"

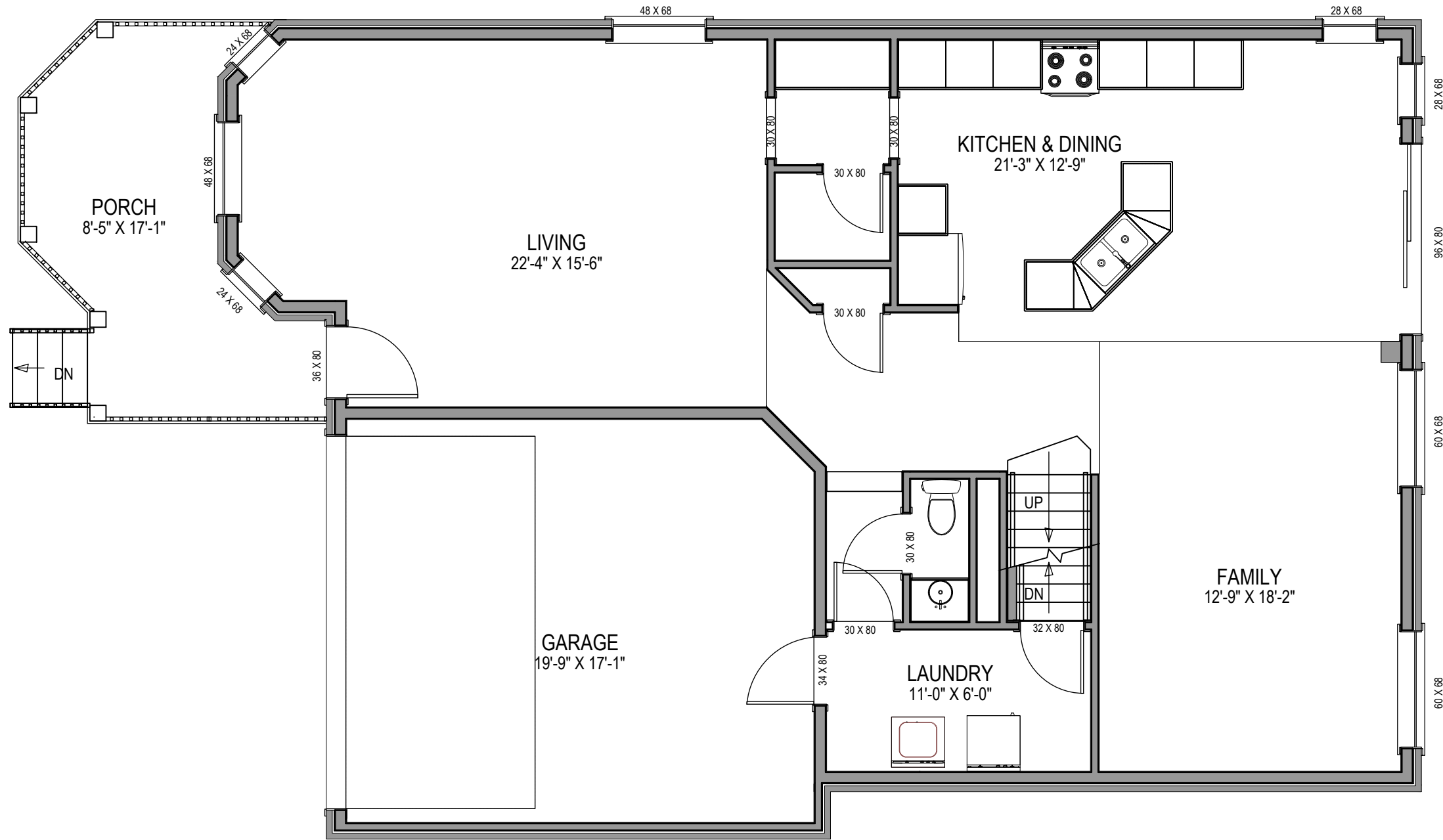
SYMBOLS			
\$ SWITCH	○ LIGHT	⊗ EXHAUST FAN	OR → SUPPLY AIR REGISTER (SAR) 4" X 10"
⊖ RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.	⊙ SPOT LIGHT	⊙ SMOKE ALARM	● CARBON MONOXIDE ALARM
⊖ DUCT TYPE SMOKE DETECTOR	⊕ WALL OUTLET	⊕ EMERGENCY LIGHT WITH EXIT SIGN	▭ NEW INTERIOR WALL
		▭ EXISTING EXTERIOR WALL	

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 TEL : 289 - 290 - 0028 FAX: 289 - 290 - 0029

ADDRESS: 23 APPLEVIEW ROAD, MARKHAM				
PROJECT DESCRIPTION: BASEMENT APARTMENT	DRAWING DESCRIPTION: PROPOSED BASEMENT PLAN			
SCALE: 3/16" = 1'-0"	DRAWN: HM	CHECKED: MA	1 REVISION	31/01/22
DESIGN:	DATE: DEC 1/2021	APPROVED:	0 ISSUED FOR PERMIT	15/11/21
			NO: DESCRIPTION:	DATE:



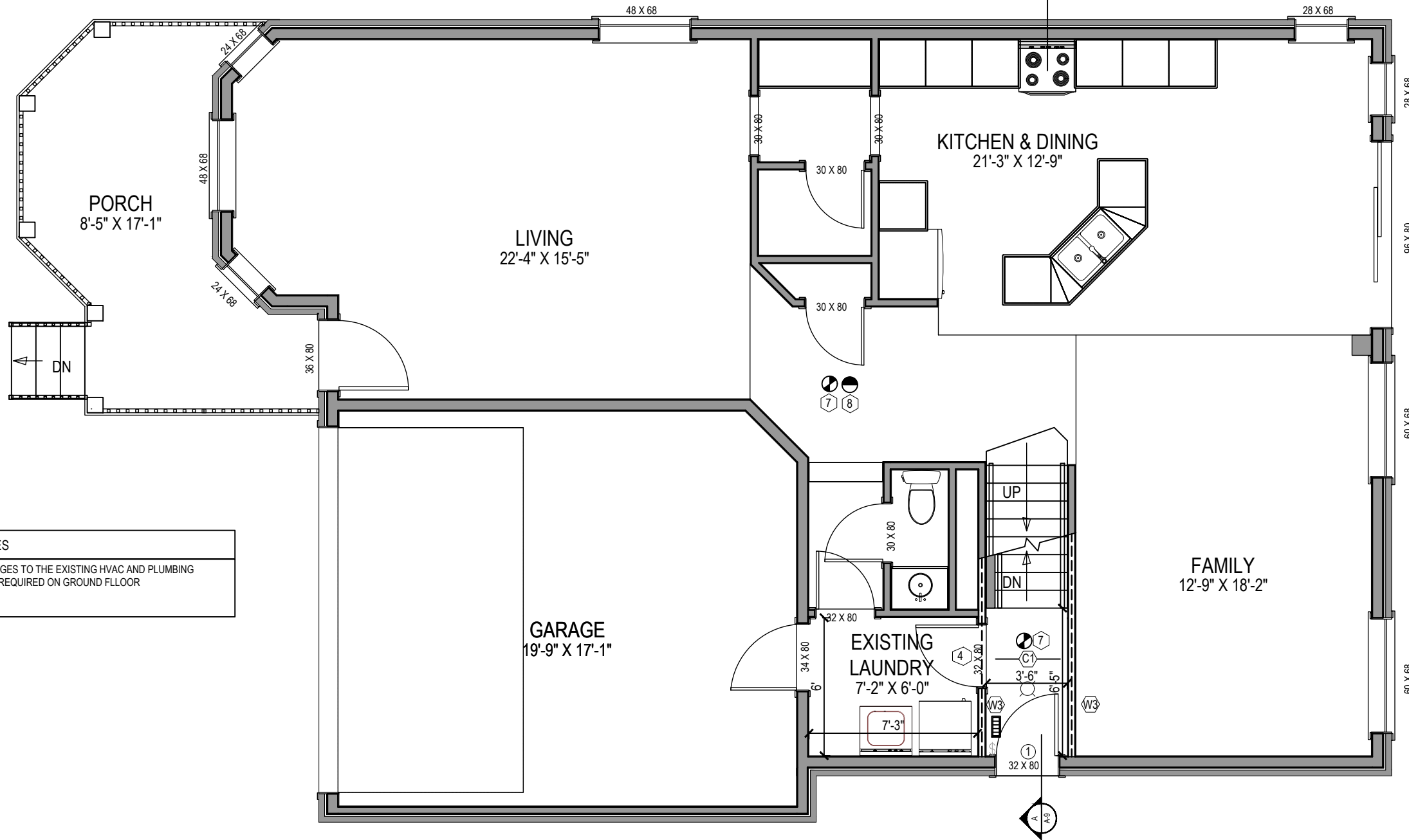
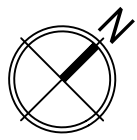


EXISTING GROUND FLOOR
 GROSS FLOOR AREA : 1246 SQF (115.8 m²)
 CEILING HEIGHT : 9'-0"



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ADDRESS: 23 APPLEVIEW ROAD, MARKHAM						
PROJECT DESCRIPTION: BASEMENT APARTMENT	DRAWING DESCRIPTION: GROUND FLOOR PLAN					
SCALE: $\frac{3}{16}$ " = 1'-0"	DRAWN: HM	CHECKED: MA	0	ISSUED FOR PERMIT	15/11/21	DRAWING NO.: A-04
DESIGN:	DATE: DEC 1/2021	APPROVED:	NO:	DESCRIPTION:	DATE:	



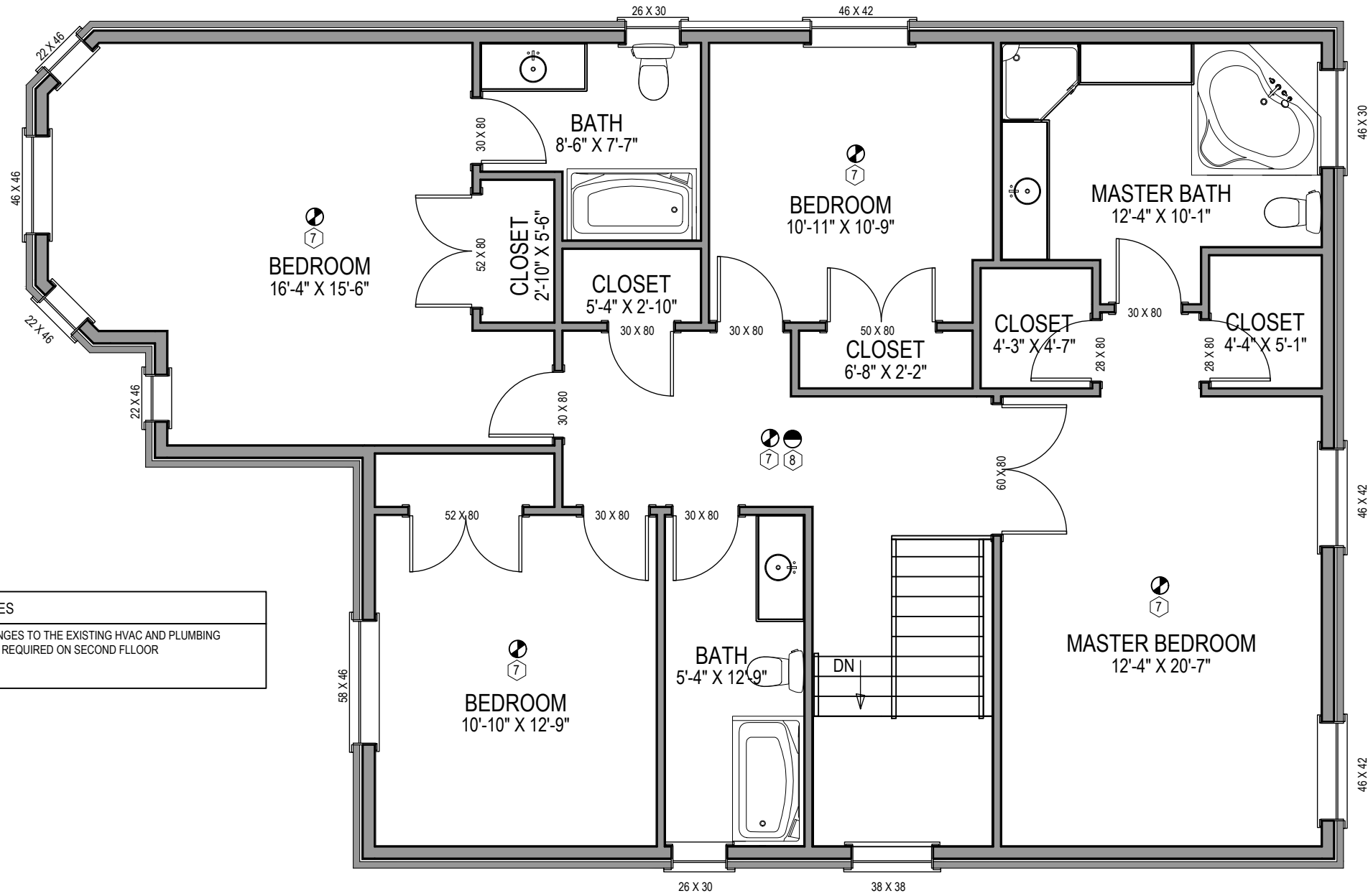
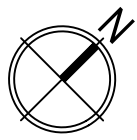
NOTES
 NO CHANGES TO THE EXISTING HVAC AND PLUMBING SYSTEM REQUIRED ON GROUND FLOOR

PROPOSED GROUND FLOOR
 GROSS FLOOR AREA : 1246 SQF (115.8 m²)
 CEILING HEIGHT : 9'-0"



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ADDRESS: 23 APPLEVIEW ROAD, MARKHAM					
PROJECT DESCRIPTION: BASEMENT APARTMENT	DRAWING DESCRIPTION: PROPOSED GROUND FLOOR PLAN				
SCALE: 3/16" = 1'-0"	DRAWN: HM	CHECKED: MA	1 REVISION	31/01/21	
DESIGN:	DATE: DEC 1/2021	APPROVED:	0 ISSUED FOR PERMIT	15/11/21	DRAWING NO.: A-05
			NO: DESCRIPTION:	DATE:	



NOTES
 NO CHANGES TO THE EXISTING HVAC AND PLUMBING SYSTEM REQUIRED ON SECOND FLOOR

SECOND FLOOR
 GROSS FLOOR AREA : 1444 SQF (134.2 m²)
 CEILING HEIGHT : 8'-0"

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ADDRESS: 23 APPLEVIEW ROAD, MARKHAM

PROJECT DESCRIPTION:
 BASEMENT APARTMENT

DRAWING DESCRIPTION:
 SECOND FLOOR PLAN

SCALE: $\frac{3}{16}$ " = 1'-0"

DRAWN: HM

CHECKED: MA

DESIGN:

DATE: DEC 1/2021

APPROVED:

NO:

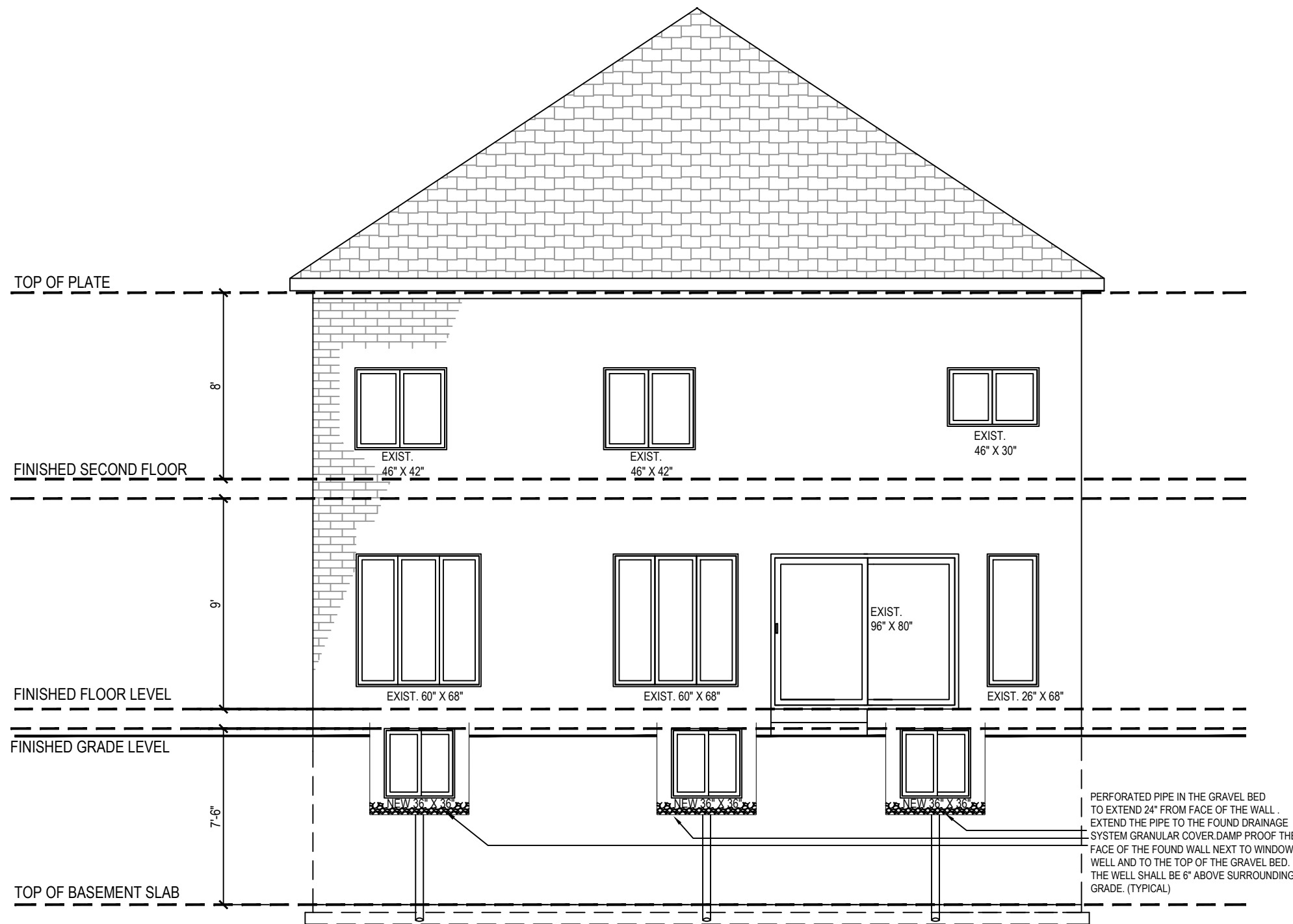
DESCRIPTION:

DATE:

1	REVISION	31/01/21
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DRAWING NO.:
 A-06





REAR ELEVATION

PERFORATED PIPE IN THE GRAVEL BED TO EXTEND 24" FROM FACE OF THE WALL . EXTEND THE PIPE TO THE FOUND DRAINAGE SYSTEM GRANULAR COVER.DAMP PROOF THE FACE OF THE FOUND WALL NEXT TO WINDOW WELL AND TO THE TOP OF THE GRAVEL BED. THE WELL SHALL BE 6" ABOVE SURROUNDING GRADE. (TYPICAL)



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PROJECT DESCRIPTION:
BASEMENT APARTMENT

DRAWING DESCRIPTION:
REAR ELEVATION

SCALE: $\frac{3}{16}'' = 1'-0''$

DRAWN: HM

CHECKED: MA

DESIGN:

DATE: DEC 1/2021

APPROVED:

NO:

DESCRIPTION:

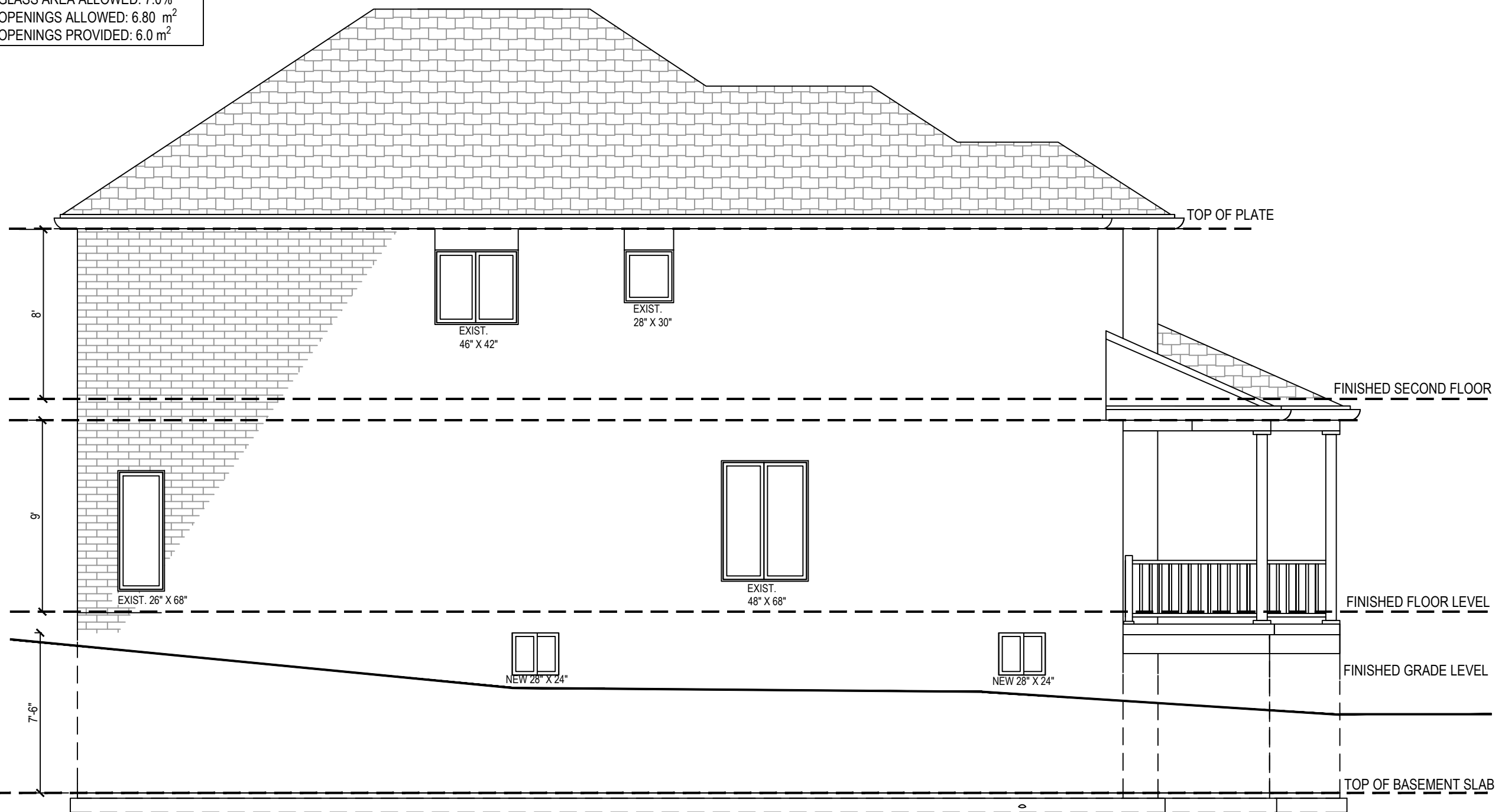
DATE:

1	REVISION	31/01/21
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0	ISSUED FOR PERMIT	15/11/21
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DRAWING NO.:
A-07

WALL AREA: 1045 ft² (97.1 m²)
 LIMITING DISTANCE: 1.2 m
 GLASS AREA ALLOWED: 7.0%
 OPENINGS ALLOWED: 6.80 m²
 OPENINGS PROVIDED: 6.0 m²

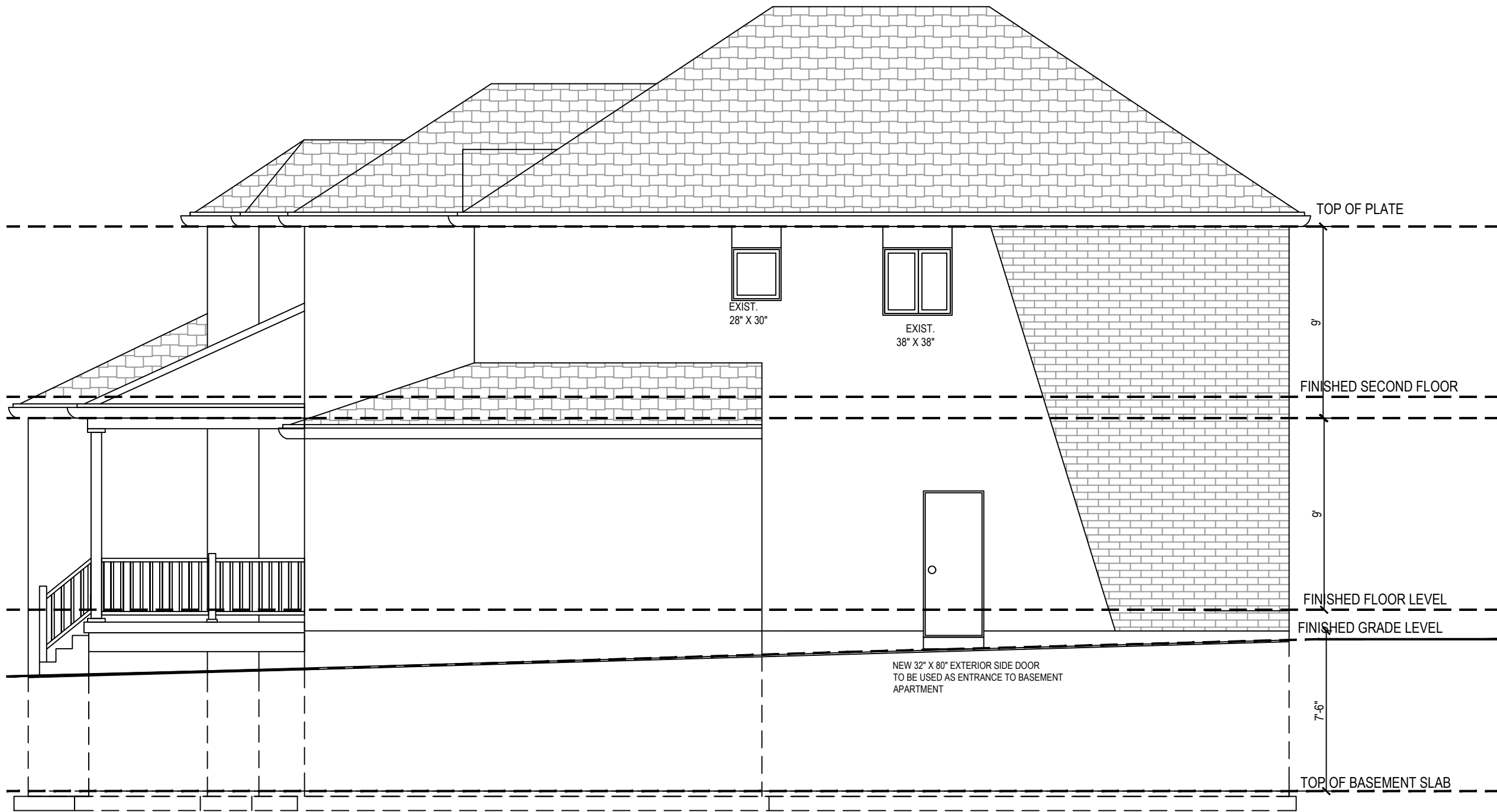


LEFT SIDE ELEVATION

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 TEL : 289 - 290 - 0028 FAX: 289 - 290 - 0029

ADDRESS: 23 APPLEVIEW ROAD, MARKHAM						
PROJECT DESCRIPTION: BASEMENT APARTMENT	DRAWING DESCRIPTION: LEFT SIDE ELEVATION					
SCALE: $\frac{3}{16}$ " = 1'-0"	DRAWN: HM	CHECKED: MA	0	ISSUED FOR PERMIT	15/11/21	DRAWING NO.: A-08
DESIGN:	DATE: DEC 1/2021	APPROVED:	NO:	DESCRIPTION:	DATE:	



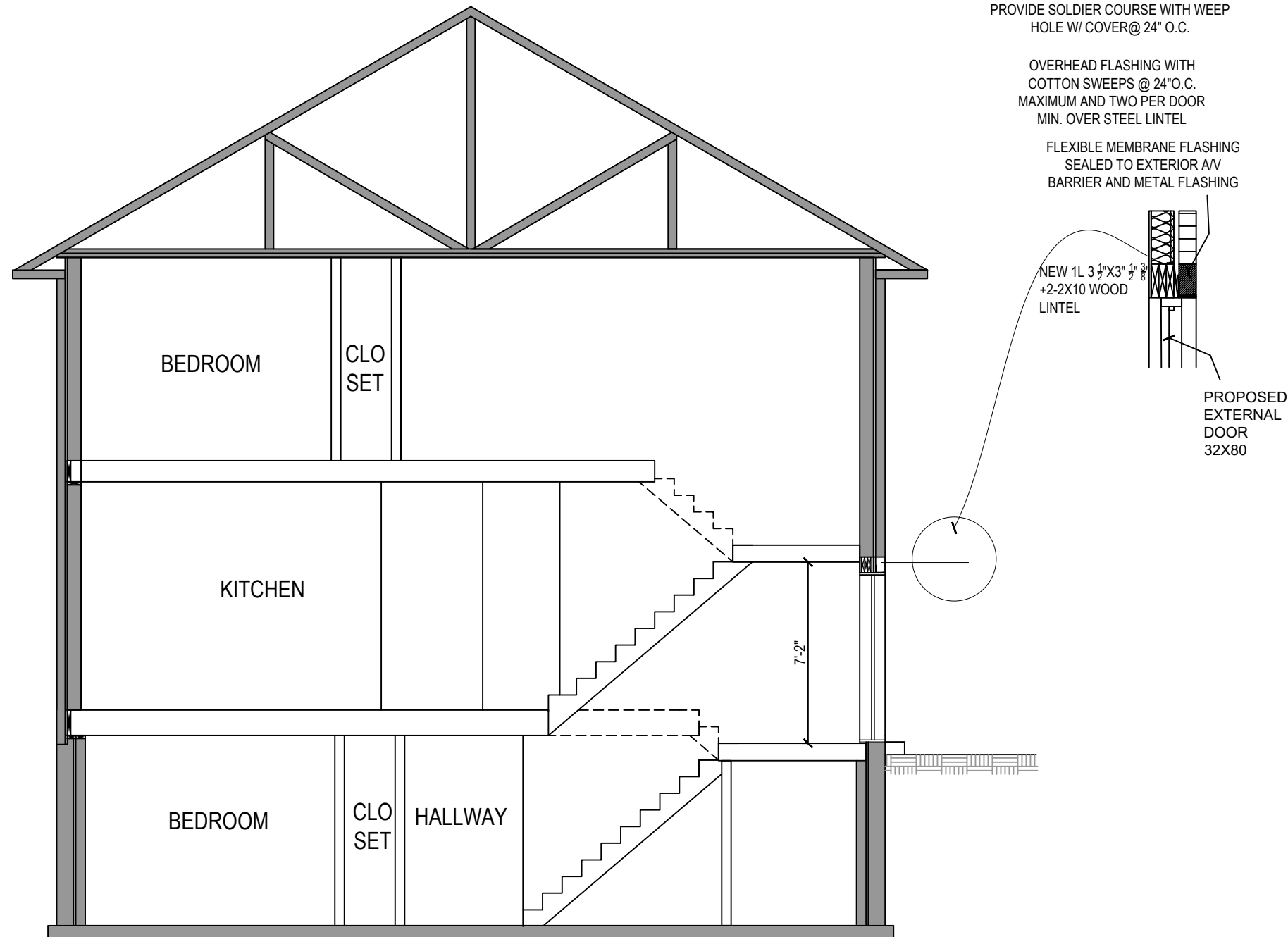


RIGHT SIDE ELEVATION

DESIGN AND BUILDING PERMIT SERVICES INC.
 2196 BRITANNIA RD WEST, MISSISSAUGA, L5M 1R2, ON.
 TEL : 289 - 290 - 0028 FAX: 289 - 290 - 0029

ADDRESS: 23 APPLEVIEW ROAD, MARKHAM						
PROJECT DESCRIPTION: BASEMENT APARTMENT	DRAWING DESCRIPTION: RIGHT SIDE ELEVATION					
SCALE: $\frac{3}{16}$ " = 1'-0"	DRAWN: HM	CHECKED: MA	0	ISSUED FOR PERMIT	15/11/21	DRAWING NO.: A-09
DESIGN:	DATE: DEC 1/2021	APPROVED:	NO:	DESCRIPTION:	DATE:	





CROSS SECTION A-A



DESIGN AND BUILDING PERMIT SERVICES INC.

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ADDRESS: 23 APPLEVIEW ROAD, MARKHAM						
PROJECT DESCRIPTION: BASEMENT APARTMENT		DRAWING DESCRIPTION: CROSS SECTION A-A				
SCALE: 3/16" = 1'-0"	DRAWN: HM	CHECKED: MA	0	ISSUED FOR PERMIT	15/11/21	DRAWING NO.: A-10
DESIGN:	DATE: DEC 1/2021	APPROVED:	NO:	DESCRIPTION:	DATE:	

GENERAL NOTES

- ALL WORK SHALL CONFORM TO ONTARIO BUILDING CODE (OBC) 2012, O. REG 332/12, AS AMENDED, CITY BY-LAWS AND STANDARDS
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 100 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK

CONSTRUCTION NOTES

- FIRE BLOCK**
 - FIRE BLOCKS SHALL CONFORM TO ONTARIO BUILDING CODE (OBC) 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 3.1.11.
 - FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROPPED CEILINGS AND SOFFITS IN WHICH THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE SPACE HAVE A FLAME SPREAD RATING MORE THAN 25
- PENETRATION OF FIRE SEPARATION**
 - PENETRATIONS OF FIRE SEPARATION SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.10.9.6.
 - PIPING, TUBING, DUCTS, WIRING, CONDUIT, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR SERVICE EQUIPMENT THAT PENETRATE A REQUIRED FIRE SEPARATION SHALL BE TIGHTLY FITTED OR FIRE STOPPED TO MAINTAIN THE INTEGRITY OF THE SEPARATION
- INTERIOR FINISH**
 - INTERIOR FINISH SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 3.1.13.
 - EXCEPT FOR BATHROOMS, PUBLIC CORRIDORS AND EXITS, INTERIOR WALL AND CEILING FINISHES SHALL HAVE A MAXIMUM SURFACE FLAME SPREAD RATING OF 150
- DOORS AND WINDOWS**
 - DOORS AND WINDOWS SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SECTION 9.7. & 9.10.13.
 - INTERIOR DOORS: ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 THICK HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN
 - EXTERIOR DOOR: EXTERIOR TYPE STEEL DOOR
 - FIRE RESISTANCE RATED DOOR: ALL DOORS IN FIRE SEPARATION WALL SHALL BE 20 MIN. F.R.R WITH SELF CLOSING DEVICE AND DEADBOLT LOCK. DOOR FRAME INSTALLATION SHALL BE SMOKE TIGHT
- SPRINKLER**
 - A SINGLE SPRINKLER LOOP TO BE INSTALLED IN FURNACE ROOM WHEN CONTINUOUS FIRE SEPARATION CANNOT BE ACHIEVED DUE TO OBSTRUCTION
 - ONLY RESIDENTIAL FULL FLOW THROUGH INSTALLATIONS ARE PERMITTED
 - MINIMUM $\varnothing \frac{3}{4}$ " WATER SERVICE REQUIRED
 - NO ISOLATION VALVE PERMITTED ON ANY PORTION OF SPRINKLER SERVICE LINE UPSTREAM OF SPRINKLER HEAD
 - PIPING MATERIAL: COPPER (TYPE L) AND CROSS-LINKED POLYETHYLENE PIPE FITTINGS (PEX) CERTIFIED TO CAN/CSA-B137.5
 - LISTED RESIDENTIAL SPRINKLERS SHALL BE USED

- SMOKE DETECTOR DUCT TYPE**
 - SMOKE DETECTOR DUCT TYPE SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, PART 11, C195
 - DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE RETURN AIR DUCT SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION
- SMOKE ALARMS**
 - SMOKE ALARM SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.10.19. AND PART 11, C152(b)
 - SMOKE ALARMS WITH STROBE SHALL BE INSTALLED ON EVERY FLOOR LEVEL, IN ALL BEDROOM OR SLEEPING AREA, IN HALLWAY SERVING A BEDROOM AND IN COMMON AREAS
 - ALL SMOKE ALARMS IN THE DWELLING UNIT MUST BE HARDWIRED AND INTERCONNECTED
 - SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN NORMAL CONDITION, FOLLOWED BY 4 MINUTES OF ALARM SIGNALING
- CARBON MONOXIDE ALARM**
 - CARBON MONOXIDE ALARM SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.33.4. AND PART 11, C197
 - PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES"
 - CARBON MONOXIDE ALARMS SHALL BE HARD-WIRED AND INSTALLED ADJACENT TO EACH SLEEPING AREA
 - CARBON MONOXIDE ALARMS MAY BE BATTERY OPERATED OR PLUGGED INTO ELECTRICAL OUTLET
- MECHANICAL VENTILATION**
 - MECHANICAL VENTILATION SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.32.1.3.(3)
 - MIN 50 CFM EXHAUST FAN IN WASHROOM WITH 5"Ø RIGID DUCT SHALL DISCHARGE DIRECTLY OUTSIDE THE BUILDING
 - MIN 100 CFM KITCHEN WITH 6"Ø RIGID DUCT SHALL DISCHARGE DIRECTLY OUTSIDE THE BUILDING
 - CLOTHES DRYER EXHAUST SHALL COMPLY WITH OBC, DIVISION B, 6.2.4.11.
 - SEPARATE AIR INTAKES FROM BUILDING ENVELOPE PENETRATIONS THAT ARE POTENTIAL SOURCES OF CONTAMINANTS (GAS VENTS, OIL FILL PIPES ETC.) BY MIN. 900 MM (3'-0")
 - ENSURE ADEQUATE VENTILATION AND COMBUSTION AIR FOR THE OPTIMUM OPERATION OF THE FURNACE AS PER THE MANUFACTURER'S REQUIREMENTS.
- EMERGENCY LIGHT**
 - EMERGENCY LIGHT SHALL CONFORM TO OBC 2012, O. REG 332/12, AS AMENDED, DIVISION B, SUBSECTION 9.9.12.3.
 - WHERE SELF-CONTAINED EMERGENCY LIGHTING UNITS ARE USED, THEY SHALL TO CSA C22.2 No. 141, "EMERGENCY LIGHTING EQUIPMENT"
- PLUMBING**
 - ALL PLUMBING SHALL CONFORM TO THE OBC, O. REG. 332/12, AS AMENDED, DIVISION B, PART 7.
 - THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C (120° F) AS PER OBC ARTICLE 7.6.5.1. DISHWASHERS AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT
 - ALL THERMOSTATIC MIXING VALVES SHALL CONFORM TO CAN/CSA-B125, "PLUMBING FIXTURES" AND SHALL BE LABELED ACCORDINGLY
 - PRESSURE BALANCED OR THERMOSTATIC-MIXING VALVE REQUIRED ON SHOWER AS PER OBC, DIVISION B, SENTENCE 7.6.5.2(1)
 - WATER AND DRAINAGE PIPING SHALL BE PROTECTED FROM FREEZING AS PER OBC, DIVISION B, 7.3.5.4.
- DRAINAGE**
 - DRAINAGE SHALL CONFORM TO OBC O. REG. 332/12, AS AMENDED, DIVISION B, 9.14.
 - MAINTAIN PERIMETER FOUNDATION DRAINAGE - MINIMUM 4 INCH DIAMETER WEEPING TILE, WITH A MINIMUM 6 INCH GRANULAR COVER
 - ANY AREA DRAIN, EXTERIOR OF A BUILDING (IN A CONCRETE DECK OR IN THE LOWEST LANDING OF A STAIRWELL) SHALL BE CONNECTED TO EITHER THE STORM SEWER OR CONNECTED TO A SUMP PIT. IN EITHER SITUATION IT SHALL NOT BE CONNECTED TO THE SANITARY DRAINAGE SYSTEM OR WEEPING TILES

- ELECTRICAL WORK**
 - FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

SYMBOLS	
	SMOKE DETECTOR DUCT TYPE
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	EXHAUST FAN
	EMERGENCY LIGHT
	LIGHT
	SWITCH
	3 WAY SWITCH
	SUPPLY AIR REGISTER 10"x4"
	SUPPLY AIR REGISTER 10"x4" ON WALL
	RETURN AIR GRILLE
	3 OR 4 WAY SWITCH
	RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.
	LIGHT
	SPOT LIGHT
	WALL OUTLET
	15A, 120V DUPLEX RECEPTACLE SPECIFICATION GRADE, WHITE C/W WHITE COVER PLATE GFI- GROUND FAULT TYPE WP- WEATHERPROOF COVER C - ABOVE COUNTER

DOOR SCHEDULE	
DOOR #	DOOR SIZE
D1	36" x 80"
D2	34" x 80"
D3	32" x 80"
D4	30" x 80"
D5	28" x 80"
D6	26" x 80"
D7	24" x 80"
FDx	20 min. F.R.R

WOOD LINTEL	
WB1	2-2"x8"
WB2	3-2"x8"
WB3	2-2"x10"

STEEL LINTEL	
L1	1L - 3 1/2" x 3 1/2" x 1/4"
L2	2L - 3 1/2" x 3 1/2" x 1/4"
L3	1L - 3 1/2" x 3 1/2" x 5/16"
L4	1L - 5" x 3 1/2" x 5/16"

NOTE:
DOOR AND LINTELS SHOWN ON THE FLOOR PLANS HAS PRECEDENCE ON THE SCHEDULES SHOWN ON THIS DRAWINGS

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TEL : 289 - 290 - 0028 FAX: 289 - 290 - 0029

ADDRESS: 23 APPLEVIEW ROAD, MARKHAM

PROJECT DESCRIPTION:
BASEMENT APARTMENT

DRAWING DESCRIPTION:
GENERAL NOTES

SCALE: NTS

DRAWN: HM

CHECKED: MA

0

ISSUED FOR PERMIT

15/11/21

DRAWING NO.: G-01

DESIGN:

DATE: DEC 1/2021

APPROVED:

NO:

DESCRIPTION:

DATE:



- EXTERIOR FOUNDATION WALL
- MIN. R12 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- 1/2" GYPSUM BOARD

W1 TYPICAL EXTERIOR WALL

- 1/2" GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- ENTIRE STUD CAVITY FILLED WITH SOUND INSULATION (OPTIONAL)
- 1/2" GYPSUM BOARD

W2 TYPICAL INTERIOR WALL

- 5/8" TYPE 'X' GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- 3 1/2" SOUND INSULATION
- RESILIENT METAL CHANNELS @ 16" OR 24" O/C
- 2 LAYERS 5/8" TYPE 'X' GYPSUM BOARD

W3 WALL ASSEMBLY W4a
FRR - 1 HOUR STC - 51

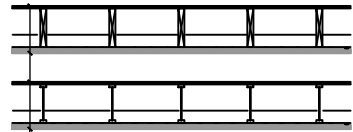
- 1/2" GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- STUD CAVITY FILLED WITH SOUND INSULATION
- 1/2" GYPSUM BOARD

W4 WALL ASSEMBLY W1c
FRR - 30 MIN. STC - N/A (SB-3)

- 5/8" TYPE 'X' GYPSUM BOARD
- 2"x4" OR 2"x6" @ 16" O/C WOOD STUDS WITH 6 MIL POLY UNDER BOTTOM PLATE
- 5/8" TYPE 'X' GYPSUM BOARD

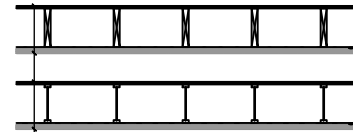
W5 WALL ASSEMBLY W1d
FRR - 1 HOUR STC - N/A (SB-3)

NOTE
- WALL TYPE W5 CAN BE USED INSTEAD OF W4



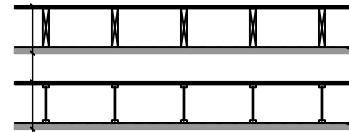
- 5/8" (15.9mm) PLYWOOD, OSB, OR WAFER BOARD SUBFLOOR
- WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" (610mm) O/C
- ABSORPTIVE MATERIAL IN CAVITY
- RESILIENT CHANNELS @ 24" (610mm) O/C
- 2 LAYERS 1/2" (12.7mm) TYPE 'X' GYPSUM BOARD

C1 FLOOR ASSEMBLY F9h
FRR - 45 MIN. STC - 53



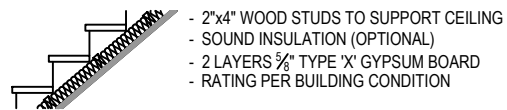
- EXISTING PLYWOOD, OSB, OR WAFER BOARD SUBFLOOR
- WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" (610mm) O/C
- NO ABSORPTIVE MATERIAL IN CAVITY (OPTIONAL 6" SOUND INSULATION)
- RESILIENT CHANNELS @ 24" (610mm) O/C
- 5/8" (15.9mm) TYPE 'X' GYPSUM BOARD

C2 FLOOR ASSEMBLY F8b
FRR - 30 MIN. STC - 43



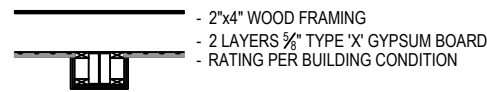
- EXISTING SUBFLOOR
- WOOD JOISTS OR WOOD I-JOISTS SPACED NOT MORE THAN 24" (610mm) O/C
- NO ABSORPTIVE MATERIAL IN CAVITY (OPTIONAL 6" SOUND INSULATION)
- 1/2" (12.7mm) GYPSUM BOARD

C3 EXISTING FLOOR ASSEMBLY
FRR - 15 MIN. STC - N/A

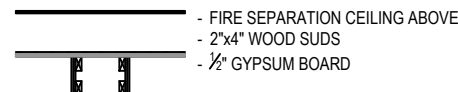


C4 UNDERSIDE OF STAIR
FIRE SEPARATION

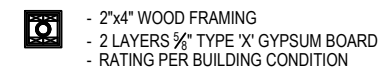
NOTE:
- PROVIDE C4 CEILING OVER THE STAIRCASE ON MAIN FLOOR AND VESTIBULE



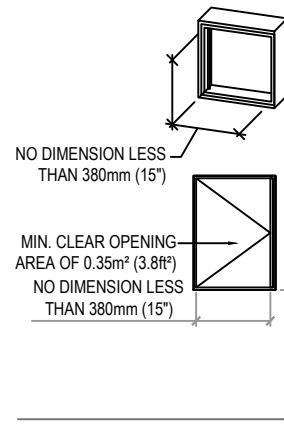
STEEL BEAM
SEPARATION



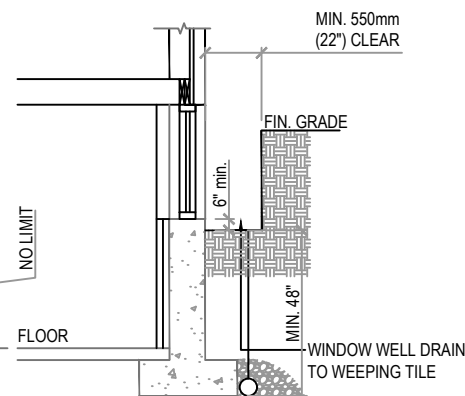
BULKHEAD BELOW
FIRE SEPARATION



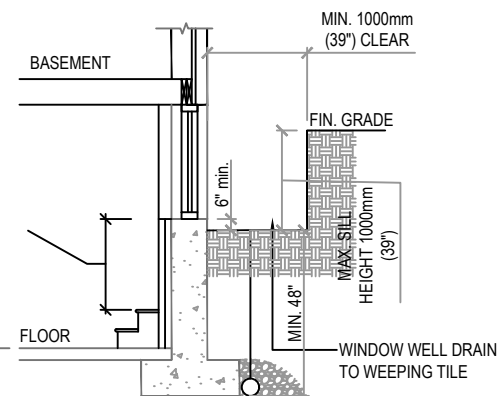
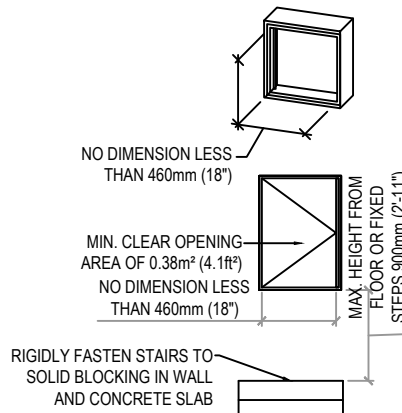
STEEL COLUMN
SEPARATION



EGRESS WINDOW



ESCAPE WINDOW



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15/11/21

DRAWING NO.: G-02

DESIGN:

DATE: DEC 1/2021

APPROVED:

NO:

DESCRIPTION:

DATE: