

Memorandum to the City of Markham Committee of Adjustment

May 19, 2022

File: A/016/22
Address: 1388 Castlemore Avenue – Markham, ON
Applicant: Chitra Pathmanathan
Agent: Varatha Design Associates (Ken Varatha)
Hearing Date: May 25, 2022

The following comments are provided on behalf of the East District team. The applicant is requesting relief from the following “Residential Two Exception R2-S*134*207 (R2-S*134*207) Zone” requirements under By-law 177-96, as amended (the “By-law”), as they relate to a proposed accessory dwelling unit (secondary suite). The variances requested are to permit:

- a) **By-law 28-97, Section 3.0 - Table A:**
two parking spaces, whereas the By-law requires three parking spaces;
- b) **By-law 177-97, Section 6.5:**
an accessory dwelling unit, whereas the By-law does not permit more than one dwelling unit on a lot; and
- c) **By-law 177-96, Section 7.134.2 (a)(ii):**
stairs to encroach a maximum distance of 3.52 m (11.55 ft) into the required rear yard, whereas the By-law permits a maximum encroachment of 2.0 m (6.56 ft) into the required rear yard.

BACKGROUND

This application was deferred by the Committee of Adjustment (the “Committee”) on April 20, 2022 to provide the applicant with time to address engineering related drainage concerns detailed in the initial staff report dated April 8, 2022 (Appendix “C”).

COMMENTS

The applicant submitted revised drawings on May 3, 2022, which proposes new walk-up stairs located at the north side (rear) of the dwelling to access the proposed secondary suite (Appendix “B”). While variances to permit a secondary suite and associated parking reduction remain, the applicant proposes to remove the side yard steps, and therefore no longer requires a reduction to the interior side yard setback. Regarding the proposed secondary suite and parking reduction, staff comments from the initial staff report dated April 8, 2022 remain applicable (Appendix “C”).

Increase in Maximum Stairs and Landings Encroachment Used to Access a Main Building

With respect to the revisions made, the applicant requests a new variance to permit new walk-up stairs to encroach a maximum distance of 3.52 m (11.55 ft) into the required rear yard, whereas the By-law permits stairs and landings that access any part of the main building on the lot not associated with a deck or porch to encroach into the required rear yard a maximum distance of 2.0 m (6.56 ft).

As the walk-up stairs are below grade, staff do not anticipate any adverse impacts to neighbouring properties. Staff consider the alternate access to the additional dwelling unit

an appropriate solution to mitigate drainage concerns, and are of the opinion that the requested variance is appropriate for the lot, and minor in nature.

ZONING PRELIMINARY REVIEW (ZPR) NOT UNDERTAKEN

The owner has confirmed that a ZPR was not completed for the revised drawings. However, a “changemarks report” (21.143017 HP) was completed by the building department, which confirms a new variance relating to a rear yard encroachment based on the proposed revisions.

PUBLIC INPUT SUMMARY

No written submissions were received as of May 19, 2022. Additional information may be received after the writing of this report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act, R.S.O. 1990, c. P.13, as amended*, and are of the opinion that the requested variances meet the four tests. Staff recommend that the Committee consider public input and the subsequent conditions of approval in reaching a decision. The onus is ultimately on the applicant to demonstrate how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

APPENDICES

Appendix “A” – Conditions of Approval

Appendix “B” – Plans

Appendix “C” – Staff Report: April 8, 2022

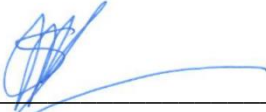
Appendix “D” – Minutes Extract: April 20, 2022

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



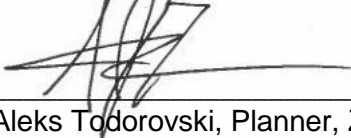
Stacia Muradali, Development Manager, East District

APPENDIX "A"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/016/22

1. That the variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design, or their designate that this condition has been fulfilled to their satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
4. That the owner satisfies the requirements of Metrolinx, as indicated in their comments provided in ePlan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of Metrolinx.

CONDITIONS PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

APPENDIX "B"
PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/016/22

SITE STATISTICS:

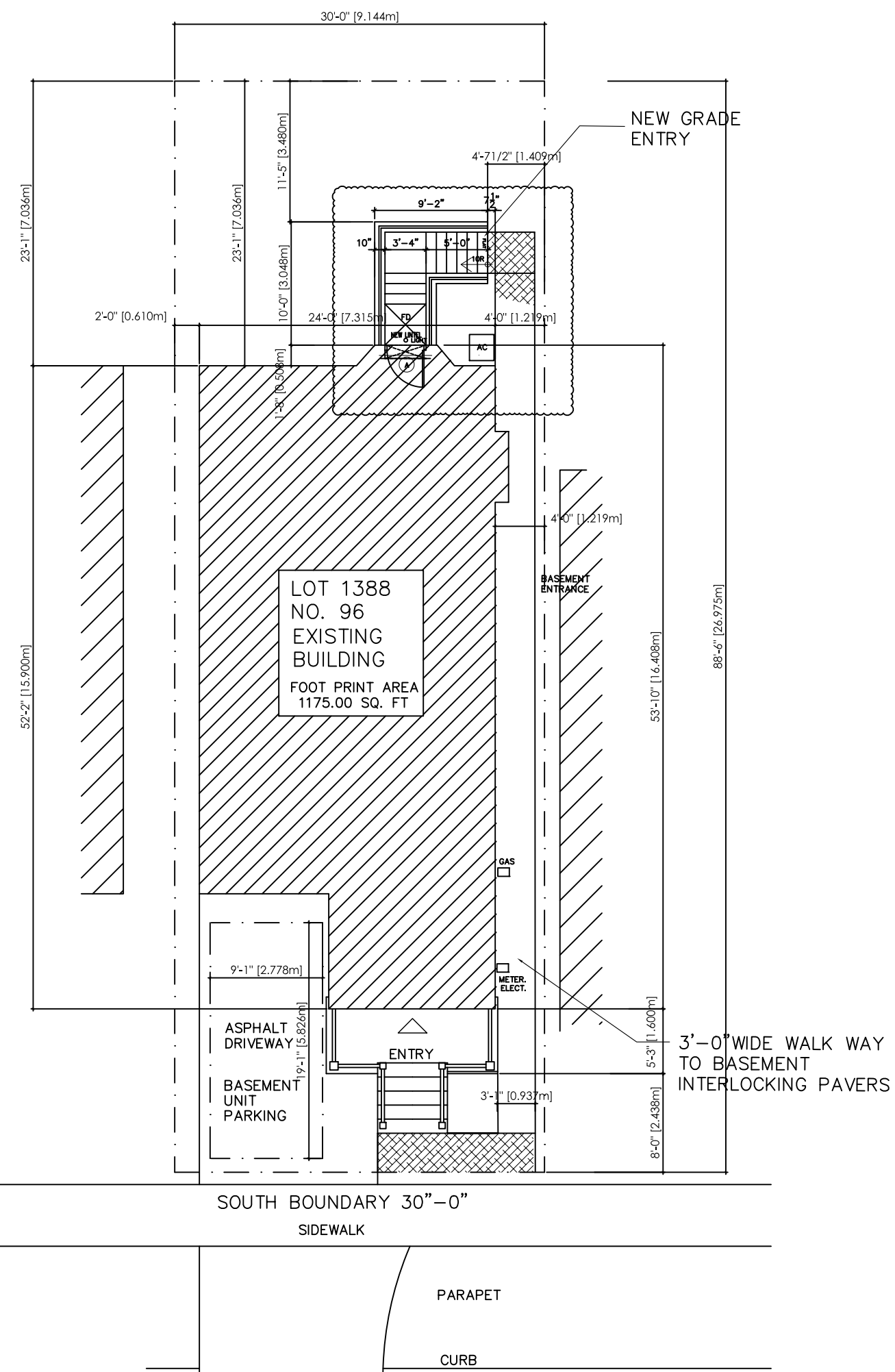
SITE ADDRESS: 1388 CASTLEMORE AVENUE, MARKHAM

LOT AREA: 2655.0 square f= (246.66 SQ.M.)

GROUND FLOOR SPACE : 1167.2 square ft. (108.44 SM)

SECOND FLOOR SPACE : 1039.0 square ft. (96.53 SM)

BASEMENT SECOND UNIT AREA : 741.7 square ft (68.9 SM)



**CASTLEMORE AVENUE
SITE PLAN**

SCALE : 3/32" = 1'-0"



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C TO BE A DESIGNER

QUALIFICATION INFORMATION:
K.RANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: SITE PLAN

PROJECT: NEW BASEMENT APT EXISTING DWELLING RENOVATION TO 1388 CASTLEMORE AVENUE, MARKHAM

OWNER: Chitra Pathmanathan

ALL DRAWINGS AND RELATED DOCUMENTS ARE COPYRIGHT PROPERTY OF VARATHA DESIGN ASSOCIATES. AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS AND RELATED DOCUMENTS IN PART OR WHOLE IS FORBIDDEN WITHOUT DESIGNER'S CONSENT IN WRITING.

THE DESIGNER HAS NOT BE RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUBCONTRACTORS TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS

MYLARS/VELUMS ARE ISSUED TO THE CLIENTS ON THE UNDERSTANDING THAT NO CHANGES ARE TO BE MADE TO THE CONTRACT DOCUMENTS WITHOUT WRITTEN CONSENT OF THE DESIGNER.

DRAWINGS NOT TO BE SCALED
CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES OR ERRORS BEFORE COMMENCING ANY PART OF THE WORK

3	revisions	K.V.	MAY3,22
2	revisions	K.V.	jan21,22
1	building permit	K.V.	OCT 24,21
NO.	REVISION/ISSUED TO	BY	DATE

VARATHA DESIGN ASSOCIATES
Architectural & Engineering Services
Varatha Ken
Architectural Designer
TEL: (416) 284 7945
CELL: (416) 725 2041
email: kvaratha@hotmail.com

SCALE: 3/32" = 1'-0"
CAD FILE :
JOB No.: 21244

DATE:
DRAWN BY: K.V.

DWG NO: A1
OF 5

CHECKED BY: K.V.
DATE OF PRINT:

NOTE:
 -SMOKE ALARM ON MAIN FLOOR IS INTERCONNECTED WITH SMOKE ALARM ON SECOND FLOOR AND BASEMENT.
 -SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
 EXISTING MAIN FLOOR WALL AND CEILING IS DRY WALL FILLED WITH INSULATION SOUND TRANSMISSION BETWEEN MAIN UNIT AND SECOND SUITE.
 SEE SECTION A-A

ALL SUPPLY AND RETURN AIR DUCTS ON EXTERIOR WALL TO BE FURRED OUT FOR CONT. INSULATION

SMOKE ALARM
 -SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM.
 -SHALL HAVE A BATTERY BACKUP

INSTALL 5/8" TYPE X DRYWALL CEILING
 SEE SECTION A-A
 @ 90" A.F.F
 FULL BASEMENT AND 83" MIN.U/D BEAMS

ALL SUPPLY AIR TO BE 6" AFF

(N1) ADD 1 LAYER 5/8" TYPE "X" AROUND ST'L COLUMN ENCASED IN WALL TYPE P3

(N2) 2 -LAYERS 1/2" TYPE "X" AROUND STEEL BEAM =45 MIN FR TABLE 2.3.12

(N3) INSTALL 2- LAYER 1/2" TYPE "X" DRY WALL UNDERSIDE OF JOIST

(A) WINDOW LINTEL TO BE 3'-2" X10" FLUSH C/W 3.5" X3.5" X 5/16" STEEL BRICK ANGLE

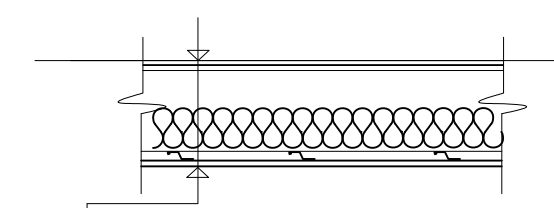
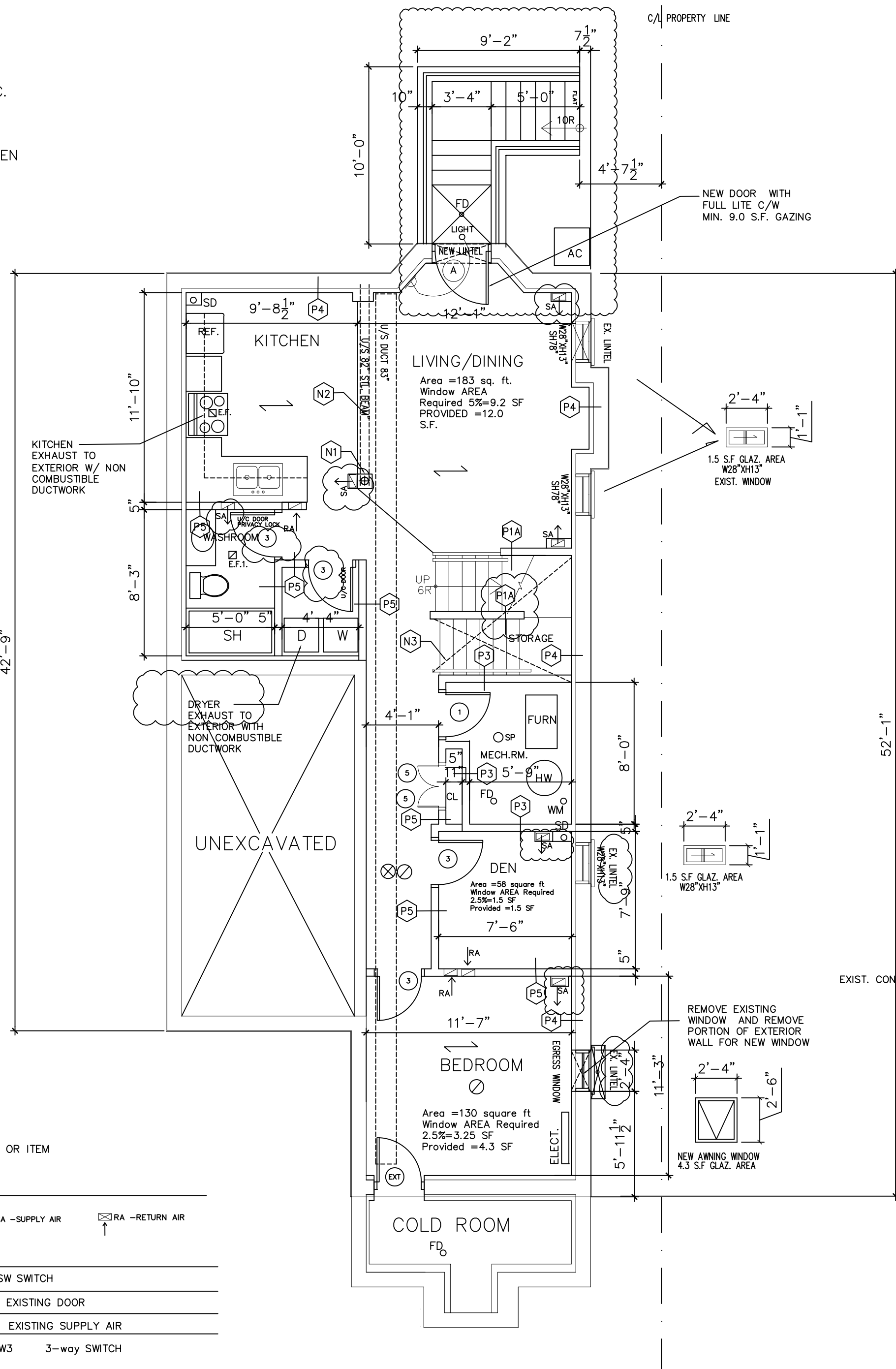
LEGEND:

↑ EXIST. JOIST DIRECTION

— EXISTING WALLS
 — NEW WALLS
 — RENOVATED WALLS

EX. =EXISTING CONSTRUCTION OR ITEM
 CH82= CEILING HT = 90" HT

MECHANICAL VENTILATION 150 CFM INSUL 6" DIA. EXHAUST OUT	SA -SUPPLY AIR	RA -RETURN AIR
32X80 NEW DOOR (20 MIN RATED WITH SELF CLOSING DEVICE)	SW SWITCH	
32X80 NEW DOOR 30X80 NEW DOOR 48 X 80 SLIDING DOOR	EXT EXISTING DOOR	
16 X 80 DOOR	EXISTING SUPPLY AIR	
CO SMOKE ALARM INTER CONNECTED	SW3 3-way SWITCH	
MECHANICAL VENTILATION 100 CFM INSUL 6" DIA. EXHAUST OUT		
SR INSTALL NEW SPRINKLER HEAD IN FURNACE ROOM		

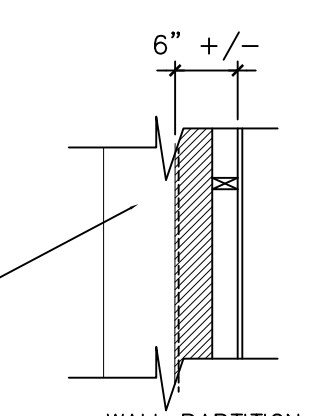


EXISTING subfloor of 15.5 mm plywood, OSB or waferboard, ON EXISTING WOOD JOISTS spaced at 16" o.c. INSULATION AS PER BELOW resilient metal channels spaced 16" o.c. 1 layer of 1/2" th. TYPE X gypsum board on ceiling side

F1 FLOOR CONSTRUCTION

FLOOR TYPE F5G - 30 MIN.FIRERATING
 MINERAL WOOL INSULATION 2.8 KG/M2 MIN THICKNESS 90 MM

SECTION A-A
 SCALE:N.T.S.



P4 WALL PARTITION
 EX. 2" X4" @16" O.C C/W R12 BATT INSUL 6 MIL POLY AND NEW 1/2" GYPSUM BOARD

RENOVATED BASEMENT FLOOR PLAN

scale: 3/16" =1'-0"

no change to EXISTING FLOOR STRUCTURE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C TO BE A DESIGNER

QUALIFICATION INFORMATION:
 K.RANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
 VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: BASEMENT RENOVATED PLAN

PROJECT: NEW BASEMENT APT EXISTING DWELLING
 RENOVATION TO 1388 CASTLEMORE AVENUE. MARKHAM

OWNER: Chitra Pathmanathan

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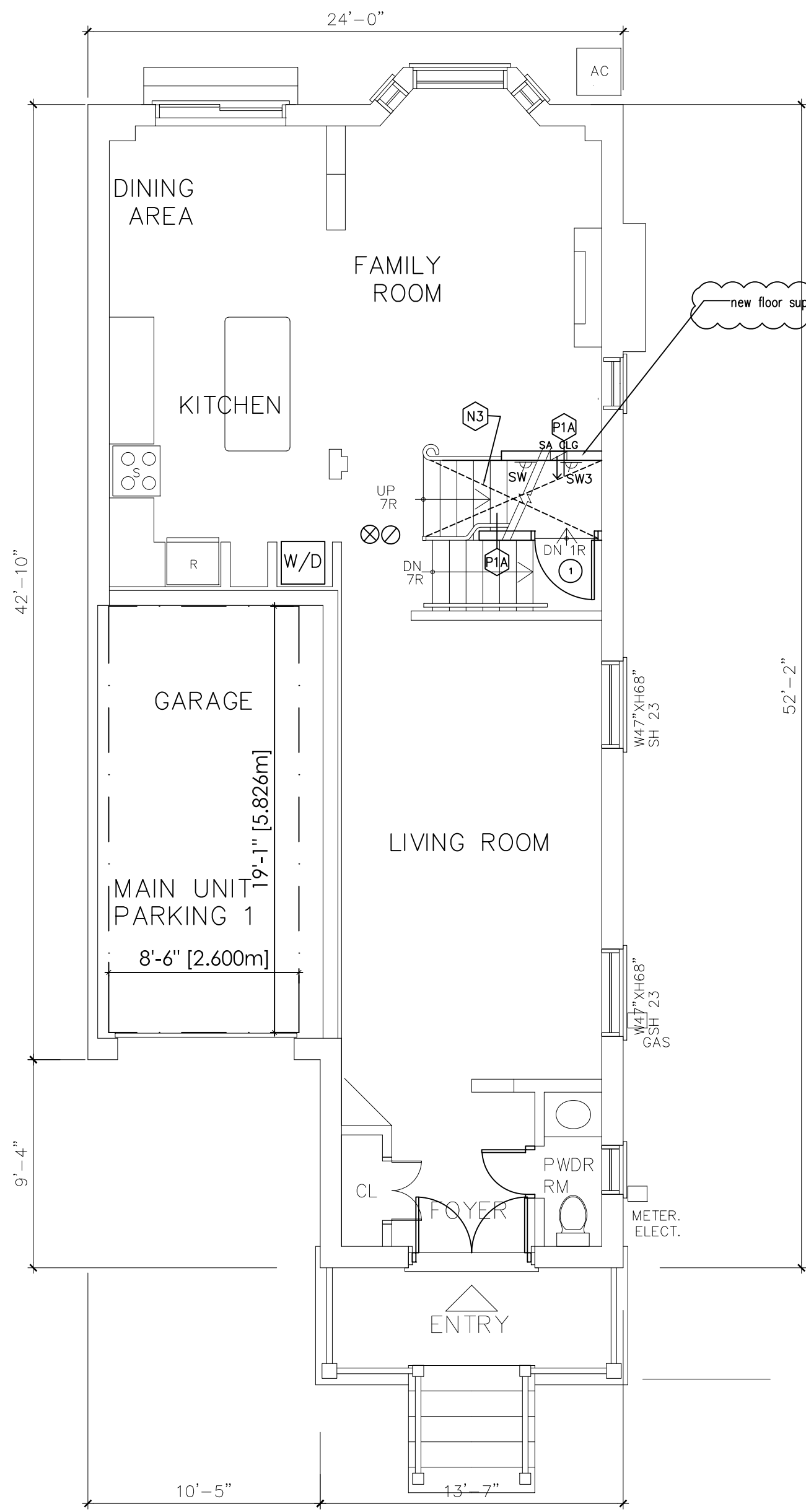
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2	REVISIONS	K.V.	MAY3,22
1	BUILDING PERMIT	K.V.	OCT 24,21
NO.	REVISION/ISSUED TO	BY	DATE

VARATHA DESIGN ASSOCIATES
 Architectural & Engineering Services
 Varatha Ken
 Architectural Designer
 TEL: (416) 284 7945
 CELL: (416) 725 2041
 email: kvaratha@hotmail.com

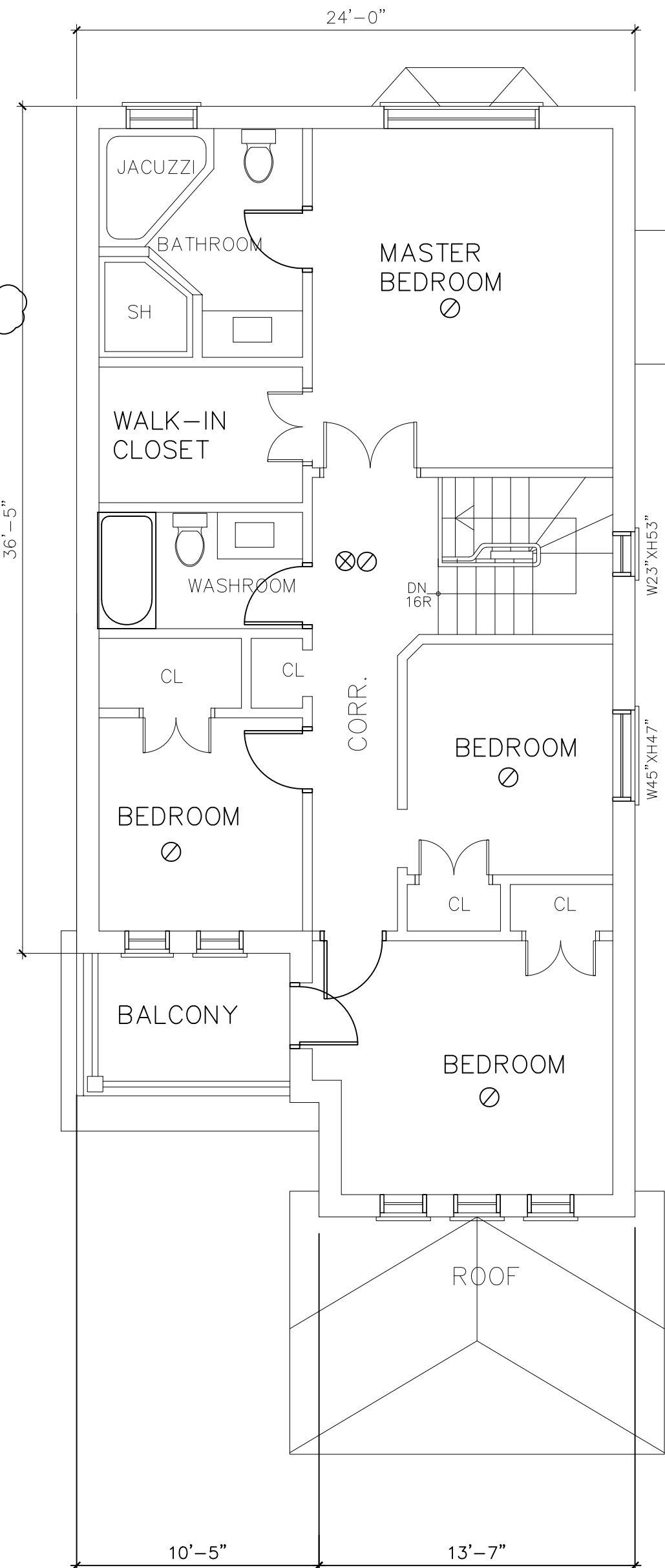
TORONTO Ont.

SCALE: 3/16" =1'-0"	CAD FILE :	JOB No.: 21244
DATE: OCT 24,21	DWG NO: A2	OF 5
DRAWN BY: K.V	CHECKED BY: K.V	DATE OF PRINT: OCT 24,21



EXISTING FIRST FLOOR PLAN

scale: 3/16" = 1'-0"



EXISTING SECOND FLOOR PLAN

scale: 3/16" = 1'-0"

no change to mech. an exhaust system

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QUALIFICATION INFORMATION:
 K.KRANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
 VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE:
 BASEMENT RENOVATED PLAN

PROJECT:
 NEW BASEMENT APT EXISTING DWELLING RENOVATION TO 1388 CASTLEMORE AVENUE. MARKHAM

OWNER:
 Chitra Pathmanathan

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3	REVISIONS	K.V.	MAY3,22
1	BUILDING PERMIT	K.V.	OCT 24,21

VARATHA DESIGN ASSOCIATES
 Architectural & Engineering Services
 Varatha Ken
 Architectural Designer
 TEL: (416) 284 7945
 CELL: (416) 725 2041
 TORONTO Ont. email: kvaratha@hotmail.com

SCALE: 3/16" = 1'-0"	CAD FILE :	JOB No.: 21244
DATE: OCT 24,21	DWG NO: A3	OF 5
DRAWN BY: K.V.	CHECKED BY: K.V.	DATE OF PRINT: OCT 24,21

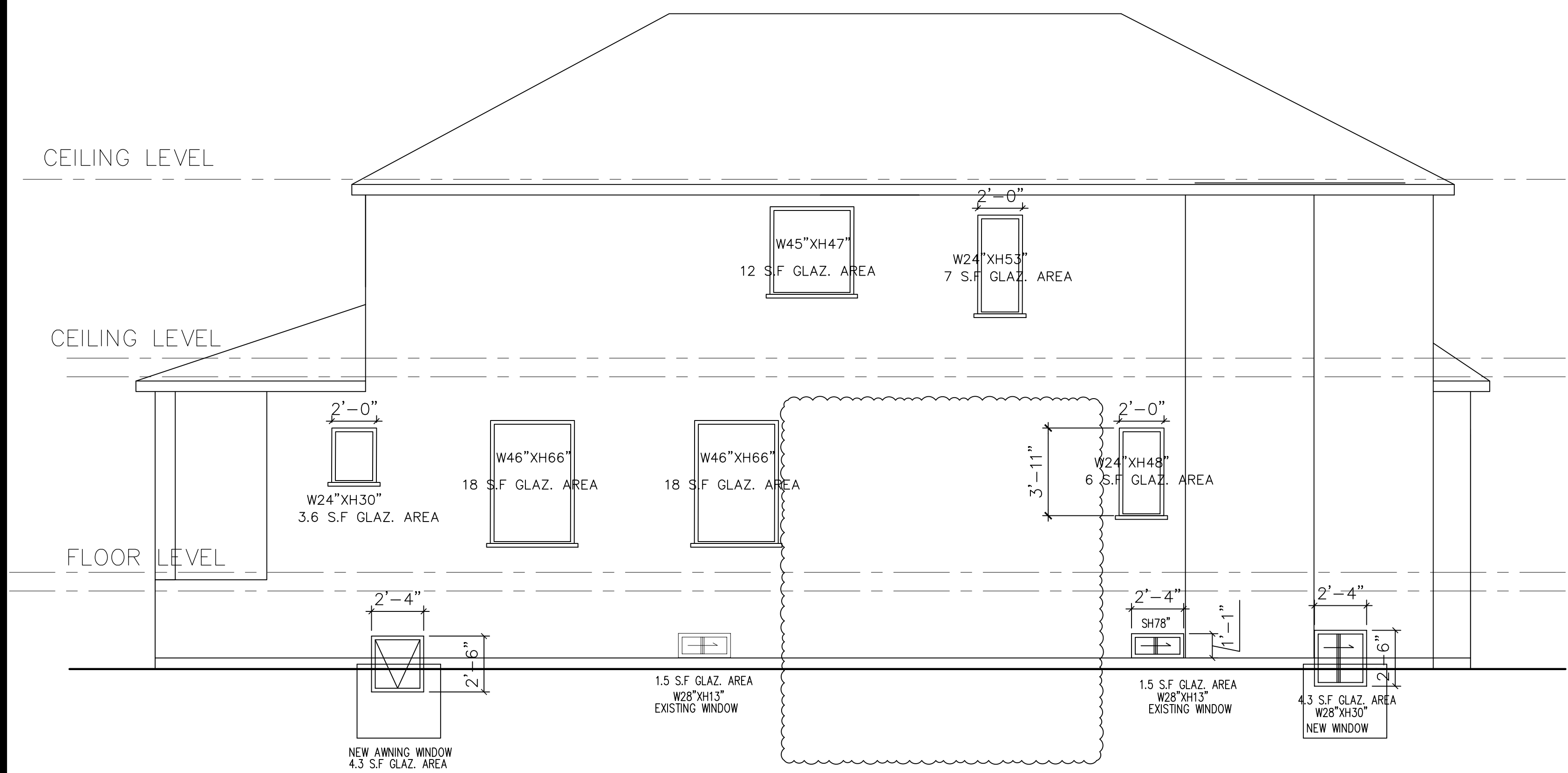


Table 9.10.15.4.
Maximum Area of Glazed Openings in Exterior Walls of Houses
7.0% MAX.window openings

EAST ELEVATION

SCALE 1/4" = 1'-0"

ALLOWABLE UNPROTECTED OPENINGS
TOTAL WALL AREA = 1115 square ft. (103.6 S.M.)
LIMITING DISTANCE=4'-0" FT.
ALLOWABLE OPENINGS = 78.0 S.F.(7.2 SM.)
ACTUAL OPENINGS =76.2 S.F

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QUALIFICATION INFORMATION:
KRANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: EAST ELEVATION

PROJECT: NEW BASEMENT APT EXISTING DWELLING RENOVATION TO 1388 CASTLEMORE AVENUE, MARKHAM

OWNER: Chitra Pathmanathan

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NO.	REVISION/ISSUED TO	BY	DATE
3	REVISIONS	K.V.	MAY3,22
2	REVISIONS	K.V.	JAN3,21
1	BUILDING PERMIT	K.V.	OCT 24,21

VARATHA DESIGN ASSOCIATES
Architectural & Engineering Services

Varatha Ken
Architectural Designer
TEL: (416) 284 7945
CELL: (416) 725 2041
email: kvaratha@hotmail.com

TORONTO Ont.

SCALE: 1/4" = 1'-0"

CAD FILE :

JOB No.: 21244

DATE: OCT 24,21

DRAWN BY: K.V.

CHECKED BY: K.V.

DATE OF PRINT: OCT 24,21

A5

OF 5

APPENDIX "C"
STAFF REPORT: APRIL 8, 2022

Memorandum to the City of Markham Committee of Adjustment

April 8, 2022

File: A/016/22
Address: 1388 Castlemore Avenue – Markham, ON
Applicant: Chitra Pathmanathan
Agent: Varatha Design Associates (Ken Varatha)
Hearing Date: April 20, 2022

The following comments are provided on behalf of the East District team. The applicant is requesting relief from the following “Residential Two Exception R2-S*134*207 (R2-S*134*207) Zone” requirements under By-law 177-96, as amended, as they relate to a proposed accessory dwelling unit (secondary suite). The variances requested are to permit:

- a) **By-law 28-97, Section 3.0 - Table A:**
two parking spaces, whereas the By-law requires three parking spaces;
- b) **By-law 177-97, Section 6.5:**
an accessory dwelling unit, whereas the By-law does not permit more than one dwelling unit on a lot; and
- c) **By-law 177-96, Section 7.134.2 (a)(ii):**
an interior side yard setback of 0.127 m (0.42 ft), whereas the By-law requires a 0.30 m (0.98 ft) with a minimum 1.20 m (3.94 ft) separation between dwellings on abutting lots.

PROPERTY DESCRIPTION

The subject property is located on the north side of Castlemore Avenue, east of Markham Road, south of Major Mackenzie Drive East, and west of Swan Park Road. The property is located at the periphery of a residential neighbourhood comprised of a mix of low rise dwellings. The property is developed with a two-storey single detached dwelling, and has a one car garage and driveway area that can accommodate two parking spaces.

PROPOSAL

The applicant is requesting permission for an accessory dwelling unit to be located in the basement of the existing dwelling. The applicant is also proposing an associated reduction in parking, and a reduction to the interior side yard setback to accommodate the existing walk-up stairs located at the east side of the dwelling.

Zoning By-Law 177-96

The subject property is zoned “Residential Two Exception R2-S*134*207 (R2-S*134*207) Zone” under By-law 177-96, as amended, which permits one single detached dwelling per lot. The proposed development does not comply with the By-law requirements with respect to the maximum number of dwelling units permitted on a lot, and the minimum interior side yard setback.

Parking Standards By-law 28-97 (the “Parking By-law”)

The proposed development also does not comply with the Parking By-law with respect to the minimum requirement of three parking spaces.

ZONING PRELIMINARY REVIEW (ZPR) NOT UNDERTAKEN

The owner has confirmed that a ZPR has not been conducted. However, the applicant has received comments from the building department through their permit process to confirm the variances required for the proposed development.

COMMENT

The *Planning Act, R.S.O. 1990, c. P. 13, as amended* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment (the “Committee”):

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Secondary Suite and Parking Space Reduction

Staff are satisfied that the proposed development meets the criteria under [Section 8.13.8](#) of the Official Plan for the establishment of a secondary suite, and support its approval in accordance with the requirements under Section 16(3) of the *Planning Act, R.S.O. 1990, c. P. 13, as amended*. Staff are of the opinion that the associated parking reduction is minor in nature and appropriately maintains the general intent of the By-law.

Reduced Side Yard Setback

The applicant is requesting a minimum interior side yard setback of 0.127 m (0.42 ft), whereas the By-law requires a 0.30 m (0.98 ft) with a minimum 1.20 m (3.94 ft) separation between dwellings on abutting lots. This is an approximate reduction of 0.17 m (0.56 ft). Engineering staff have concerns with drainage, as the proposed reduction is insufficient to accommodate a side swale. Staff are of the opinion that this variance to reduce the side yard setback is not an appropriate development of the lot.

EXTERNAL AGENCIES

Metrolinx Comments

Metrolinx provided comments on this application, advising that there may be alterations to or expansions of the rail facilities on such right of way in the future, which expansion may affect the living environment of the residents in the vicinity, notwithstanding the inclusion of any noise and vibration attenuating measures in the design of the development and individual dwellings. Metrolinx requests that the proponent provide confirmation that a warning clause be inserted into all Development Agreements, Offers to Purchase, and Agreements of Purchase and Sale or Lease for each dwelling unit as the property is located within 300.0 m (984.25 ft) of a railway corridor. Staff recommend that the Committee adopt the associated condition of approval detailed in Appendix “A”.

PUBLIC INPUT SUMMARY

No written submissions were received as of April 8, 2022. Additional information may be received after the writing of this report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning staff have reviewed the application with respect to Section 45(1) of the *Planning Act*. Staff are of the opinion that the variances requested to permit a secondary suite and an associated parking reduction meet the four tests, and offer the subsequent conditions

of approval for the Committee's consideration. However, staff do not recommend approval of the requested variance to permit a reduced interior side yard setback, in accordance with Engineering staff's concerns relating to drainage. If the Committee decides to deny the variance, and the applicant wishes to propose entry to the accessory dwelling unit from the exterior of the dwelling, an alternative access point may need to be explored.

Staff recommend that the Committee consider public input in reaching a decision. The onus is ultimately on the applicant to demonstrate how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

APPENDICES

Appendix "A" – Conditions of Approval

Appendix "B" – Plans

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



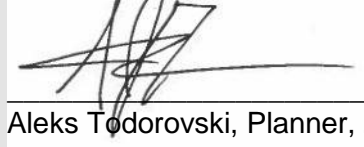
Stacia Muradali, Development Manager, East District

APPENDIX "A"

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1. That the variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the subject development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design, or their designate that this condition has been fulfilled to their satisfaction.
3. That the owner submit, if required by the Chief Building Official, a third-party report prepared by an architect or professional engineer licensed in the Province of Ontario, to assess compliance of existing construction with the provisions of the Ontario Building Code, and in particular relating to the change of use from a dwelling containing a single suite to a dwelling containing more than one suite.
4. That the owner satisfies the requirements of Metrolinx, as indicated in their comments provided in ePlan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of Metrolinx.

CONDITIONS PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

APPENDIX "B"
PLANS TO BE ATTACHED TO ANY APPROVAL OF FILE A/016/22



SITE STATISTICS:

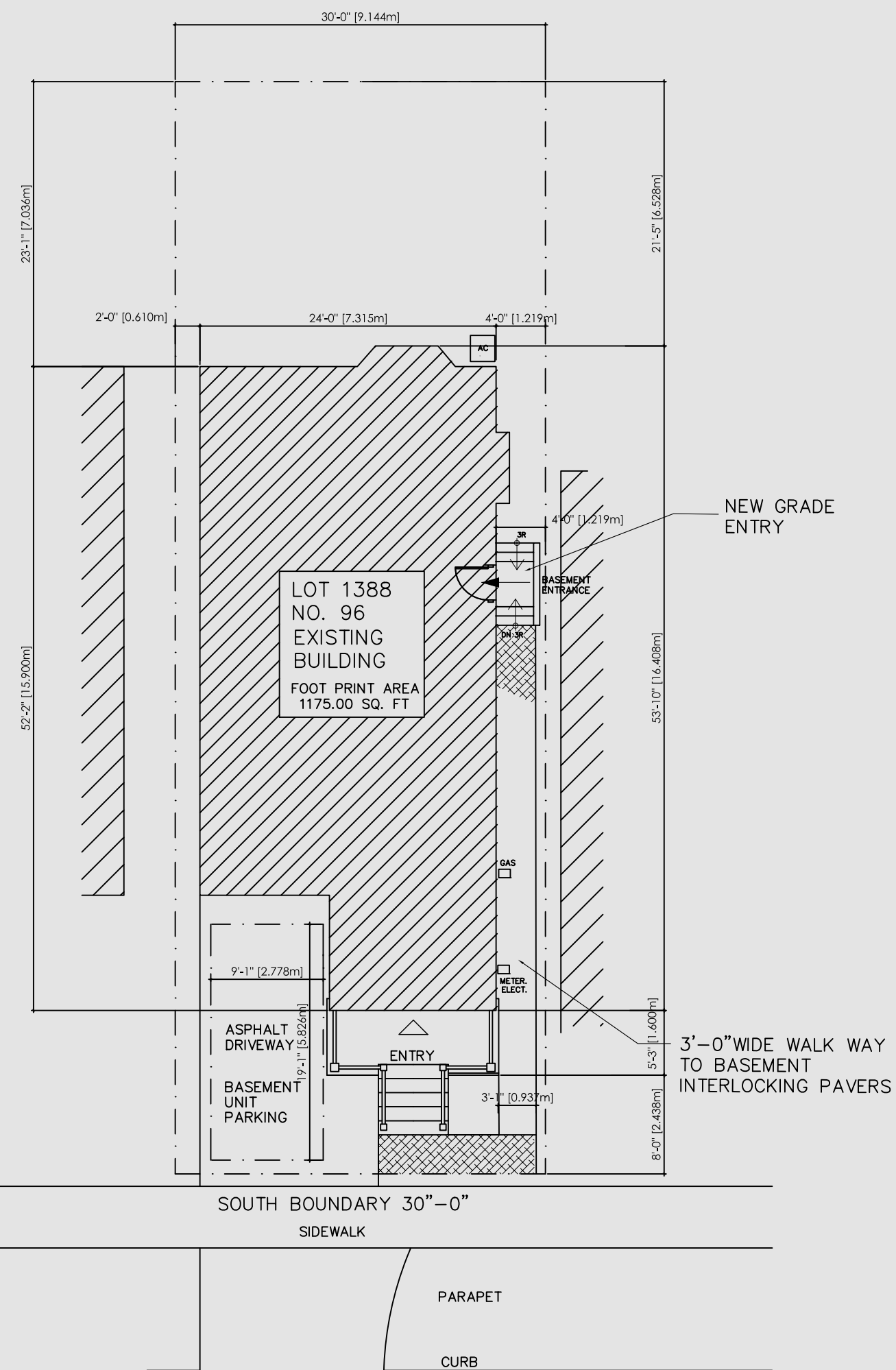
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LOT AREA: 2655.0 square f= (246.74 SQ.M.)

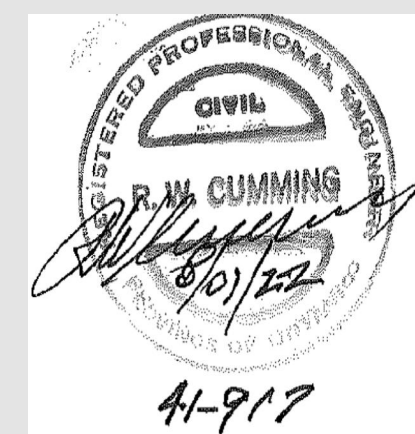
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SECOND FLOOR SPACE : 1039.0 square ft. (95.5 SM)

BASEMENT SECOND UNIT AREA : 741.7 square ft (68.9 SM)



CASTLEMORE AVENUE



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER

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K. KRANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: SITE PLAN

PROJECT: NEW BASEMENT APT EXISTING DWELLING RENOVATION TO 1388 CASTLEMORE AVENUE, MARKHAM

OWNER: Chitra Pathmanathan

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2	revisions	K.V.	jan21,22
1	building permit	K.V.	OCT 24,21
NO.	REVISION/ISSUED TO	BY	DATE

VARATHA DESIGN ASSOCIATES
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SCALE: 3/32" = 1'-0"
CAD FILE :
JOB No.: 21244

DATE: DWG NO: A1 OF 5

DRAWN BY: K.V.

CHECKED BY: K.V. DATE OF PRINT:

NOTE:
 · SMOKE ALARM ON MAIN FLOOR IS INTERCONNECTED WITH SMOKE ALARM ON SECOND FLOOR AND BASEMENT.
 · SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
 EXISTING MAIN FLOOR WALL AND CEILING IS DRY WALL FILLED WITH INSULATION SOUND TRANSMISSION BETWEEN MAIN UNIT AND SECOND SUITE.
 SEE SECTION A-A

ALL SUPPLY AND RETURN AIR DUCTS ON EXTERIOR WALL TO BE FURRED OUT FOR CONT. INSULATION

SMOKE ALARM
 · SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM.
 · SHALL HAVE A BATTERY BACKUP

INSTALL 5/8" TYPE X DRYWALL CEILING
 SEE SECTION A-A
 @ 90" A.F.F
 FULL BASEMENT AND 83" MIN.U/D BEAMS

ALL SUPPLY AIR TO BE 6" AFF

(N1) ADD 1 LAYER 5/8" TYPE "X" AROUND ST'L COLUMN ENCASED IN WALL TYPE P3

(N2) 2 -LAYERS 1/2" TYPE "X" AROUND STEEL BEAM =45 MIN FR TABLE 2.3.12

(N3) INSTALL 2- LAYER 1/2" TYPE "X" DRY WALL UNDERSIDE OF JOIST

(A) WINDOW LINTEL TO BE 3'-2" X10" FLUSH C/W 3.5" X3.5" X 5/16" STEEL BRICK ANGLE

LEGEND:
 — EXISTING WALLS
 — NEW WALLS
 — RENOVATED WALLS
 CH82= CEILING HT = 90" HT
 EX. =EXISTING CONSTRUCTION OR ITEM

- MECHANICAL VENTILATION 150 CFM INSUL. 6" DIA. EXHAUST OUT
- 32X80 NEW DOOR (20 MIN RATED WITH SELF CLOSING DEVICE)
- 32X80 NEW DOOR (3) 30X80 NEW DOOR (4) 48 X 80 SLIDING DOOR
- 16 X 80 DOOR
- CO SMOKE ALARM INTER CONNECTED
- MECHANICAL VENTILATION 100 CFM INSUL. 6" DIA. EXHAUST OUT
- SR INSTALL NEW SPRINKLER HEAD IN FURNACE ROOM
- SA - SUPPLY AIR
- RA - RETURN AIR
- SW SWITCH
- EXISTING DOOR
- EXISTING SUPPLY AIR
- SW3 3-way SWITCH

- (P1) 1 LAYER 1/2" TYPE "X" GYPSUM BOARD C/W SOUND ABOR. MATERIAL 2" X4" @ 16" O.C. SB-3 WIC 30 MIN F.R. STC34
- (P1A) 1 LAYER 1/2" GYPSUM BOARD C/W SOUND ABOR. MATERIAL 2" X4" @ 16" O.C. SB-3 WIC 30 MIN F.R. STC32
- (P1B) 2 LAYER 5/8" TYPE "X" C/W SOUND CHANNELS C/W SOUND ABOR MATERIAL 2" X4" @ 16" O.C. AND 1 LAYER OF 5/8" TYPE X (BASED ON WIA SB-3 STC RATING 51)
- (P1C) 2X4 WITH 5/8" TYPE "X" DRY WALL @ 16" O.C BOTH SIDES 1 HR FIRERATED WALL(BASED ON WIA SB-3) STC 36
- (P2) NOT USED
- (P3) 2"X4"WD. STUDS WITH 5/8" TYPE "X" DRY WALL @ 16" O.C BOTH SIDES 1 HR FIRERATED WALL(BASED ON WID SB-3)
- (P4) EX. 2" X4" @16" O.C C/W R12 BATT INSUL. 6 MIL POLY AND NEW 1/2" GYPSUM BOARD
- (P5) 2"X4"WD STUDS @16" O/C C/W 1/2" GYPSUM BD.

NOTES:
 1. DOORWAY SIZE SHALL CONFIRM TO O.B.C 9.5.11
 2. SMOKE DETECTOR SHALL BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH SHOULD BE TURN OFF THE FUEL SUPPLY AND ELEC. POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.
 3. 30 MINUTE FIRE SEPARATION " GYPSUM BOARD CEILING SEE SECTION A-A

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QUALIFICATION INFORMATION:
 KRANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
 VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE:
 BASEMENT RENOVATED PLAN

PROJECT:
 NEW BASEMENT APT EXISTING DWELLING
 RENOVATION TO 1388 CASTLEMORE AVENUE. MARKHAM

OWNER:
 Chitra
 Pathmanathan

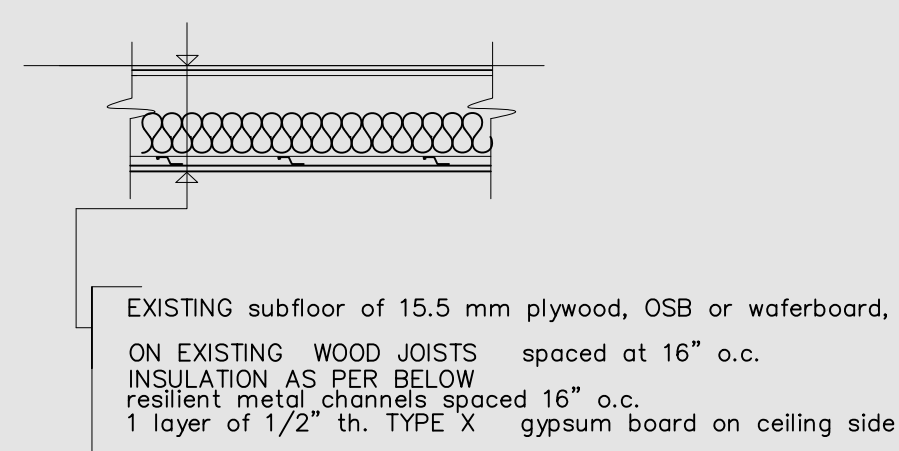
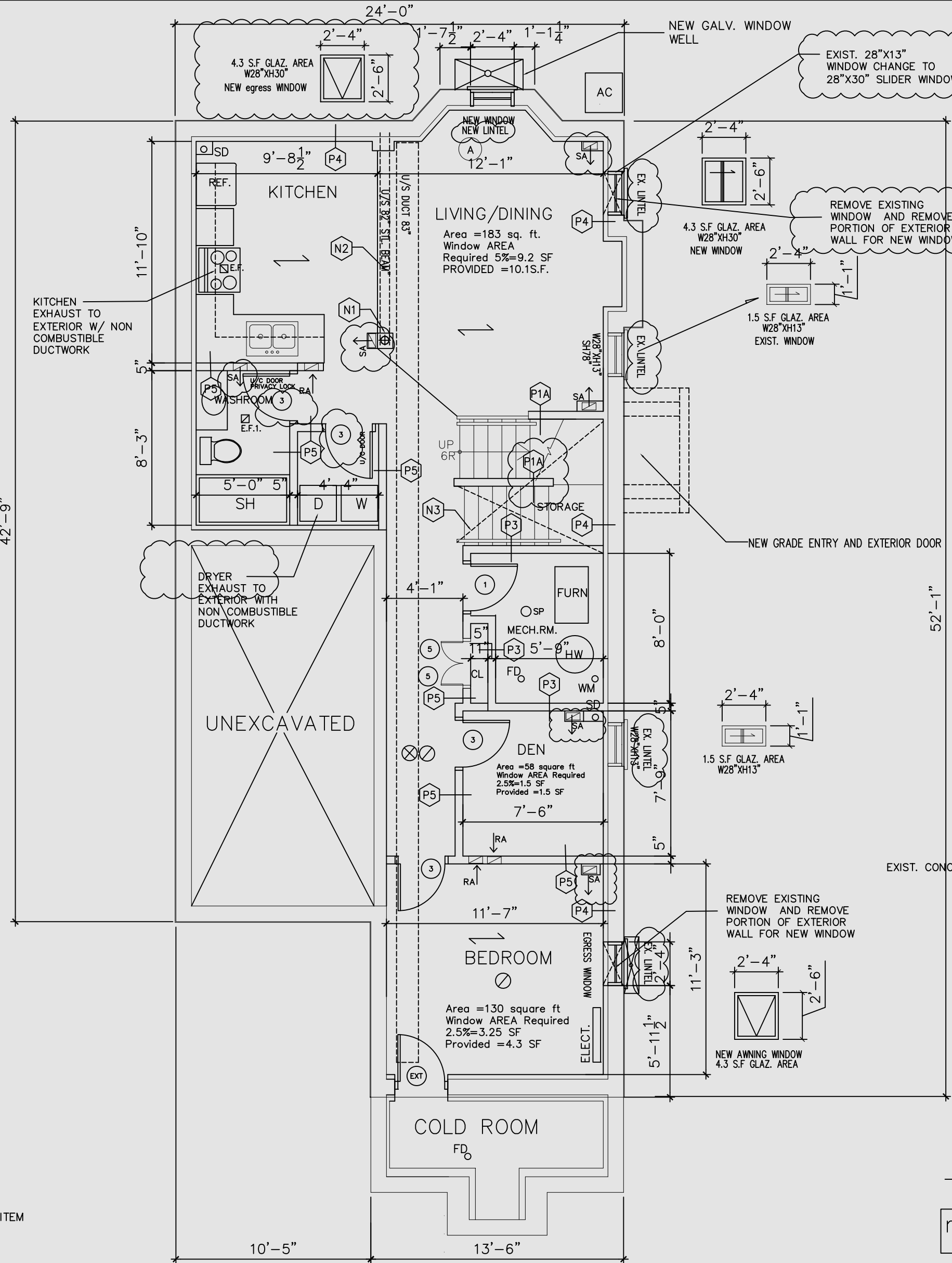
1	BUILDING PERMIT	K.V.	OCT 24,21
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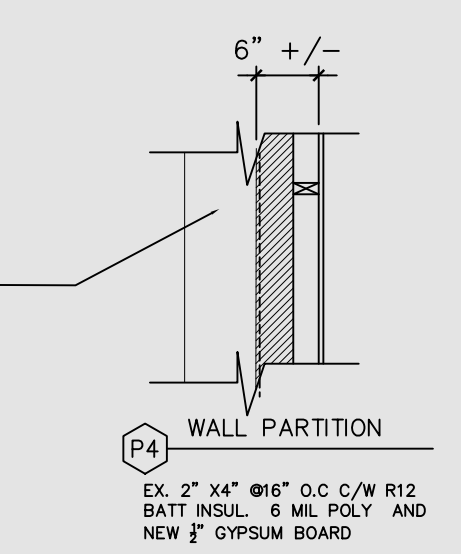
SCALE: 3/16" = 1'-0"
 CAD FILE :
 JOB No.: 21244

DATE: OCT 24,21
 DWG NO: A2
 OF 5

CHECKED BY: K.V.
 DATE OF PRINT: OCT 24,21



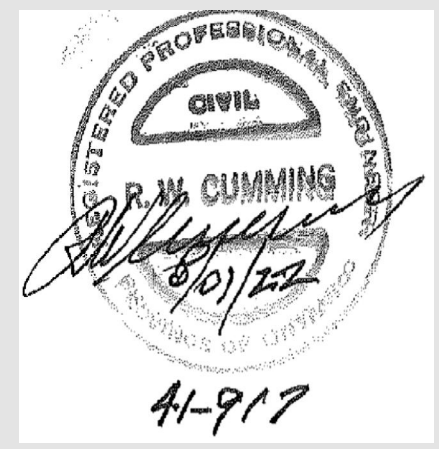
FLOOR CONSTRUCTION
 FLOOR TYPE F5G - 30 MIN.FIRERATING
 MINERAL WOOL INSULATION 2.8 KG/M2 MIN THICKNESS 90 MM

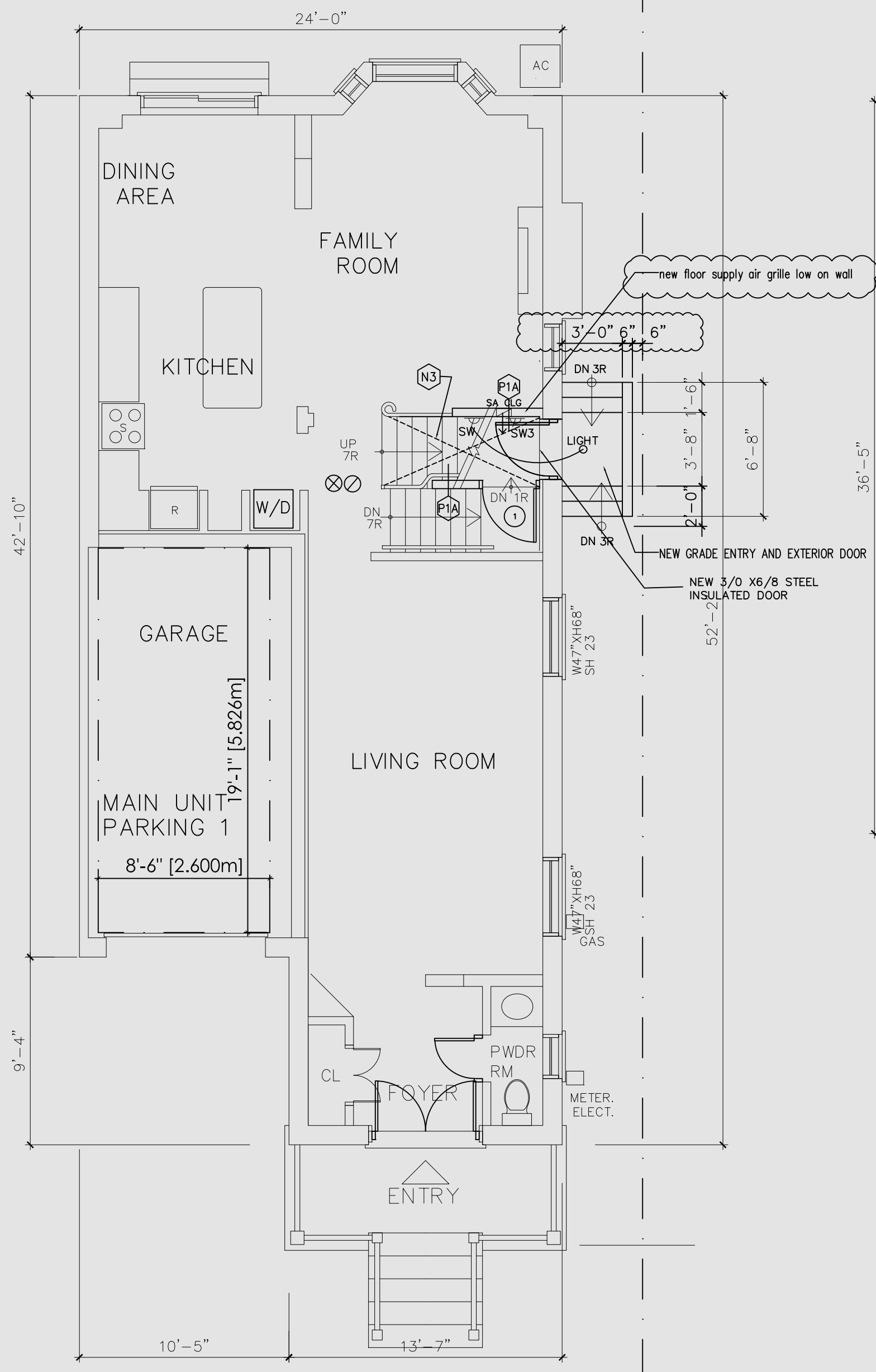


RENOVATED BASEMENT FLOOR PLAN

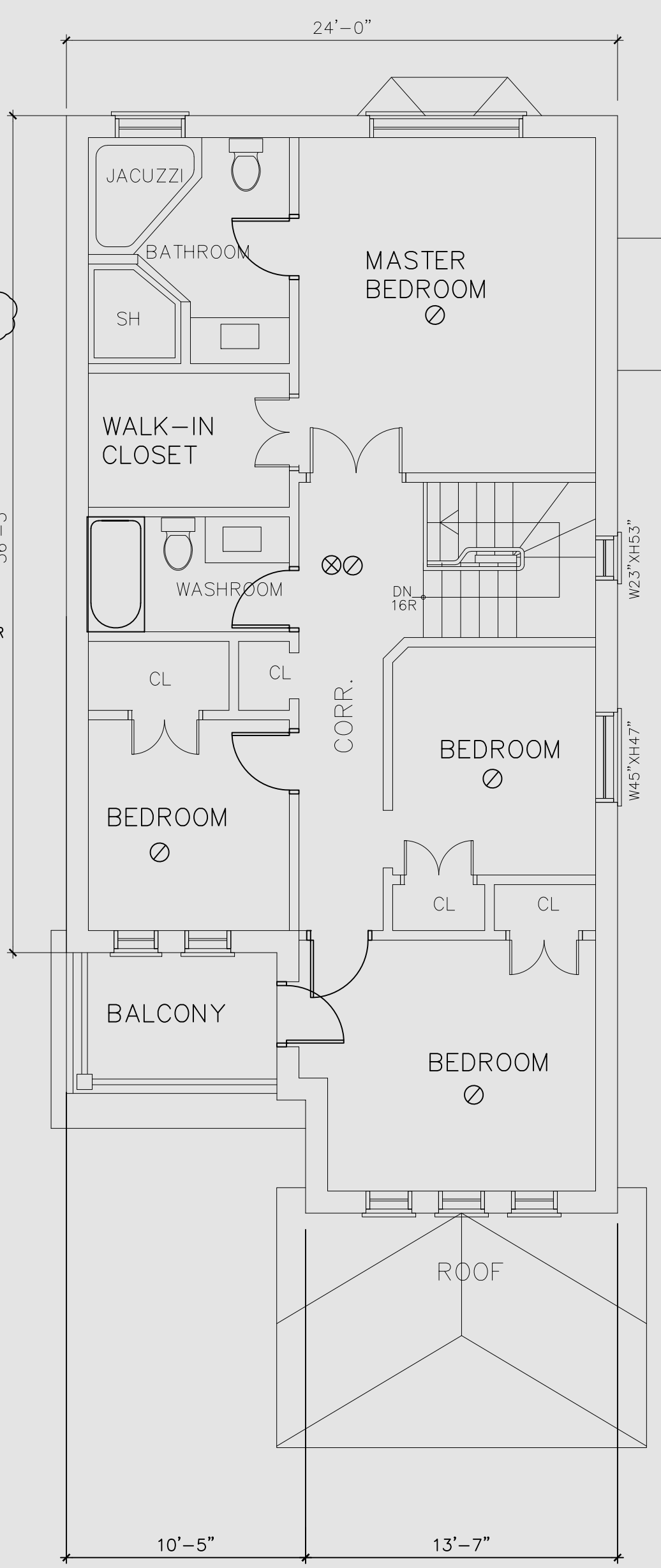
scale: 3/16" = 1'-0"

no change to EXISTING FLOOR STRUCTURE



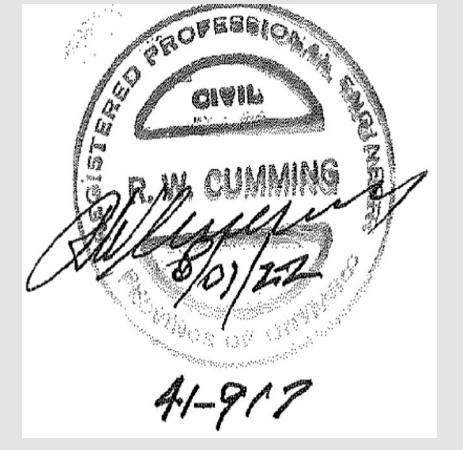


EXISTING FIRST FLOOR PLAN
 scale: 3/16" = 1'-0"



EXISTING SECOND FLOOR PLAN
 scale: 3/16" = 1'-0"

no change to mech. an exhaust system



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QUALIFICATION INFORMATION:
 K. KANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
 VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: BASEMENT RENOVATED PLAN

PROJECT: NEW BASEMENT APT EXISTING DWELLING RENOVATION TO 1388 CASTLEMORE AVENUE, MARKHAM

OWNER: Chitra Pathmanathan

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TORONTO Ont.

SCALE: 3/16" = 1'-0"
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DATE: OCT 24,21
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CHECKED BY: K.V.
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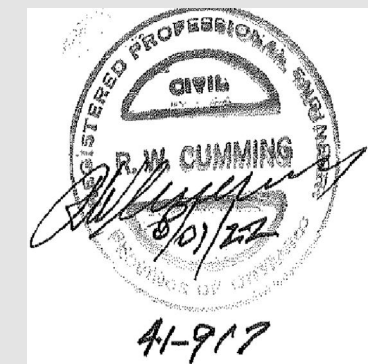
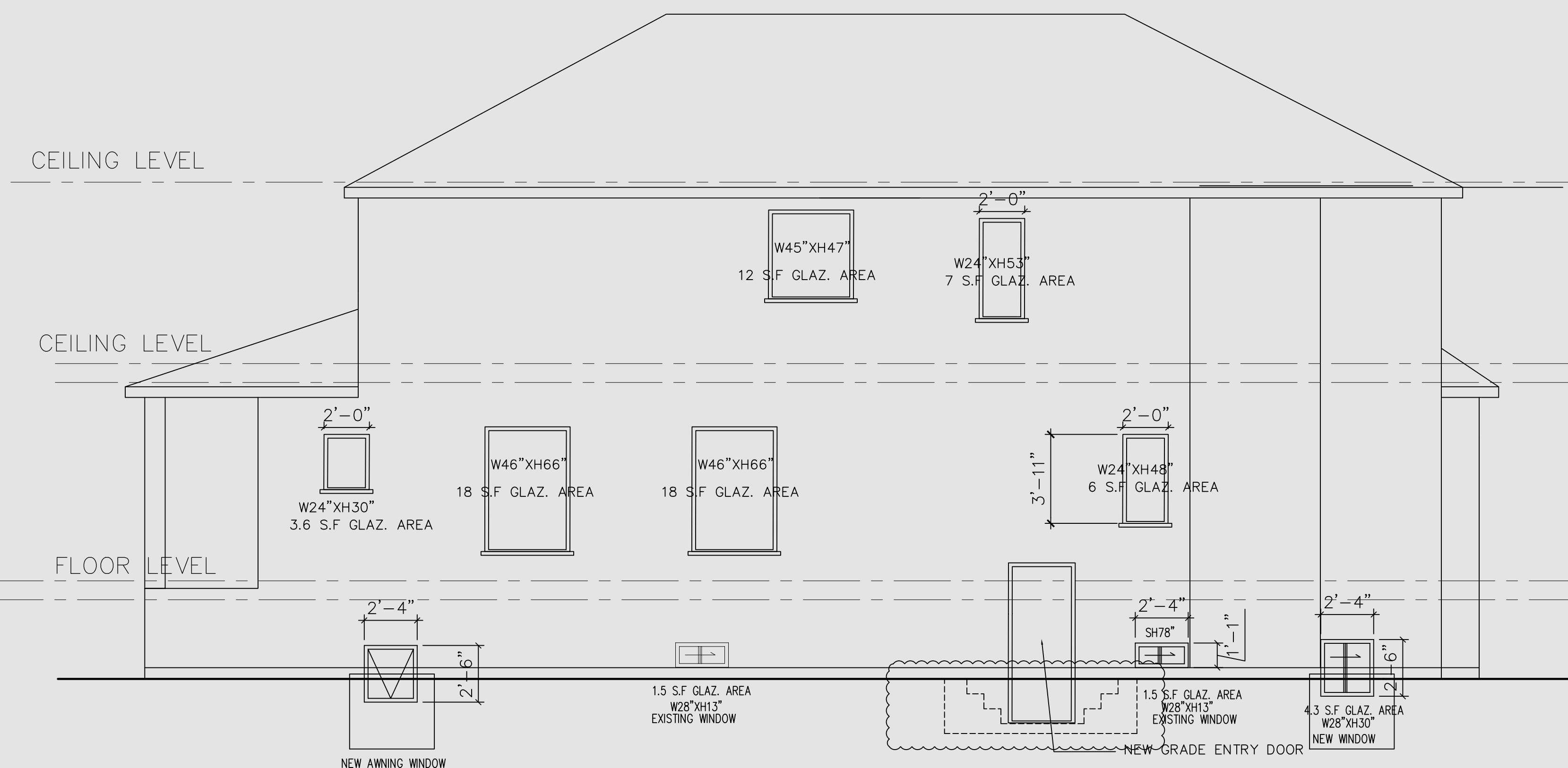


Table 9.10.15.4.
Maximum Area of Glazed Openings in Exterior Walls of Houses
7.0% MAX.window openings

EAST ELEVATION

SCALE 1/4" = 1'-0"

ALLOWABLE UNPROTECTED OPENINGS	
TOTAL WALL AREA =	1115 square ft. (103.6 S.M.)
LIMITING DISTANCE=	4'-0" FT.
ALLOWABLE OPENINGS =	78.0 S.F.(7.2 SM.)
ACTUAL OPENINGS =	76.2 S.F

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE O.B.C TO BE A DESIGNER

QUALIFICATION INFORMATION:
KRANAGAVARATHA (B.C.I.N) 26147

REGISTRATION INFORMATION:
VARATHA DESIGN ASSOCIATES (B.C.I.N) 33937

DRAWING TITLE: EAST ELEVATION

PROJECT: NEW BASEMENT APT EXISTING DWELLING RENOVATION TO 1388 CASTLEMORE AVENUE. MARKHAM

OWNER: Chitra Pathmanathan

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2	REVISIONS	K.V.	JAN3,21
1	BUILDING PERMIT	K.V.	OCT 24,21
	REVISION/ISSUED TO		

VARATHA DESIGN ASSOCIATES
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SCALE: 1/4" = 1'-0"
CAD FILE :
JOB No.: 21244

DATE: OCT 24,21
DWG NO: A5
OF 5

DRAWN BY: K.V.
CHECKED BY: K.V.
DATE OF PRINT: OCT 24,21

APPENDIX "D"
MINUTES EXTRACT: APRIL 20, 2022

The Secretary-Treasurer introduced the application.

The agent, Sam from SHDesign, appeared on behalf of the application.

Committee member, Jeamie Reingold understands that Pomander Street is one of two streets with the larger homes and with a generous lot that can support a roughly 4200 square foot home. States it is compatible with adjacent homes on Pomander Street, and supports the application with conditions.

Committee member, Patrick Sampson has no concerns with lot coverage issue and questions if the roof and dormer are only for a visual effect.

The agent, Sam from SHDesign, confirms that the roof and dormer are for a visual effect.

Committee member Patrick Sampson supports the application.

Moved By: Jeamie Reingold

Seconded By: Patrick Sampson

THAT Application No **A/008/22** be approved subject to conditions contained in the staff report.

Resolution Carried

5. A/016/22

Owner Name: Chitra Pathmanathan

Agent Name: Varatha Design Associates (Ken Varatha)

1388 Castlemore Avenue, Markham

PLAN 65M4025 LOT 164

The applicant is requesting relief from the requirements of By-law 177-96, as amended to permit:

- a) **By-law 28-97, Section 3.0 - Table A:**
two parking spaces, whereas the By-law requires three parking spaces;
- b) **By-law 177-97, Section 6.5:**
an accessory dwelling unit, whereas the By-law does not permit more than one dwelling unit on a lot;
- c) **By-law 177-96, Section 7.134.2 (a)(ii):**

an interior side yard setback of 0.127 metres, whereas the By-law requires a 0.3 metre with a minimum 1.2 metre separation between dwellings on abutting lots;

as it relates to proposed basement apartment (secondary suite). **(East District, Ward 5)**

The Secretary-Treasurer introduced the application.

The agent, Ken Varatha, appeared on behalf of the application.

Inithini Haran of 1390 Castlemore Avenue, opposes this application and has concerns as the proposed entrance for the accessory dwelling unit is too close to the adjacent property.

Committee member, Tom Gutfreund, states that from the Staff report, engineering has concerns for drainage, and also states that the tampering to the swale will further cause concerns. Committee member Tom Gutfreund states that this application does not meet the four tests and does not support this application.

The agent, Ken presents and shows images of the subject property being the one without the concrete path.

Committee member Patrick Sampson, states that he supports engineering's comments with drainage concerns and questions how will the applicant address the additional parking space.

Manager of Zoning & Special Projects Brad Roberts, states that there is an understanding that the applicant has indicated the additional dwelling unit may be for family members who are elderly and who may not require a vehicle. Additionally, the Planning Act and by-laws are clear what is required and what can be requested which the current by-law states is one additional parking space. There would need to be coordination with the applicant and the tenant.

Committee member Tom Gutfreund states he does not believe that they can approve this application as there is opposition to the location of the entrance, and states a deferral may be the best option to address a different point of entry.

The agent, Ken states that if they have to, there may be options to place the entrance in the rear, however is unsure if there are required variances and questions if a deferral is the best option.

Moved By: Tom Gutfreund
Seconded By: Patrick Sampson

THAT Application No **A/016/22** be deferred sine die.