

Memorandum to the City of Markham Committee of Adjustment

February 11, 2021

File: A/112/20
Address: 48 Washington St Markham
Applicant: MICON (Nigel Fung)
Agent: MICON (Nigel Fung)
Hearing Date: Wednesday February 17, 2021

The following comments are provided on behalf of the Heritage Team:

The applicant is requesting relief from the following requirements of By-law 1229, C2 as amended, to permit:

- 1. an unenclosed porch and stairs to encroach 105 inches*, whereas the By-law permits 18 inches.**

*Although the encroachment request is 105 inches, the grandfathered footprint of the previous porch already encroached approximately 90 inches; the request relative to the grandfathered encroachment is 15 inches (the width of 2 steps). This application relates to the replication of the historic front porch approved by the City, as recommended by Heritage Markham.

BACKGROUND

Property Description

The subject property is located on the west side of Washington Street on the south west corner of Joseph and Washington Streets in the Markham Village Heritage Conservation District. The property is occupied by a Gothic Revival Heritage structure which fronts Washington Street that has been converted into a dental office (See Figure 1 Location Map).

In 2017, the owners of the property applied for, and were approved to receive a Commercial Façade Improvement Grant from the City of Markham to replace the existing early 20th century front porch, which had become structurally unsafe (See Figure 2- Photograph of the previous front porch), with an appropriate new front porch more complementary to the Gothic Revival style of the house.

The previous porch had stairs that accessed the south side of the porch, whereas the new porch was designed to have stairs extending from the front of the new porch to the sidewalk. The previous porch encroached 90 inches into the minimum front yard but was grandfathered because it predated the implementation of the Zoning By-law.

During the construction phase of the new front porch, it was determined that the new front porch and stairs encroached 105 inches into the minimum required front yard, but only 1 foot 3 inches more than the previous grandfathered front porch. Because the new porch is not grandfathered, a variance to permit the encroachment in the front yard is required (See Figure 3-Photograph of the new porch under construction).

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

The newly constructed front porch was reviewed, supported and approved by the City and was awarded a grant to help fund its construction because it was deemed to be an improvement that enhanced the existing heritage building and the Markham Village Heritage Conservation District as a whole. In lending its support for the construction of the new porch, Heritage Markham recommended that final review of any development application or permit to approve its construction be delegated to Heritage Section staff.

Staff is of the opinion that the requested variance is minor in nature, desirable for the appropriate development of the land, and maintains the purpose and effect of both the City's Official Plan and Zoning By-law as they apply to the conservation and enhancement of Markham's heritage resources and historic neighbourhoods.

PUBLIC INPUT SUMMARY

No written submissions were received as of February 11, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act and have no objection.

Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



Peter Wokral, Senior Heritage Planner

REVIEWED BY:



Regan Hutcheson, Manager of Heritage Planning

File Path: Amanda\File\ 20 130917 \Documents\District Team Comments Memo

APPENDIX "A"

CONDITION TO BE ATTACHED TO ANY APPROVAL OF FILE A/112/20

1. That the variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report.

CONDITION PREPARED BY:



Peter Wokral, Senior Heritage Planner

Figure 1- Location Map

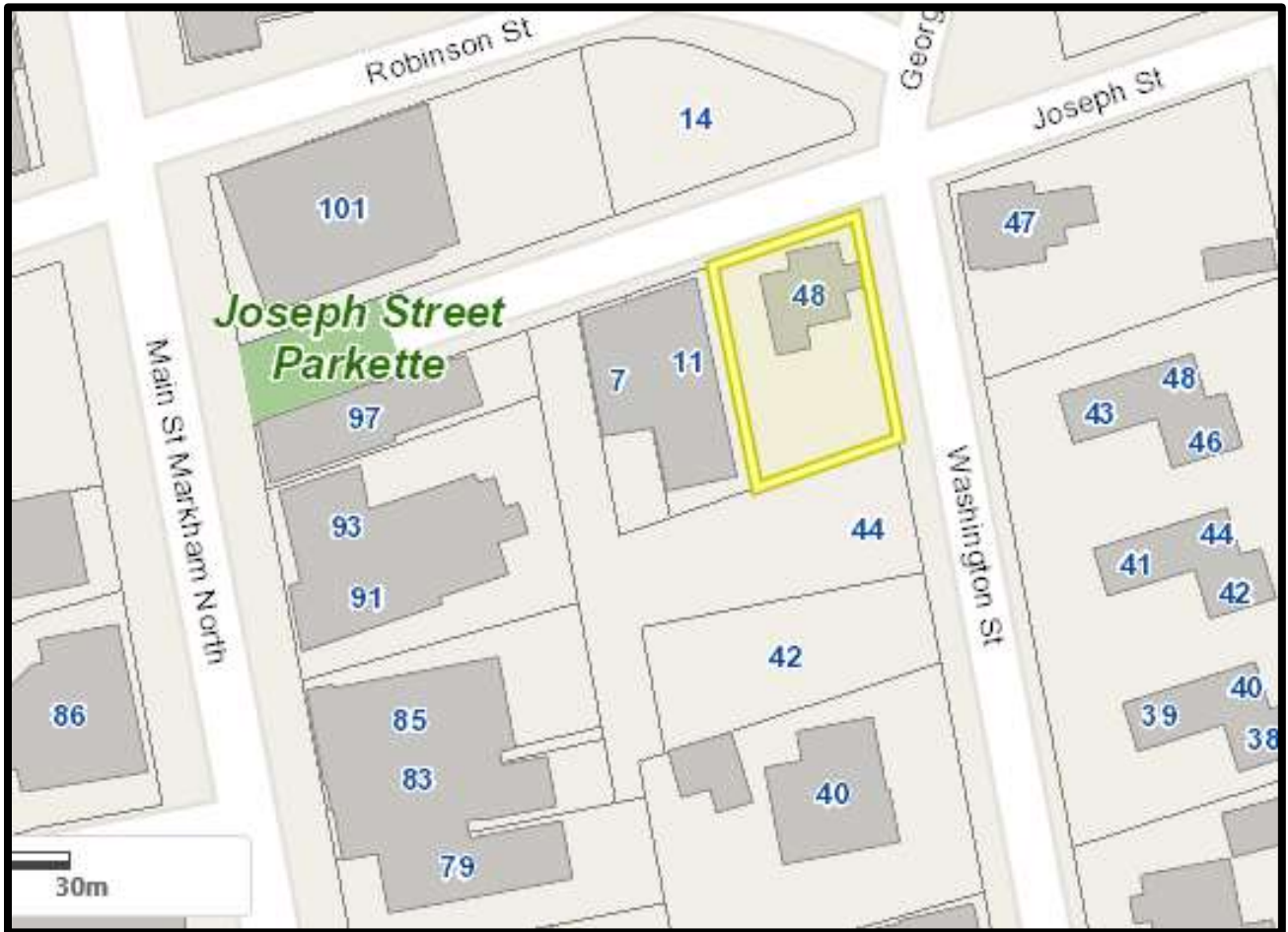


Figure 2- Photograph of previous front porch

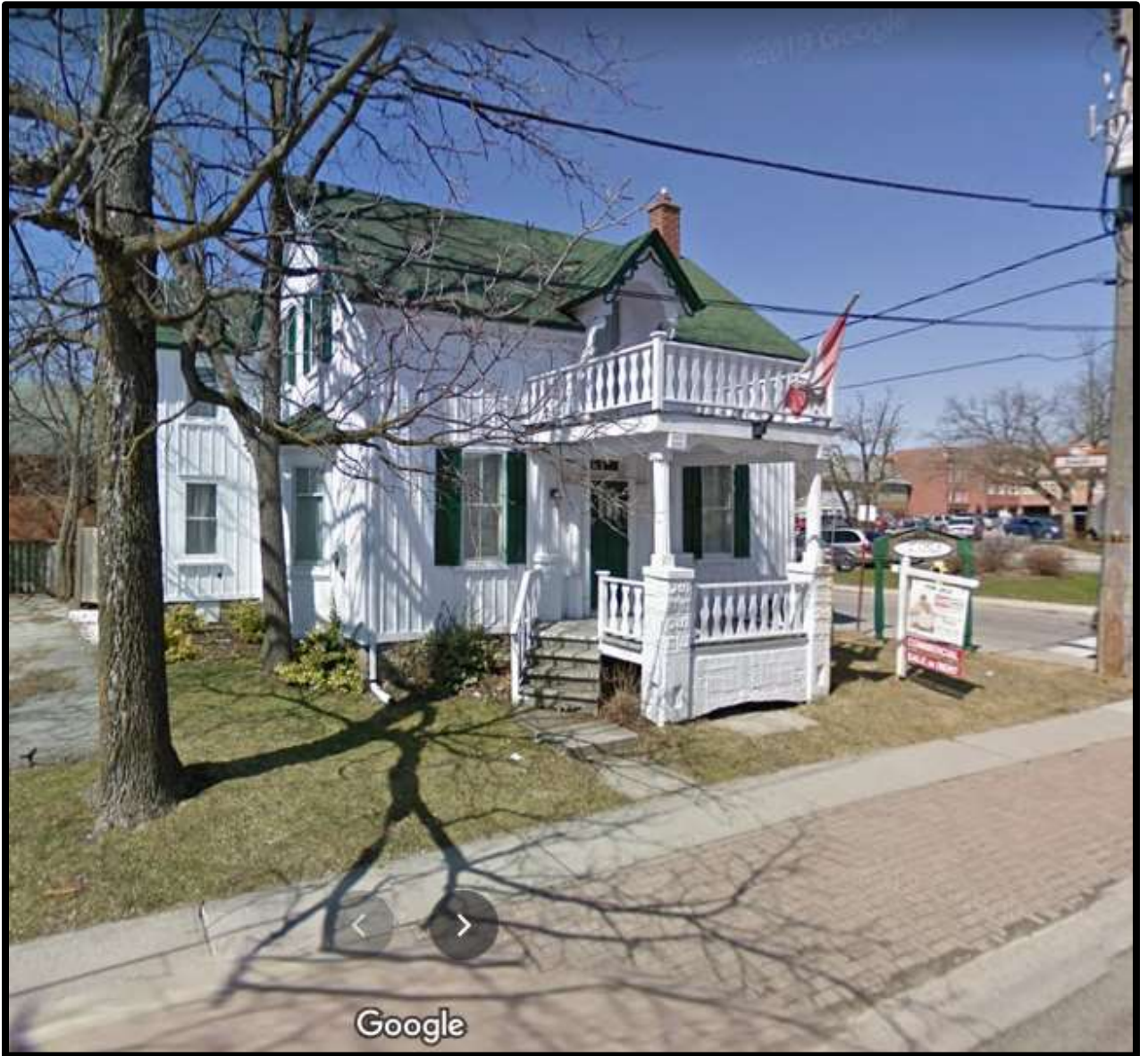
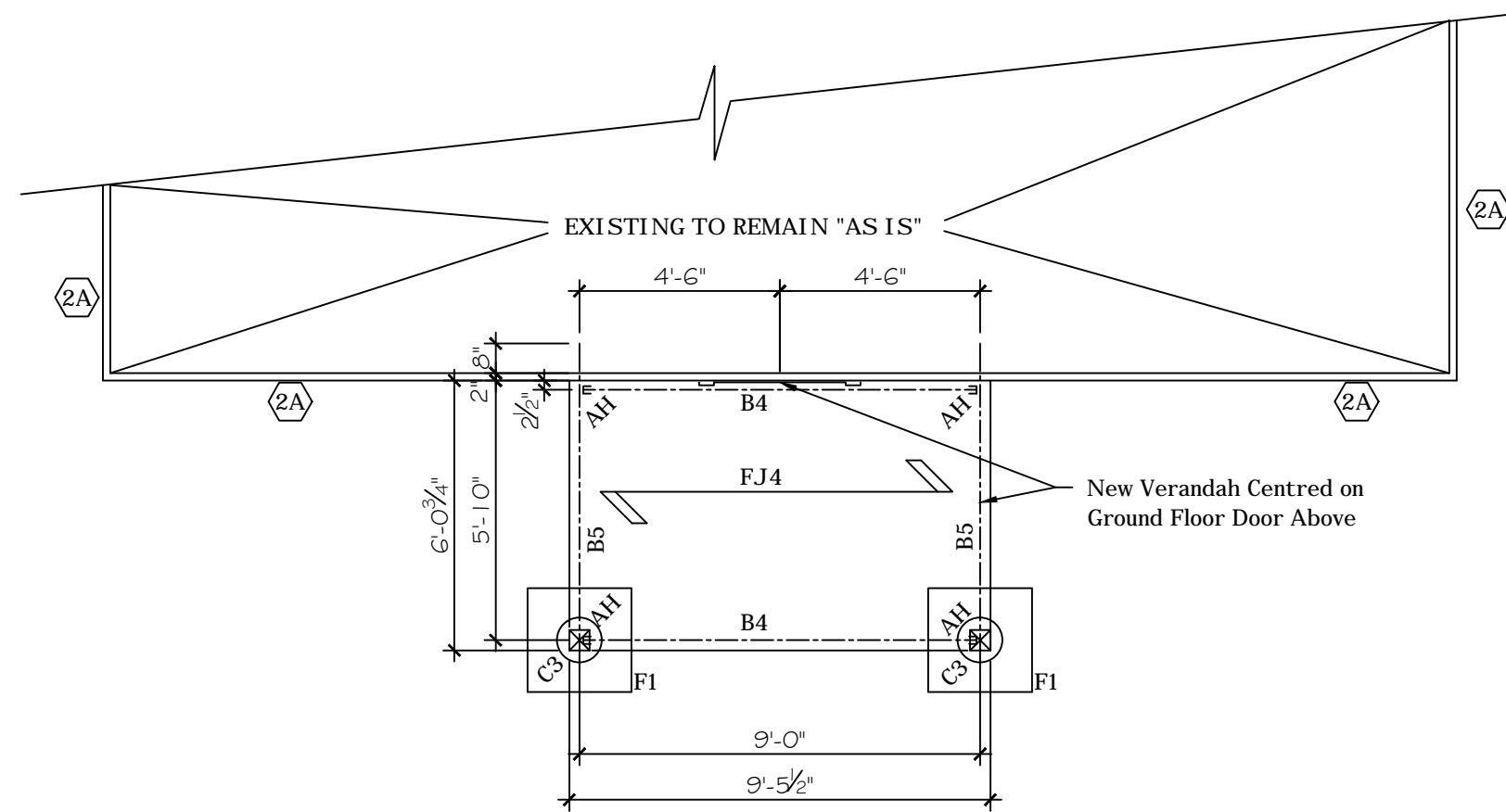


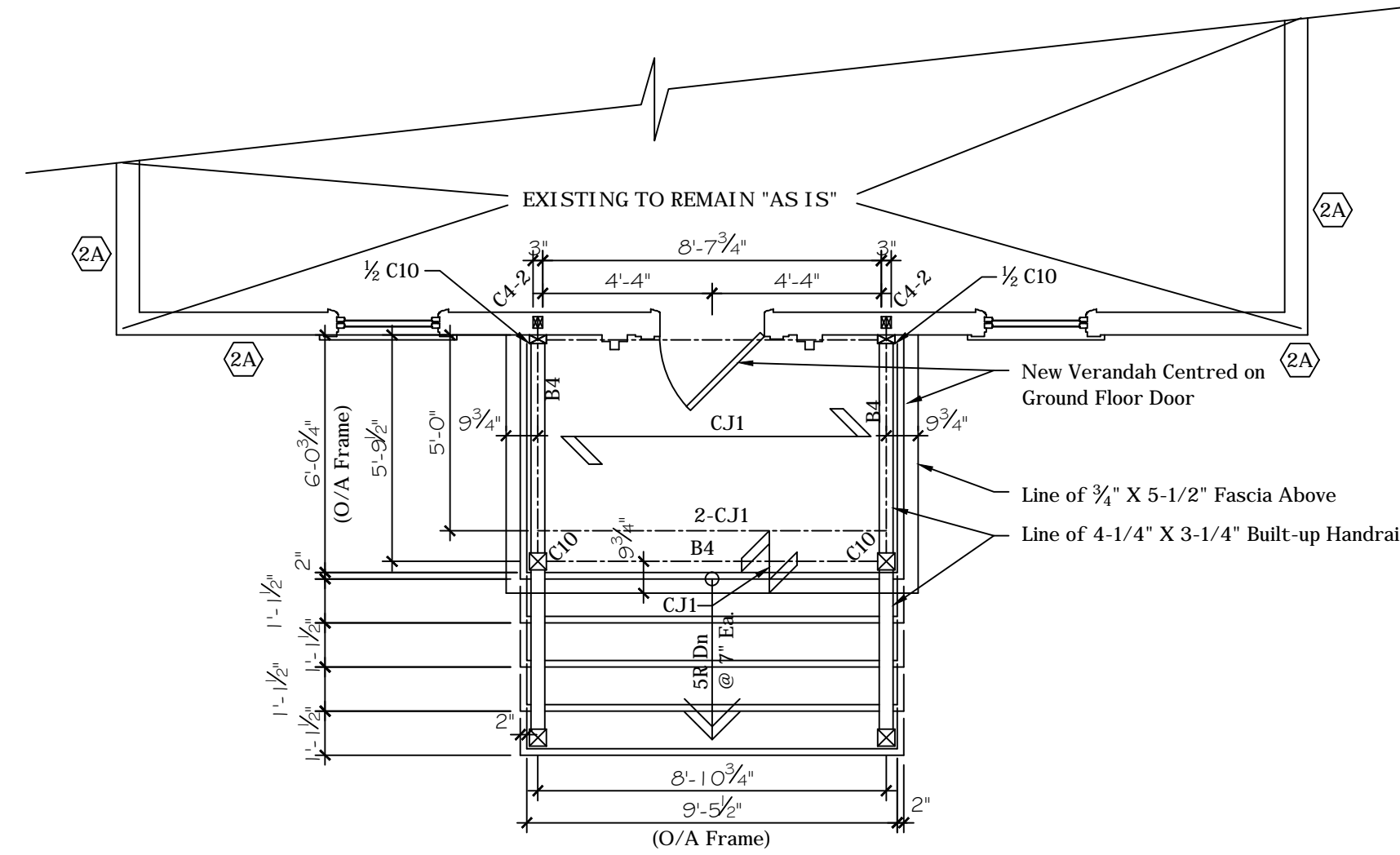
Figure 3- Photograph of newly constructed front porch and steps





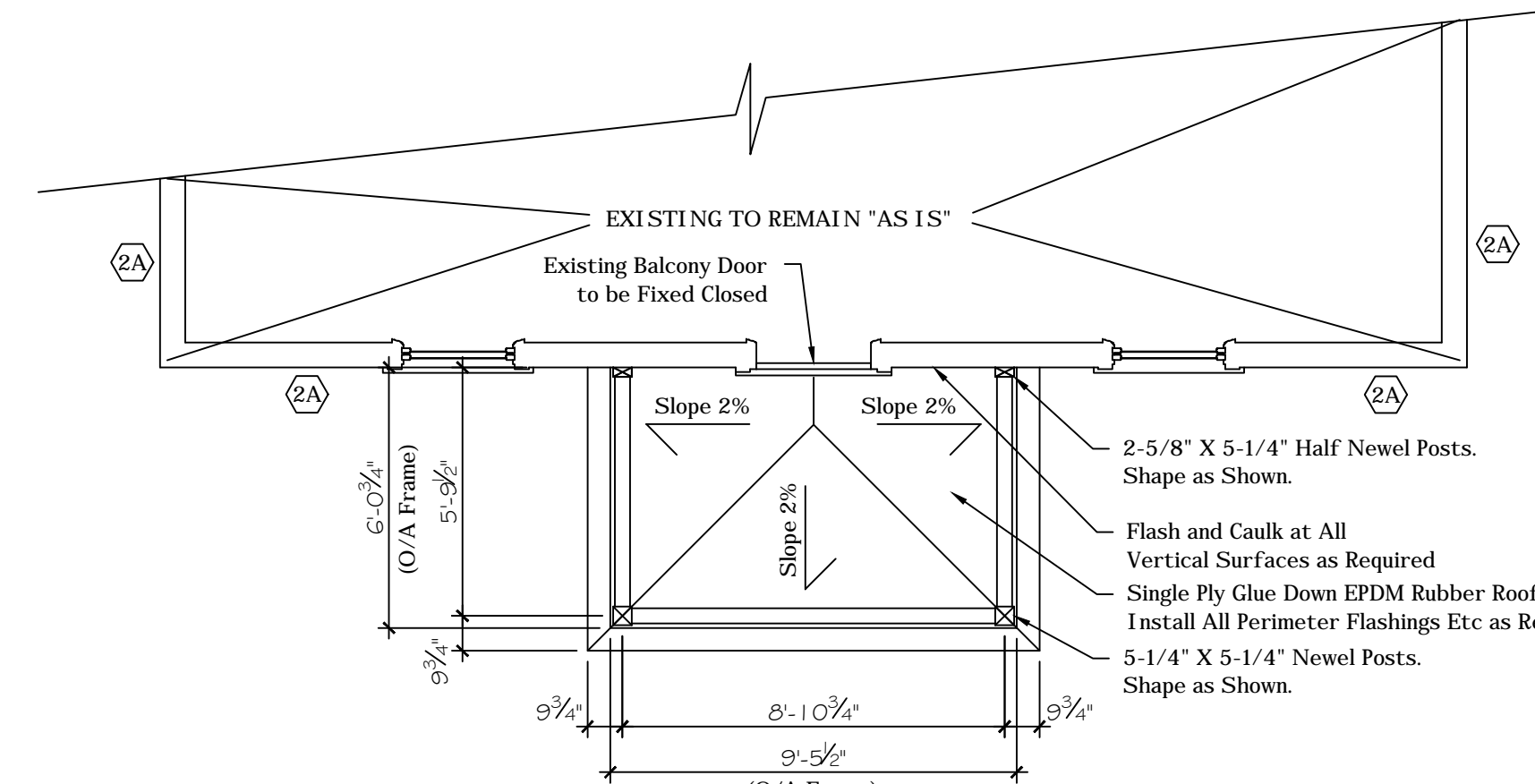
Verandah - Foundation Plan

Scale: 1/4"=1'-0"



Verandah - Ground Floor Plan

Scale: 1/4"=1'-0"



Verandah - Second Floor Plan

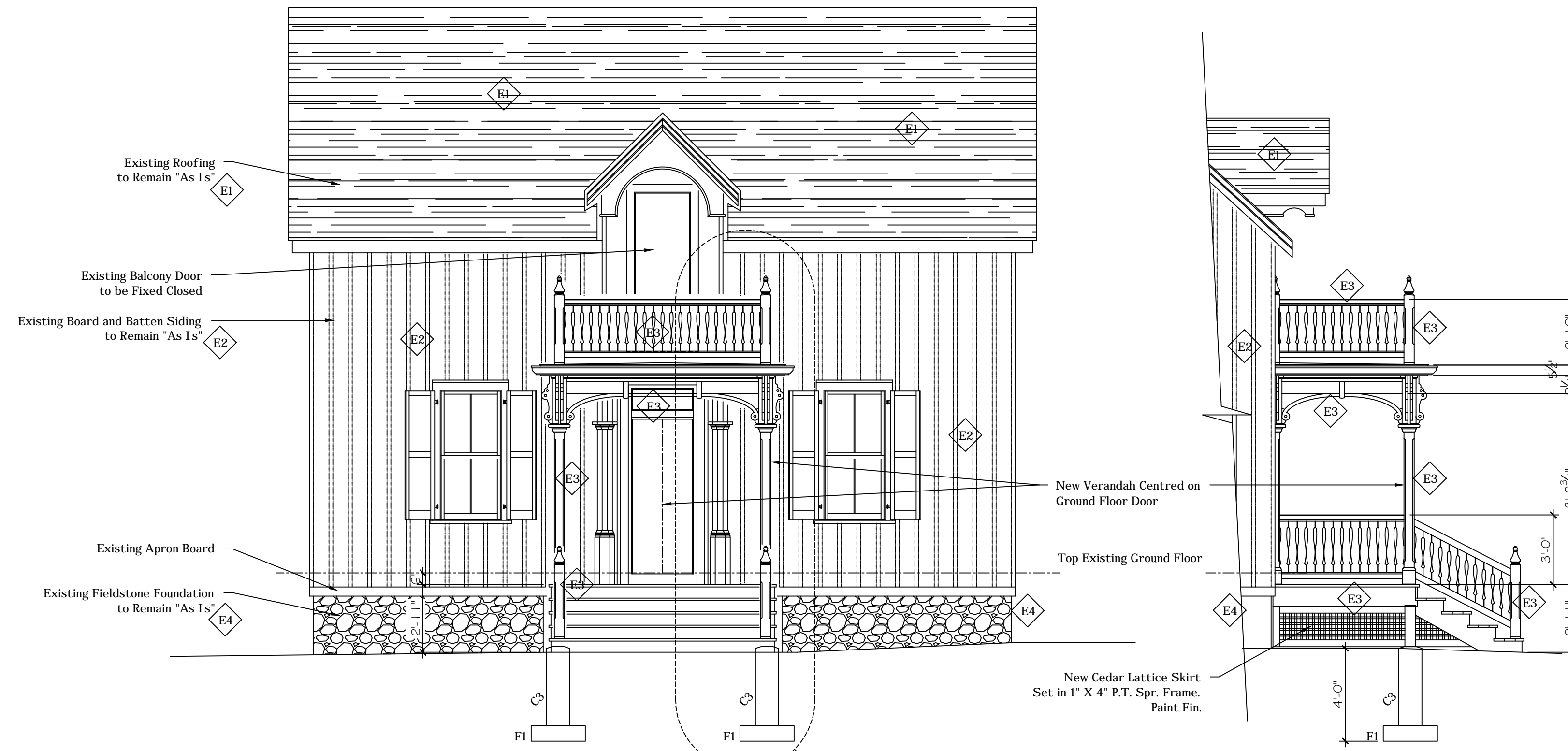
Scale: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

SYMBOL	DESCRIPTION
E1	Existing Roofing to Remain "As Is"
E2	Existing Vertical Board & Batten Wood Siding to Remain "As Is"
E3	Exterior Paint Finish. Paint 3 coat work. 1 Primer, 2 Finish. Primer - Benjamin Moore - "Fresh Start" Finish - Benjamin Moore - "Aura Collection" Colour by owner, Approved by Heritage Markham.
E4	Existing Fieldstone Masonry Foundation Wall System to Remain "As Is"

TRIM SCHEDULE

SYMBOL	DESCRIPTION
T1	SH1 - 203 1-1/4" X 2-1/4" Shingle Mould by "The Royal Wood Shop"
T2	SH1 - 002 1/2" X 1/2" Shingle Mould by "The Royal Wood Shop"



East Elevation

Scale: 1/4"=1'-0"

South Elevation

Scale: 1/4"=1'-0"

WALL SCHEDULE

SYMBOL	DESCRIPTION
2A	Existing Walls to remain

FOOTING SCHEDULE

SYMBOL	DESCRIPTION
F1	2'-4" X 2'-4" X 8" THK UNREINFORCED POURED CONC. FOOTING DOWN MIN. 4'-0" TO UNDISTURBED SOIL

COLUMN SCHEDULE

SYMBOL	DESCRIPTION
C1	5" DIA X 188 STEEL COLUMN C/W 8" X 8" X 1/2" THK STEEL BASE/TOP PLATE C/W 4-1/2" DIANS L ANCHOR BOLTS
C2	4" DIA X 188 STEEL COLUMN C/W 8" X 8" X 1/2" THK STEEL BASE/TOP PLATE C/W 4-1/2" DIANS L ANCHOR BOLTS
C3	1'-0" DIA. POURED CONC. PIER C/W CAST IN PLACE GALV STEEL SADDLE TO ACCEPT 6"x6" PT WOOD COLUMN ABOVE
C4-2	2-2" X 4" SPRUCE POST
C4-3	3-2" X 4" SPRUCE POST
C4-4	4-2" X 4" SPRUCE POST
C4-5	5-2" X 4" SPRUCE POST
C4-6	6-2" X 4" SPRUCE POST
C6-2	2-2" X 6" SPRUCE POST
C6-3	3-2" X 6" SPRUCE POST
C6-4	4-2" X 6" SPRUCE POST
C6-5	5-2" X 6" SPRUCE POST
C6-6	6-2" X 6" SPRUCE POST
C10	SOLID 5-1/4" X 5-1/4" DECORATIVE VERANDAH SUPPORT POST AS PER DETAIL

BEAM SCHEDULE

SYMBOL	DESCRIPTION
B1	2-2" X 8" B/U SPRUCE BEAM
B2	3-2" X 8" B/U SPRUCE BEAM
B3	4-2" X 8" B/U SPRUCE BEAM
B4	2-2" X 10" B/U SPRUCE BEAM
B5	3-2" X 10" B/U SPRUCE BEAM
B6	4-2" X 10" B/U SPRUCE BEAM
B7	2-2" X 12" B/U SPRUCE BEAM
B8	3-2" X 12" B/U SPRUCE BEAM
B9	4-2" X 12" B/U SPRUCE BEAM
B10	2-1/3" X 10-1/2" LVL B/U BEAM
B11	3-1/3" X 10-1/2" LVL B/U BEAM
B12	2-1/3" X 11-7/8" LVL B/U BEAM
B13	3-1/3" X 11-7/8" LVL B/U BEAM
B14	2-1/3" X 11-7/8" LVL B/U BEAM
B15	3-1/3" X 11-7/8" LVL B/U BEAM
B16	2-1/3" X 11-7/8" LVL B/U BEAM
B17	3-1/3" X 11-7/8" LVL B/U BEAM
B18	2-1/3" X 11-7/8" LVL B/U BEAM
B19	3-1/3" X 11-7/8" LVL B/U BEAM
B20	W250X58 STEEL BEAM
B21	W200X27 STEEL BEAM
B22	W200X71 STEEL BEAM OR W250X58

FLOOR JOIST SCHEDULE

SYMBOL	DESCRIPTION
FJEX	EXISTING FLOOR JOISTS TO REMAIN
FJ1	2" X 8" SPR. JOISTS @ 1'-0" O/C
FJ2	2" X 8" SPR. JOISTS @ 1'-4" O/C
FJ3	2" X 10" SPR. JOISTS @ 1'-0" O/C
FJ4	2" X 10" SPR. JOISTS @ 1'-4" O/C
FJ5	2" X 12" SPR. JOISTS @ 1'-0" O/C
FJ6	2" X 12" SPR. JOISTS @ 1'-4" O/C
FJ7	T/J 1/230 9-1/2" FLOOR JOISTS @ 1'-4" O/C
FJ8	T/J 1/230 11-7/8" FLOOR JOISTS @ 1'-0" O/C
FJ9	T/J 1/230 11-7/8" FLOOR JOISTS @ 1'-4" O/C

ROOF RAFTER/CLG JOIST SCHEDULE

SYMBOL	DESCRIPTION
R-EX	EXISTING ROOF RAFTER SYSTEM TO REMAIN AS IS
R1	2" X 8" SPRUCE RAFTERS @ 1'-4" O/C
R2	2" X 8" SPRUCE RAFTERS @ 1'-4" O/C
R3	2" X 10" SPRUCE RAFTERS @ 1'-4" O/C
R4	2" X 12" SPRUCE RAFTERS @ 1'-4" O/C
R5	2" X 4" SPRUCE LOOK-OUT RAFTERS @ 1'-4" O/C
R6	2" X 10" SPRUCE RIDGE BOARD
R7	2" X 12" SPRUCE RIDGE BOARD
R8	2" X 8" SPRUCE VALLEY/H/P RAFTER
R9	2" X 10" SPRUCE VALLEY/H/P RAFTER
R10	2" X 12" SPRUCE VALLEY/H/P RAFTER
R11	1-3/4" X 1-2" LVL RIDGE BOARD
T1	PRE-ENGINEERED ROOF TRUSSES @ 1'-4" O/C. INSTALL AS PER MANUFACTURERS SPECIFICATIONS
T2	PRE-ENGINEERED ROOF TRUSSES @ 2'-0" O/C. INSTALL AS PER MANUFACTURERS SPECIFICATIONS
CJ1	2" X 8" SPRUCE CEILING JOISTS @ 1'-0" O/C
CJ2	2" X 8" SPRUCE CEILING JOISTS @ 1'-4" O/C
CJ3	2" X 10" SPRUCE CEILING JOISTS @ 1'-4" O/C
CJ4	2" X 12" SPRUCE CEILING JOISTS @ 1'-4" O/C
WC1	2" X 8" SPRUCE WALL CLEAT
WC2	2" X 10" SPRUCE WALL CLEAT
WC3	2" X 12" SPRUCE WALL CLEAT

LINTEL SCHEDULE

SYMBOL	DESCRIPTION
L-EX	EXISTING LINTELS TO REMAIN
L1	2-2" X 8" SPRUCE LINTEL
L2	2-2" X 10" SPRUCE LINTEL
L3	2-2" X 12" SPRUCE LINTEL
L4	3-2" X 10" SPRUCE LINTEL
L5	3-2" X 12" SPRUCE LINTEL
L6	2-1-3/4" X 11 1/2" LVL
L7	3-1-3/4" X 11 1/2" LVL

NOTE: ALL LINTELS IN EXTERIOR WALLS TO BE SUPPORTED BY MIN. 2-2" X 6" SPRUCE POST AT EACH END

NOTE: ALL LINTELS IN INTERIOR WALLS TO BE SUPPORTED BY MIN. 2-2" X 4" SPRUCE POST AT EACH END

DETAIL NUMBER
DRAWING NUMBER

No.	Description	Date
3	Extend Stairs by 2 Treads	06 / 10 / 2020
2	Stair Nosing Rev	31 / 10 / 2019
1	Issued for Client Review	14 / 06 / 2019

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Scott Rushlow SIGNATURE 29726
NAME BCIN

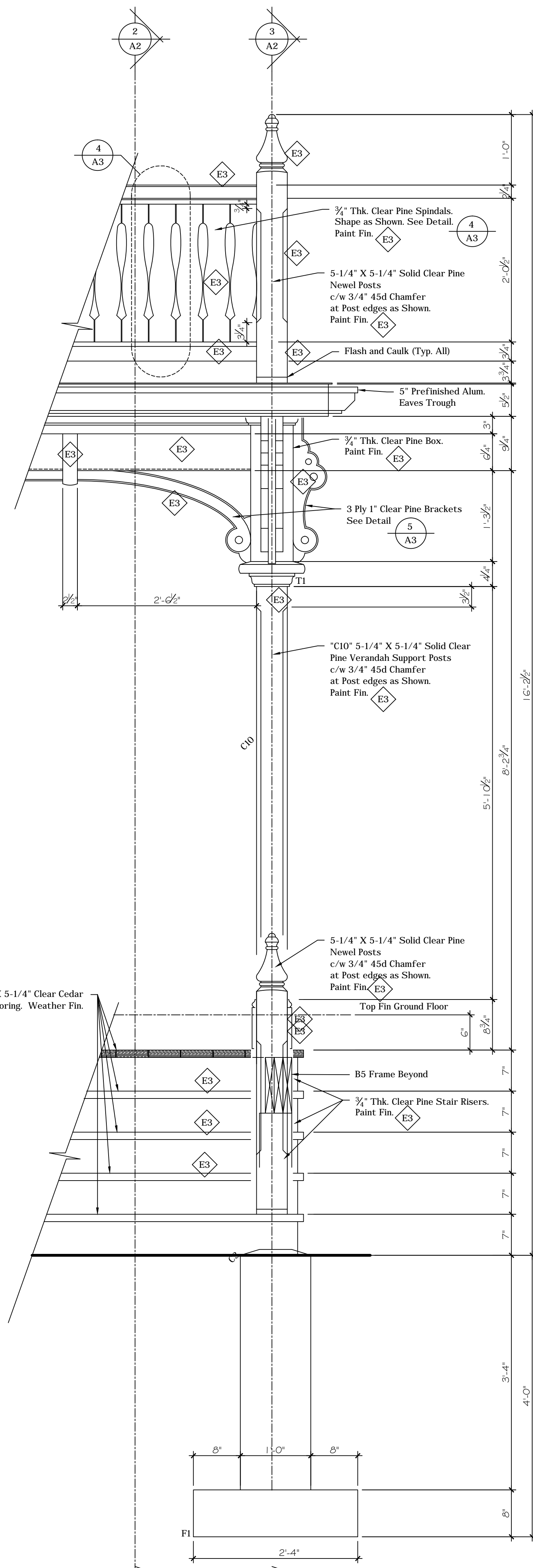
REGISTRATION INFORMATION
Scott Rushlow Associates Ltd 35924
FIRM BCIN

SCOTT RUSHLOW
associates Ltd
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

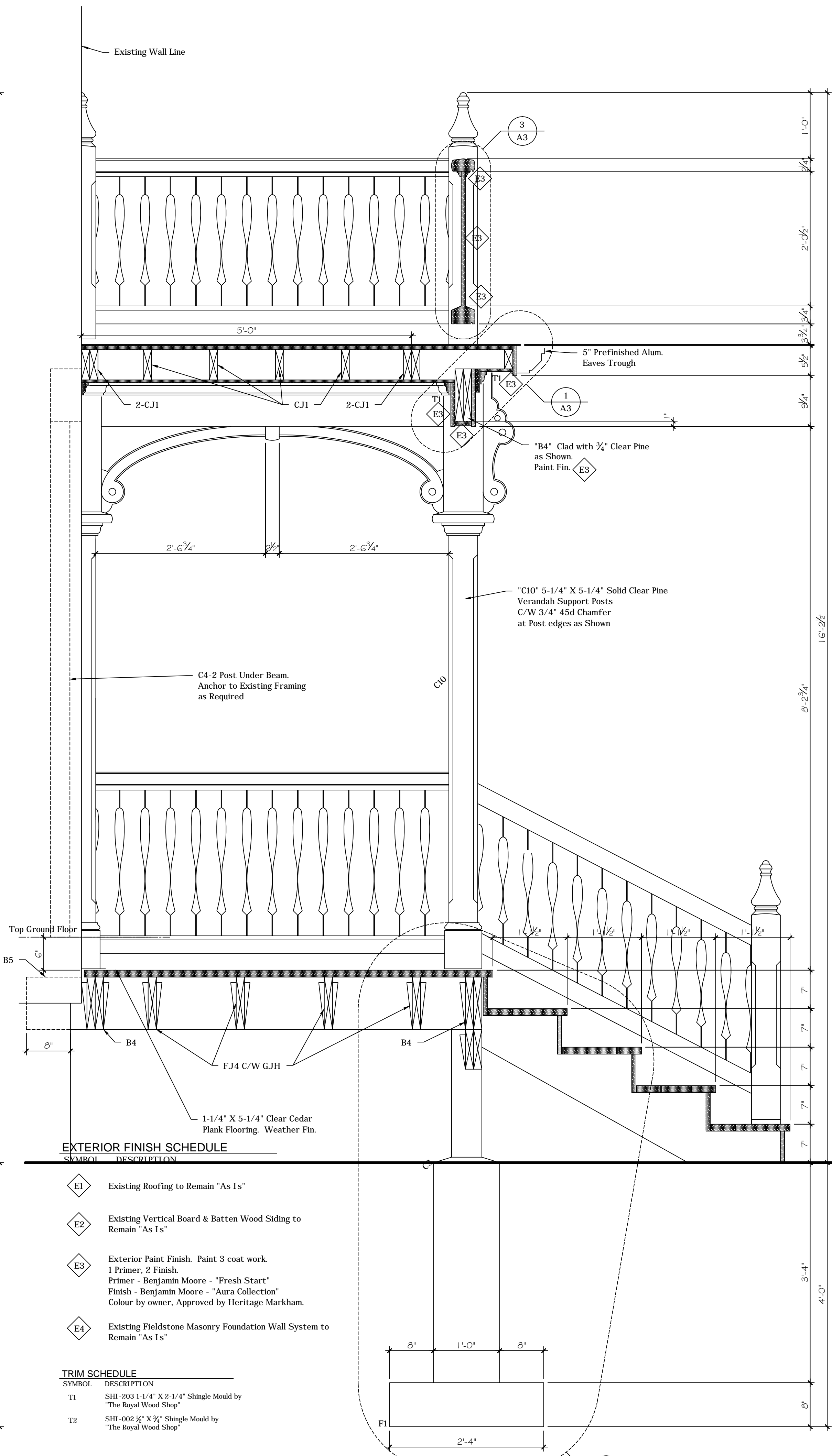
PROJECT
Sharma / Fung
Residence "Verandah"
48 Washington Street
Markham, Ontario

DRAWING TITLE
Foundation Plan
Ground Floor Plan
Second Floor Plan
Exterior Elevation

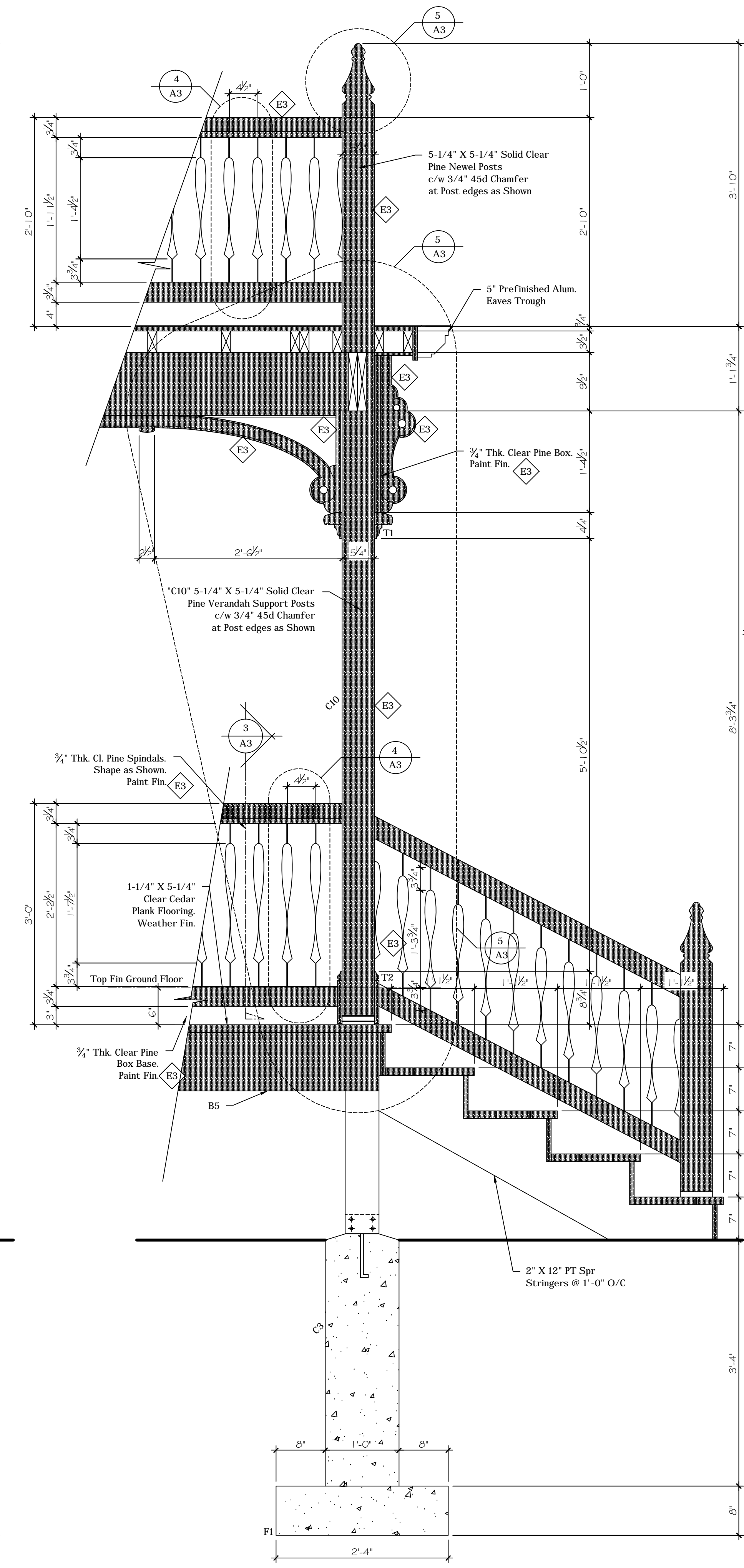
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Date:	Oct. 6, 2020	A1
Job No.		
Drawn By:	S.R.	
Checked By:		



1
A2 Verandah Detail - Elevation
Scale: 1"=1'-0"



2
A2 Verandah Detail - Section
Scale: 1"=1'-0"



3
A2 Verandah Detail - Section
Scale: 1"=1'-0"

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TRIM SCHEDULE

SYMBOL	DESCRIPTION
T1	SHI-203 1-1/4" X 2-1/4" Shingle Mould by "The Royal Wood Shop"
T2	SHI-002 1/2" X 3/4" Shingle Mould by "The Royal Wood Shop"

DETAIL NUMBER
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SCOTT RUSHLOW
 associates Ltd
 RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

PROJECT
 Sharma / Fung
 Residence Verandah
 48 Washington Street
 Markham, Ontario

DRAWING TITLE
 Verandah Details

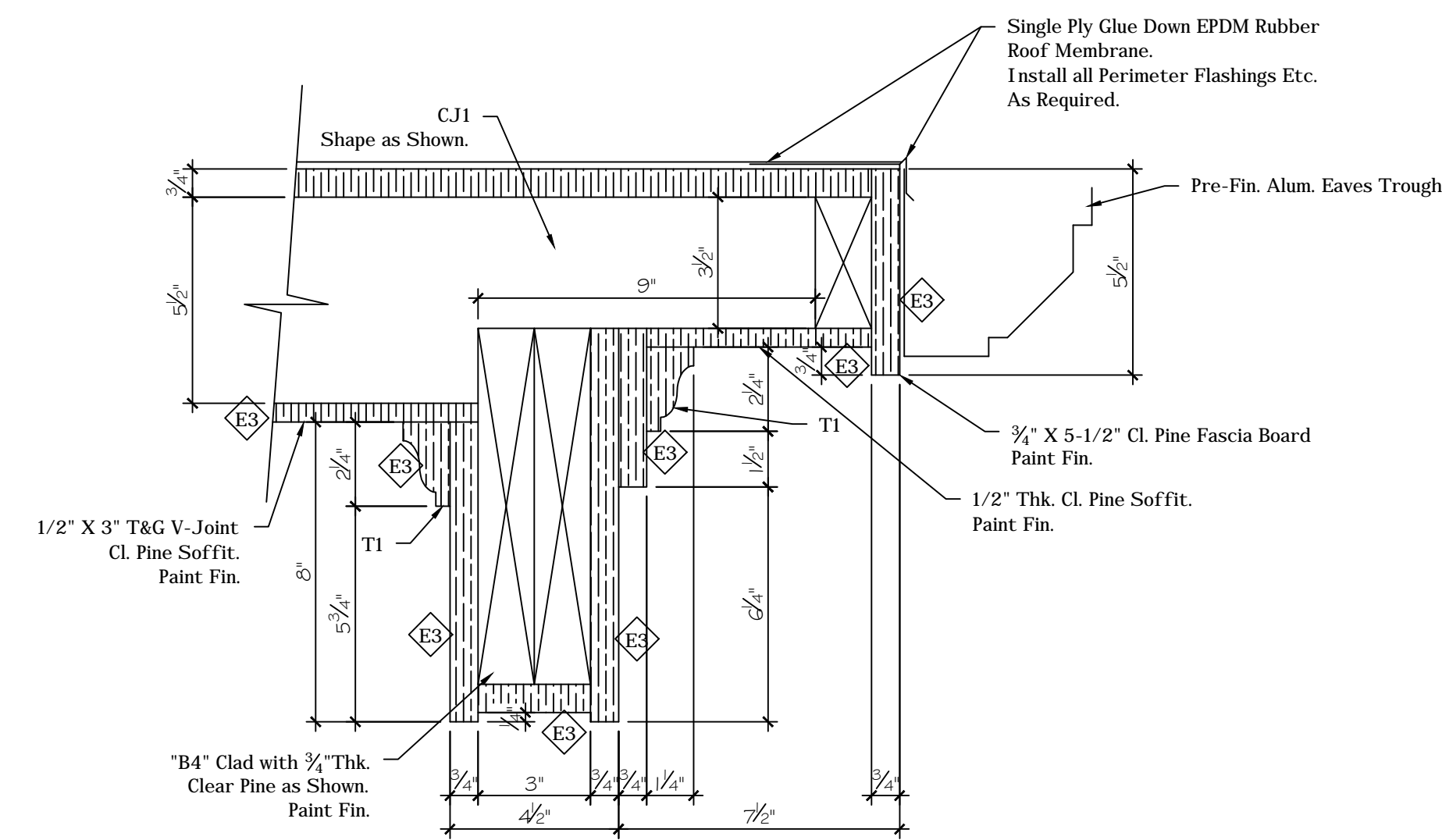
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Date:	Oct. 6, 2020	
Job No.		
Drawn By:	S.R.	
Checked By:		

EXTERIOR FINISH SCHEDULE

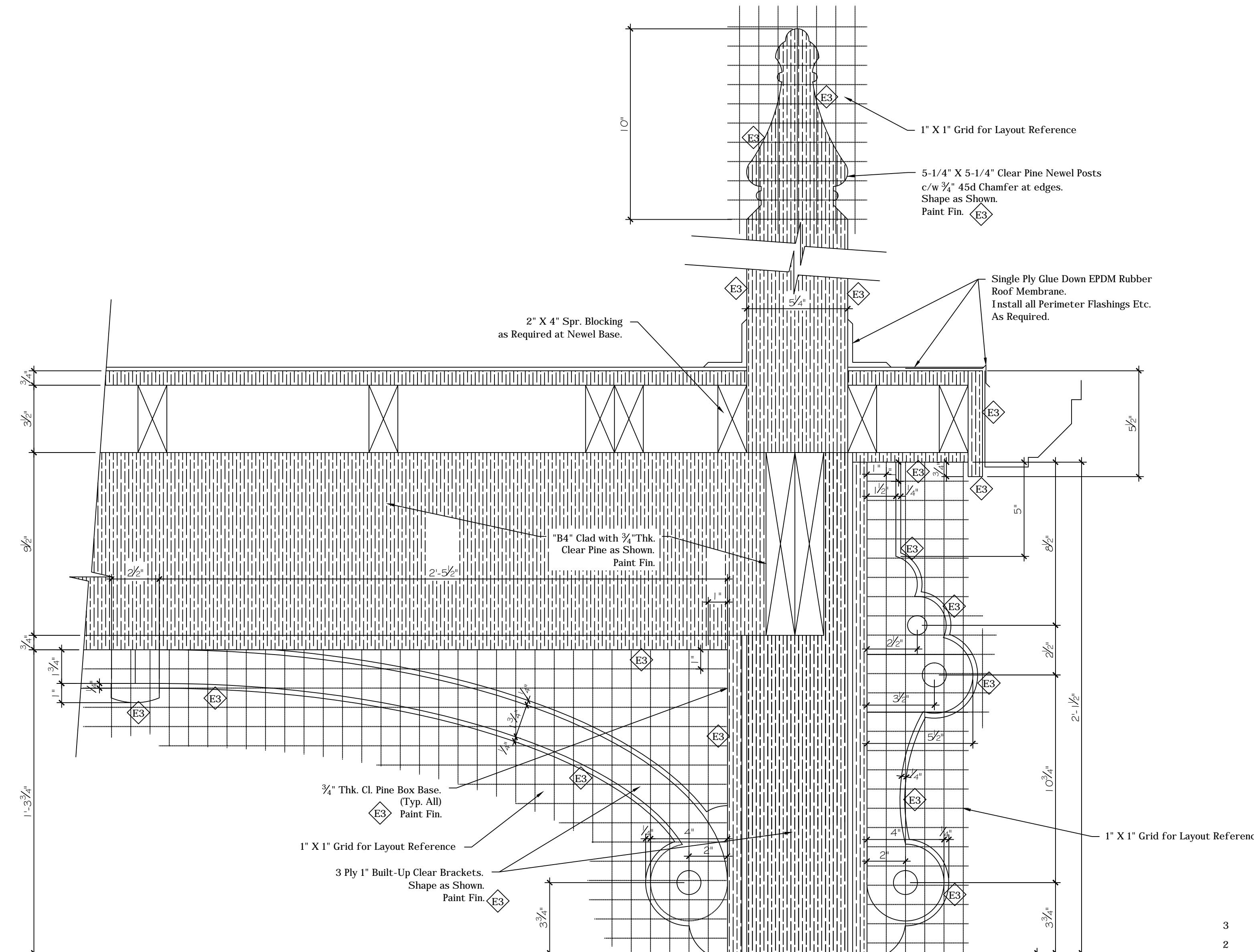
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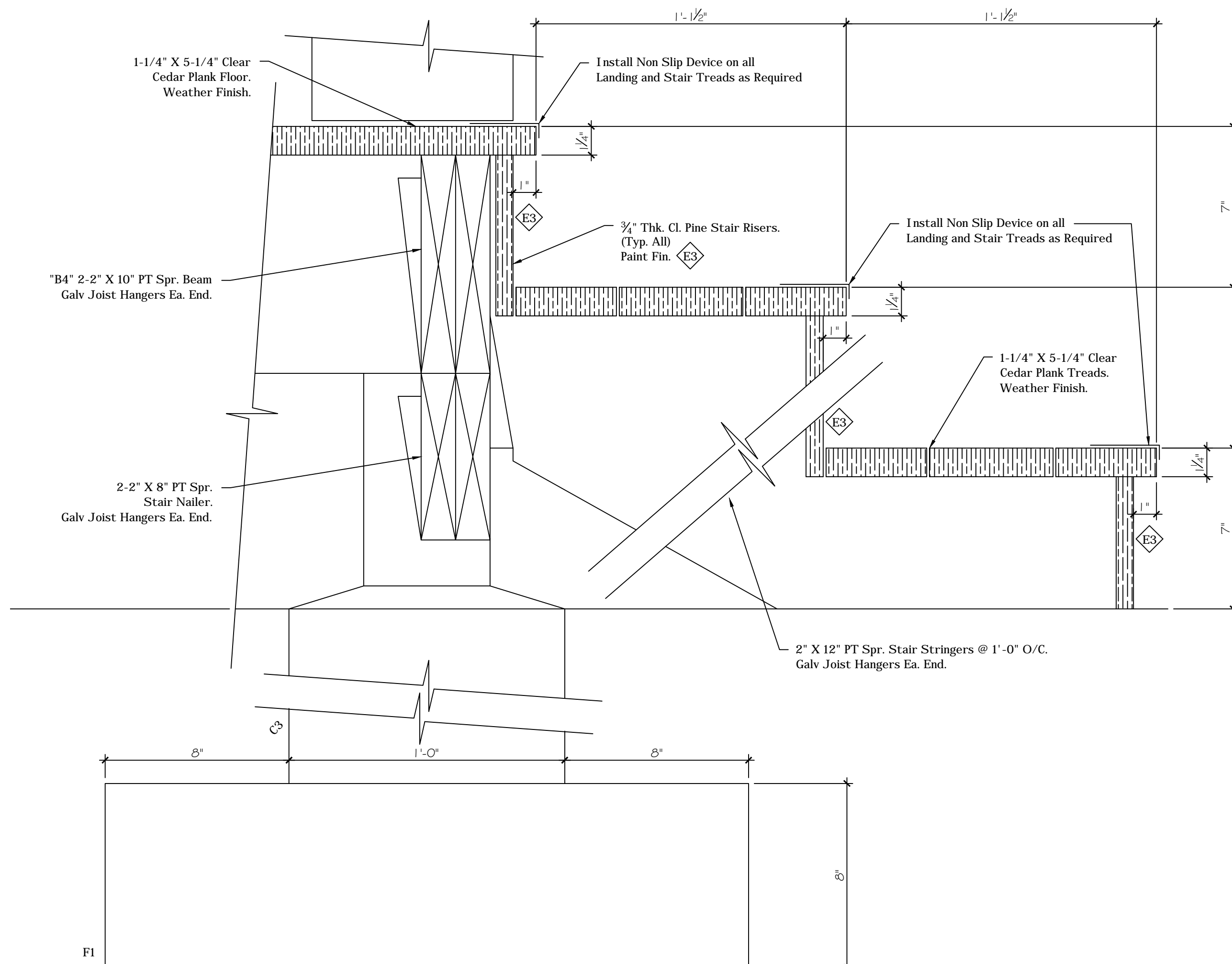
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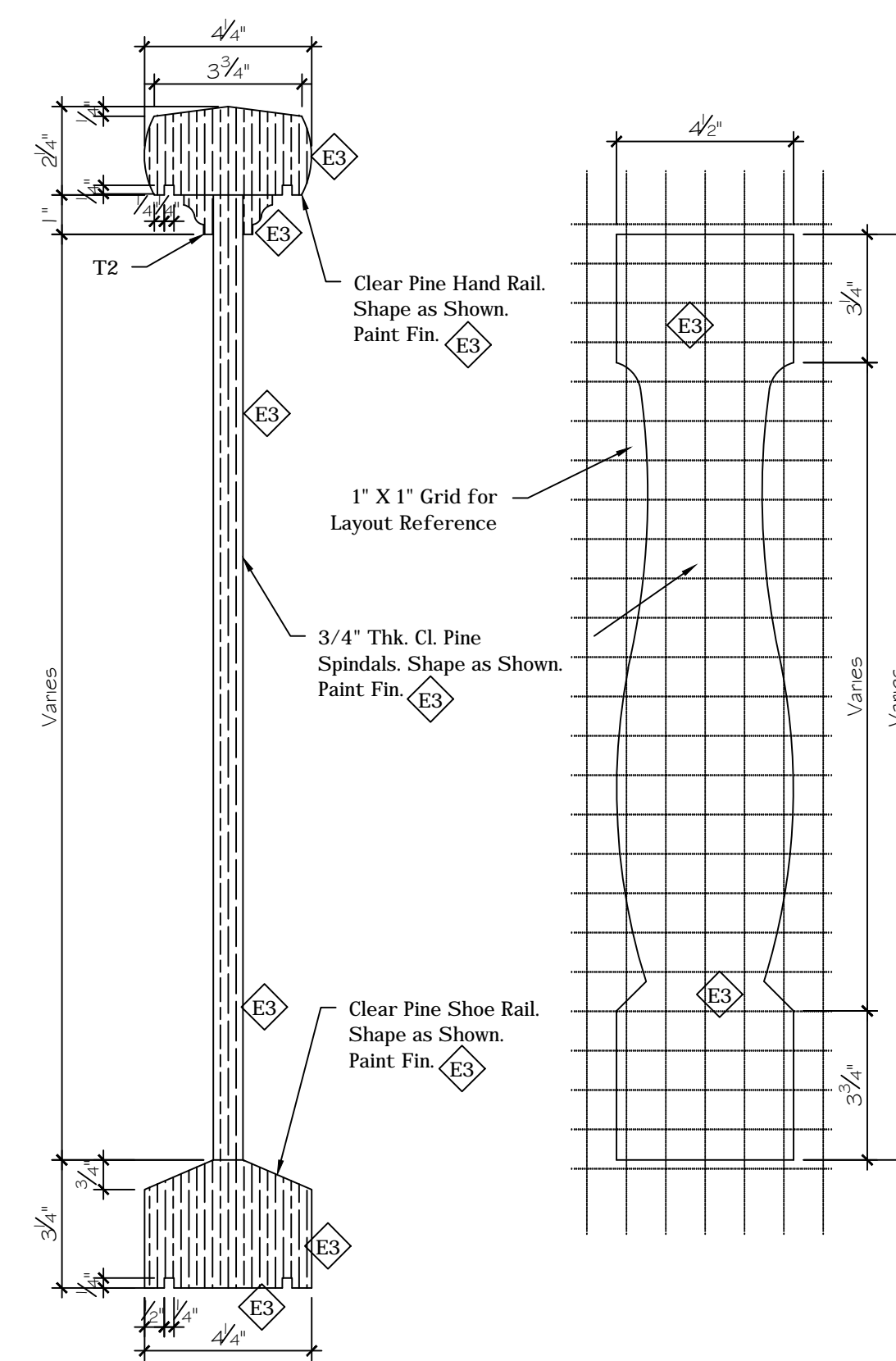
1 Verandah Soffit Detail
Scale: 3"=1'-0"



DETAIL NUMBER
DRAWING NUMBER

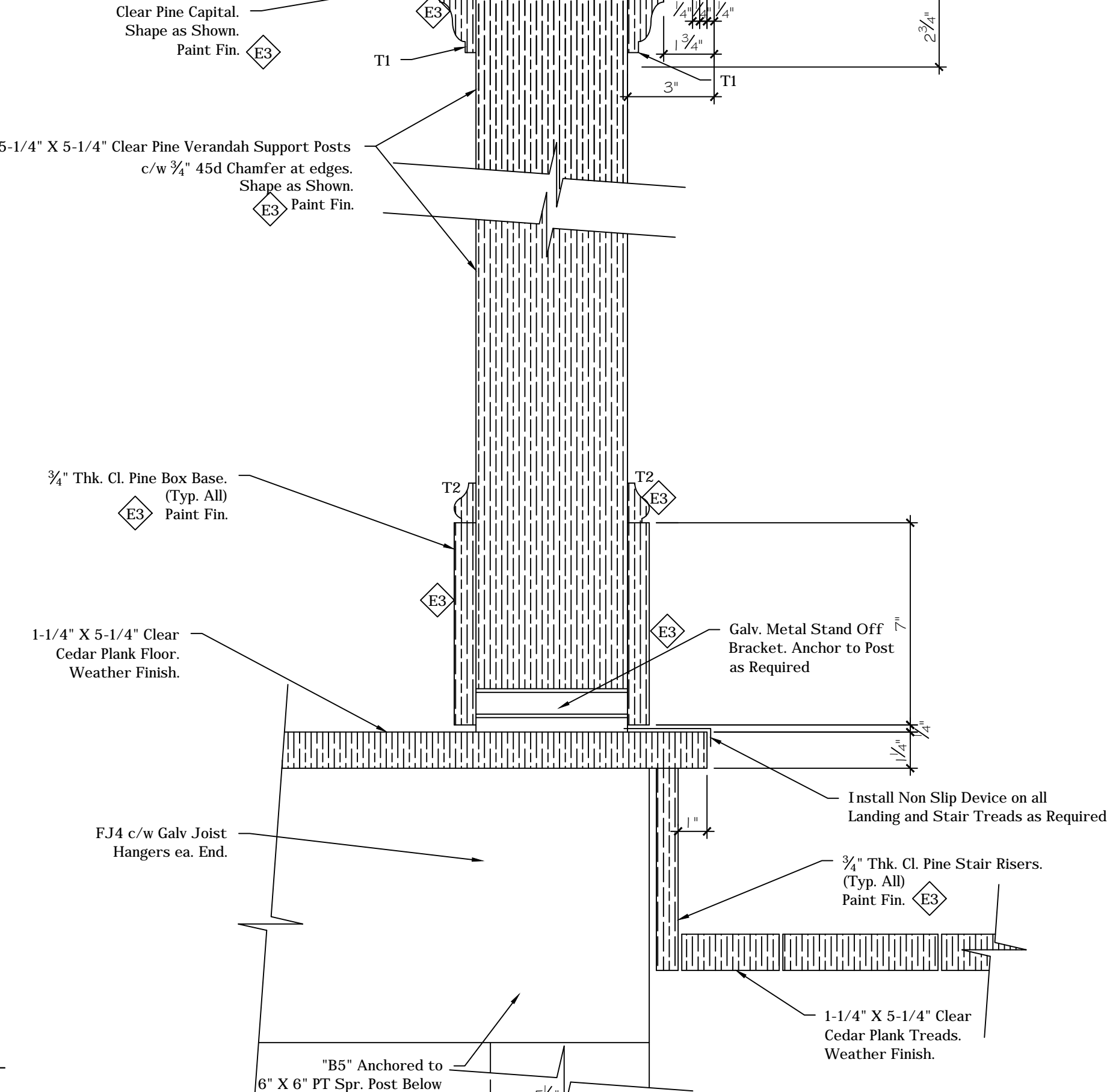


2 Verandah Stair Detail
Scale: 3"=1'-0"



3 Handrail Detail
Scale: 3"=1'-0"

4 Spindal Detail
Scale: 3"=1'-0"



5 Verandah Column / Bracket Detail
Scale: 3"=1'-0"

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associates Ltd
RR#2 Uxbridge, Ontario, L9P 1R2 (905) 852-5595

PROJECT
Sharma / Fung
Residence Verandah
48 Washington Street
Markham, Ontario

DRAWING TITLE
Verandah Details

Scale:	As Noted	DRAWING NO. A3
Date:	Oct. 6, 2020	
Job No.		
Drawn By:	S.R.	
Checked By:		