

# Memorandum to the City of Markham Committee of Adjustment

August 6, 2021

**File:** A/099/21  
**Address:** 25 Jonquil Crescent, Markham  
**Applicant:** Mahnaz Atkinson  
**Agent:** Talah Rose Developments Inc  
**Hearing Date:** August 11, 2021

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R1 – Residential as amended:

- a) **By-law 99-90, Sec. 1.2(I):**  
to permit a maximum building height of 8.61 m (28.25 ft), whereas by-law permits maximum building height of 8.0 m (26.25 ft);
- b) **By-law 99-90, Sec. 1.2(iii):**  
to permit a maximum building depth of 18.05 m (59.25 ft), whereas by-law permits maximum building depth of 16.8 m (55.12 ft);
- c) **By-law 99-90, Sec. 1.2(vi):**  
to allow maximum net floor area of 56 percent, whereas by-law permits maximum of 45 percent

as it relates to proposed addition and alteration to existing residential dwelling.

## BACKGROUND

### Property Description

The 978.27 m<sup>2</sup> (10,530 ft<sup>2</sup>) subject property is located on the east side of Jonquil Crescent, north of Highway 7 and west of Hawkridge Avenue. There is an existing one-store detached dwelling on the property, with mature vegetation along the front and rear of the property. The property is located within a residential neighbourhood comprised of a mix of one and two-storey detached dwellings constructed in the 1960's. The street and surrounding area is undergoing a transition with newer dwellings being developed as infill developments.

## COMMENTS

The applicant is proposing to construct second-storey addition over the existing one-storey detached dwelling (See Appendix A). The proposal also includes an expansion to front (garage) and rear of the dwelling and proposed alterations to the existing one-storey detached dwelling. The applicant originally applied for the following variances:

- **By-law 99-90, Sec. 1.2(I):** to permit a maximum building height of 10.06 m (33 ft), whereas by-law permits maximum building height of 8.0 m (26.25 ft);
- **By-law 99-90, Sec. 1.2(iv):** to permit a maximum garage projection of 2.2 m (7.22 ft), whereas by-law permits a maximum garage projection of 2.1 m (6.9 ft);
- **By-law 99-90, Sec. 1.2(iii):** to permit a maximum building depth of 20.36 m (66.8 ft), whereas by-law permits maximum building depth of 16.8 m (55.12 ft);

- **Table 11.1, By-law 1229:** to require a minimum setback of 1.47 m (4.8 ft) for interior side lot line (north side), whereas by-law requires minimum interior side yard setback of 1.8 m (6 ft); and
- **By-law 99-90, Sec. 1.2(vi):** to permit a maximum net floor area of 64 percent, whereas by-law permits maximum of 45 percent.

Staff had concerns with the proposed massing of the development and the impacts it may have on the character of the street. The applicant revised their proposal and removed the variance request for maximum garage projection and minimum interior side yard setback. The applicant also reduced their request for maximum building height, maximum building depth and maximum net floor area ratio. While staff recognize the applicant has made revisions by reducing and eliminated several of the requested variances Staff still have concerns with the proposed development as it relates to the massing of the dwelling. Staff have communicated this to the applicant who has provided a written request that the application be deferred. Staff have no objections to the applicant's request.

PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, East District

REVIEWED BY:

  
\_\_\_\_\_  
Stacia Muradali, Development Manager, East District  
File Path: Amanda\File\ 21 129250 \Documents\District Team Comments Memo

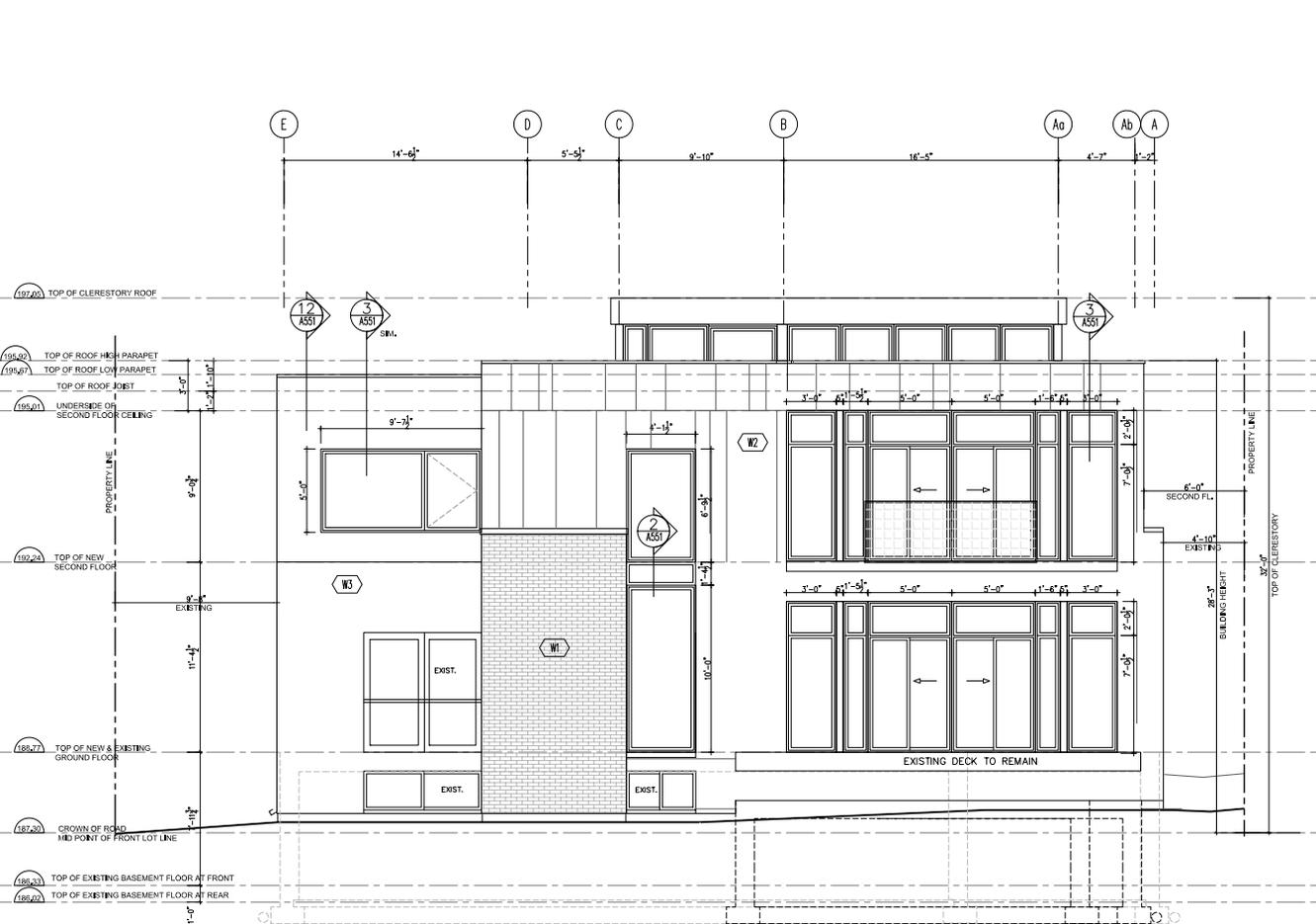




# Appendix A

File: 21.129250.000.00.MNV

Date: 08/06/21  
MM/DD/YY



|    |                          |            |
|----|--------------------------|------------|
| 1. | ISSUED FOR PERMITS       | 2021-07-22 |
| 2. | ISSUED FOR ZONING REVIEW | 2021-05-27 |
| 3. | ISSUED FOR ZONING REVIEW | 2021-04-23 |

DATE: 08/06/21  
DRAWN BY: [Name]  
CHECKED BY: [Name]



PROJECT TITLE  
**PROPOSED ADDITION**  
**25 JONQUIL CRES.**  
MADISON, CONNECTICUT

CONSULTANT  
**ICON**  
Architects Inc.  
1111 FARMINGTON AVENUE, SUITE 100  
MADISON, CT 06110

DRAWING TITLE  
**EAST ELEVATION**

Scale: 1/8"=1'-0"  
Date: FEB. 22, 2021  
Project No. 08102  
Drawing No. A301

PLOT DATE: **08/23/21**

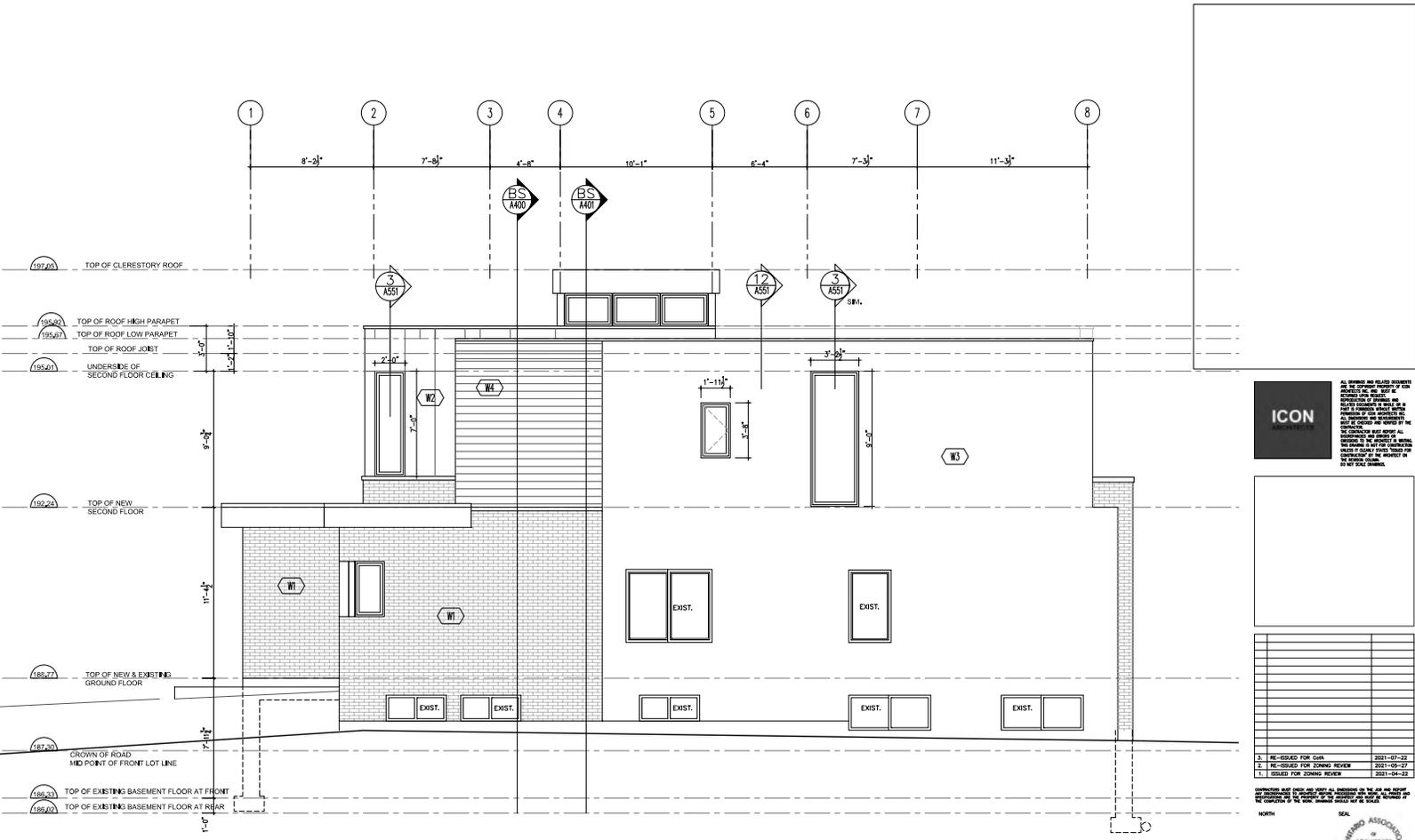




# Appendix A

File: 21.129250.000.00.MNV

Date: 08/06/21  
MM/DD/YY



**ICON**

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| NO. | DESCRIPTION              | DATE       |
|-----|--------------------------|------------|
| 1.  | ISSUED FOR ZONING REVIEW | 2021-04-23 |
| 2.  | ISSUED FOR ZONING REVIEW | 2021-05-27 |
| 3.  | ISSUED FOR ZONING REVIEW | 2021-07-31 |

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PROJECT TITLE  
**PROPOSED ADDITION  
25 JONQUIL CRES.**  
MOUNDVIEW, MINNESOTA

CONSULTANT  
**ICON**  
Architects Inc.  
11111 Hennepin Avenue, Suite 1000  
Minneapolis, MN 55424

DRAWING TITLE  
**SOUTH ELEVATION**

Scale: 1/4"=1'-0"  
Date: FEB. 22, 2021  
Project No. 0802  
Plot Date: AUG 23, 2021

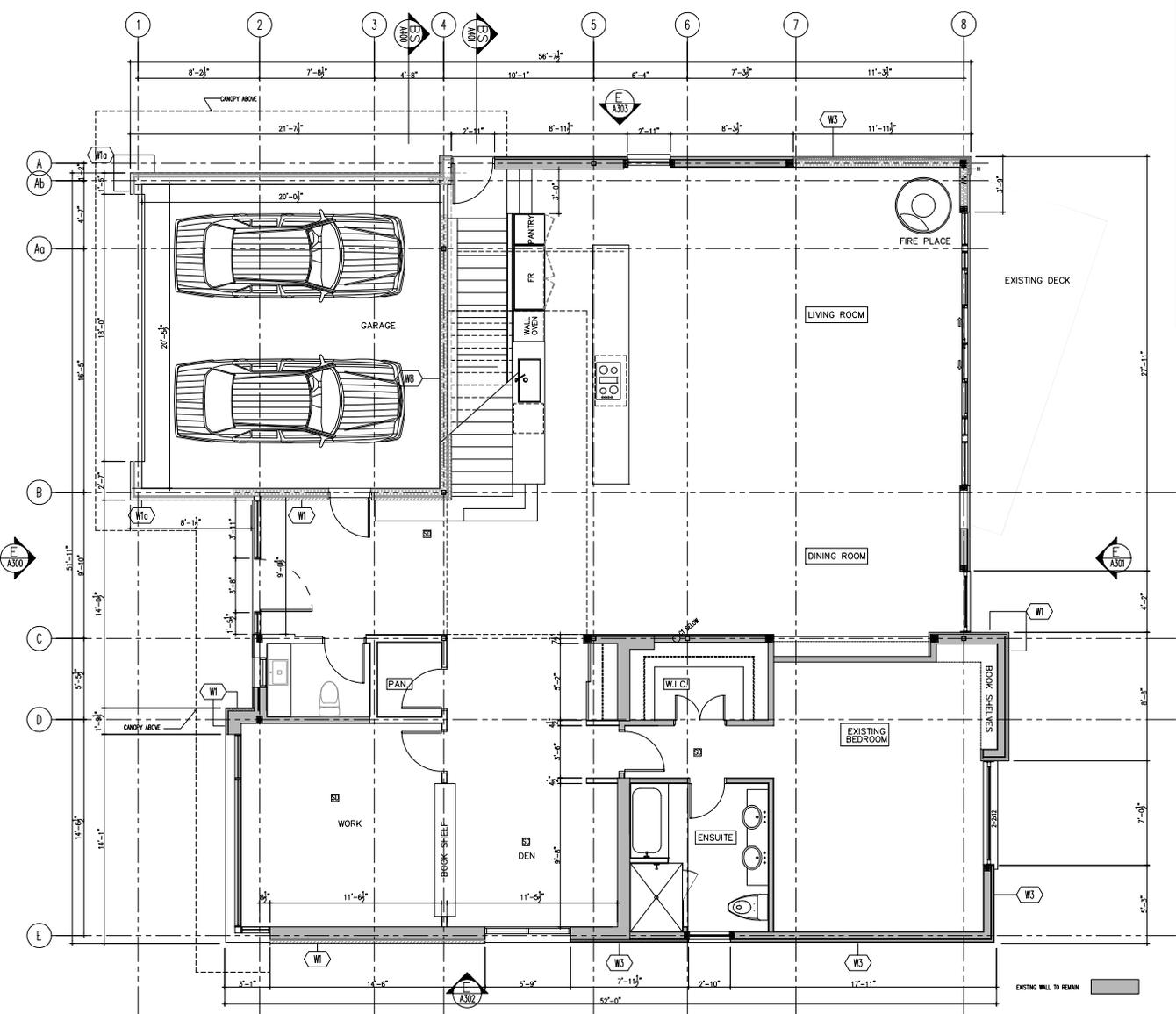
Drawn by:  
Checked by:  
Drawing No. A302



# Appendix A

File: 21.129250.000.00.MNV

Date: 08/06/21  
MM/DD/YY



| NO. | DESCRIPTION              | DATE       |
|-----|--------------------------|------------|
| 1   | ISSUED FOR ZONING REVIEW | 2021-08-27 |
| 2   | ISSUED FOR ZONING REVIEW | 2021-08-27 |
| 3   | ISSUED FOR ZONING REVIEW | 2021-08-27 |

| NO. | DESCRIPTION              | DATE       |
|-----|--------------------------|------------|
| 1   | ISSUED FOR ZONING REVIEW | 2021-08-27 |
| 2   | ISSUED FOR ZONING REVIEW | 2021-08-27 |
| 3   | ISSUED FOR ZONING REVIEW | 2021-08-27 |

1. RE-ISSUED FOR ZONING REVIEW 2021-07-22  
 2. RE-ISSUED FOR ZONING REVIEW 2021-06-27  
 3. ISSUED FOR ZONING REVIEW 2021-04-23



PROJECT TITLE  
**PROPOSED ADDITION**  
**25 JONQUIL CRES.**  
 SEASIDE, ONTARIO

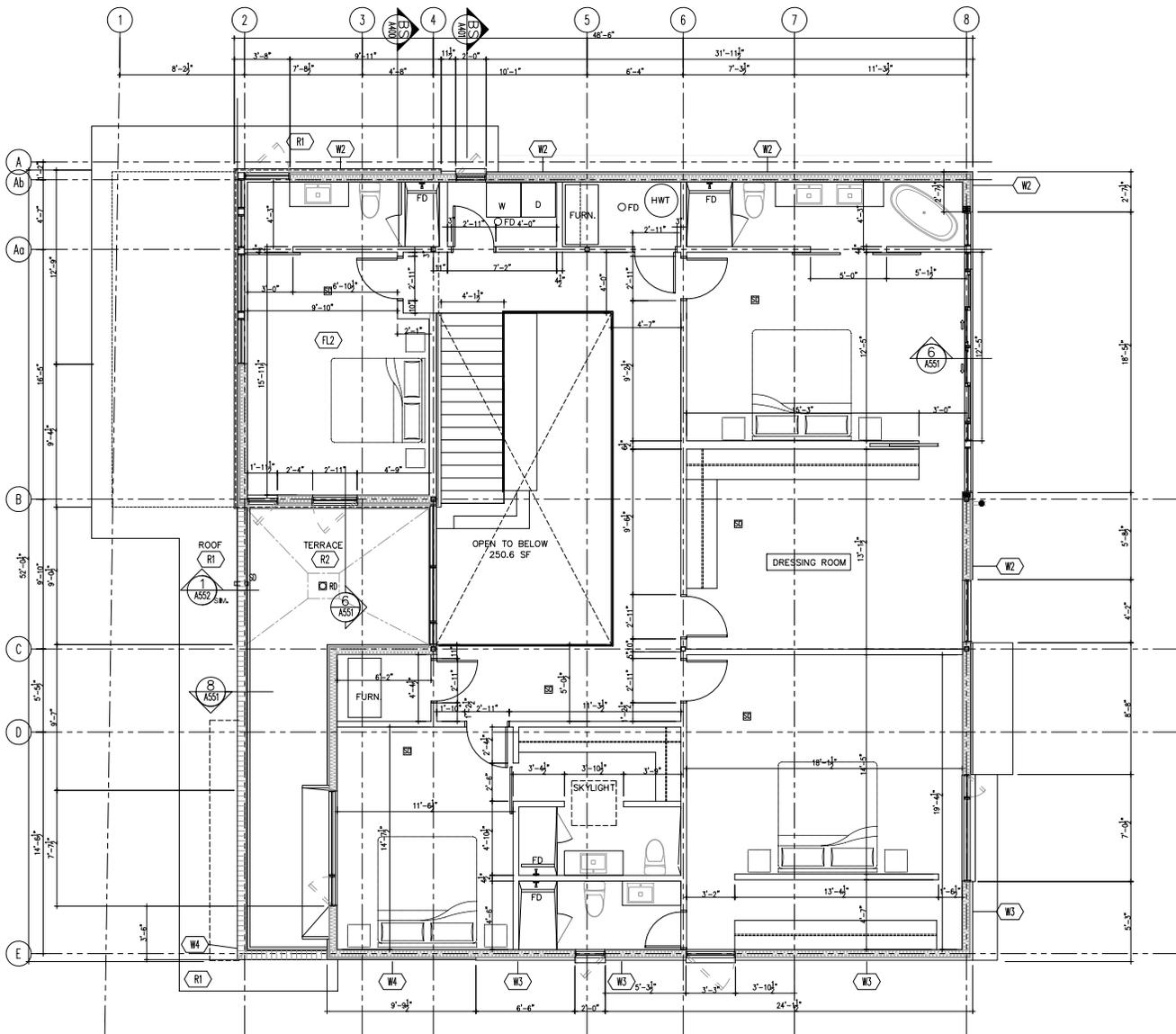
CONSULTANT  
**ICON**  
 Architects Inc.  
 1111 FORT YORK ROAD, SUITE 100  
 SEASIDE, ONTARIO M0S 1S0

DRAWING TITLE  
**GROUND FLOOR PLAN**  
 Scale: 1/4"=1'-0" Drawn by:  
 Date: FEB. 22, 2021 Checked by:  
 Project No. 6902 Drawing No. A201  
 PLOT DATE: AUG 23, 2021

# Appendix A

File: 21.129250.000.00.MNV

Date: 08/06/21  
MM/DD/YY



| NO. | DESCRIPTION              | DATE       |
|-----|--------------------------|------------|
| 1.  | ISSUED FOR PERMITS       | 2021-07-22 |
| 2.  | ISSUED FOR ZONING REVIEW | 2021-05-27 |
| 3.  | ISSUED FOR ZONING REVIEW | 2021-04-23 |



PROJECT TITLE  
**PROPOSED ADDITION  
25 JONQUIL CRES.**  
RESIDENTIAL OFFICE

CONSULTANT  
**ICON**  
Architects Inc.  
11111 15th Avenue S.W. Suite 100  
Burien, WA 98148

DRAWING TITLE  
**SECOND FLOOR PLAN**

Scale: 1/4"=1'-0" Drawn by: \_\_\_\_\_  
Date: FEB. 22, 2021 Checked by: \_\_\_\_\_  
Project No. 0802 Drawing No. A202  
PLOT DATE: AUG 21, 2021