

Memorandum to the City of Markham Committee of Adjustment

September 3, 2021

File: A/112/21
Address: 62 Liam Lane, Markham
Applicant: Kennedy McCowan Landowners Group (Clay Leibel)
Agent: (none)
Hearing Date: Wednesday September 08, 2021

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the following Second Density – Medium Density Residential (RMD2) zone requirements of By-Law 90-81, as amended:

a) Amending By-law 2015-6 Section 2.3 (7.64.1 h):

to permit a minimum rear yard setback of 4.94 m (16.20 ft.) , whereas the By-law requires a minimum rear yard setback of 6 m (19.68 ft.);

as they relate to five semi-detached dwelling units (parts 4-8) on the subject site.

BACKGROUND

Property Description

The 3.22 ha (7.96 ac) subject property is located on the west side of Kirkham Drive, south of Denison street. The subject property received site plan approval on December 17, 2020 (File SC 19 117372) for the development of a common element condominium consisting of 92 semi-detached dwellings. The subject site is located within a residential subdivision, which is being constructed in phases. A storm water pond abuts westerly portion of the site and a woodlot that is owned by the City, abuts the southerly portion of the site. Vacant lands are located to the north (across Denison Street) and existing low-rise dwellings are located to the east (across Kirkham Drive).

Proposal

The applicant is requesting a variance to permit a reduced rear yard setback for five semi-detached dwelling units, shown as parts 4-8 on the site plan as shown in Appendix A. The subject dwelling units include a retaining wall which will be located within future common element condominium parts so that it will be maintained by the condominium corporation and not the individual landowners.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated “Residential – Low Rise”, which provides for low-rise housing forms including semi-detached dwellings. The proposed development conforms to the 2014 Official Plan.

Zoning By-Law 90-81

The subject property is zoned Second Density-Medium Density Residential (RMD2) under By-law 90-81, as amended, which permits the proposed common element condominium development. The proposal does not comply with the zoning by-law with respect to the rear yard setback requirement of 6 m (19.68 ft.) for the five lots.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Reduction in Rear Yard Setback

On November 18, 2020 (See Staff Report Attached as Appendix B), the Committee of Adjustment approved a minor variance to permit a minimum setback to an Open Space Zone of 6.0 m (19.68 ft.), whereas the By-law requires a minimum setback to an Open Space Zone of 7.0 m (23.96 ft.) for 34 lots in the approved subdivision. The applicant is now requesting a reduction to the minimum required rear yard setback for five of those 34 lots on the subject property

The applicant is proposing a minimum rear yard setback of 4.94 m (16.20 ft.), whereas the By-law requires 6.0 m (19.68 ft.). This represents a reduction of approximately 1.06 m (3.5 ft). The requested variance will apply to five semi-detached dwelling units at the southerly portion of the subject property. The proposed development currently complies with the rear yard setback requirement of 6.0 m (19.68 ft). However, following the detailed review of the site plan application, the need for a retaining wall along the south property line of the five semi-detached lots, adjacent to the woodlot, was identified. For maintenance purposes by the future Condominium Corporation, the retaining wall will be separate parts on the draft plan of condominium. The creation of the retaining wall parts will therefore reduce the minimum required rear yard. Consequently, the applicant has applied for a reduction in the rear yard setback to accommodate the retaining wall parts.

The proposed rear yard setback is smaller than what is typically permitted however; staff acknowledge that the situation is unique given the requirement for the creation of the common element condominium parts to ensure the appropriate maintenance of the retaining wall.

Staff request that approval of this variance be conditional that the variance only applies to the five semi-detached dwellings as shown on Appendix A and, that the applicant be required to apply for and receive, Draft Conditions of Condominium Approval to establish the retaining wall as separate parts.

Staff note that the onus is on the applicant to confirm that the requested variances are accurate. If additional non-conformities with the zoning by-law are identified through the building permit review, the applicant will be required to revise their proposal to comply with the by-law or submit future variance applications for consideration.

PUBLIC INPUT SUMMARY

No written submissions were received as of September 3, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

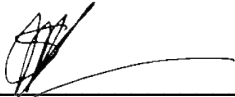
Please see Appendix "C" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, East District

REVIEWED BY:



Stacia Muradali, Development Manager, East District
File Path: Amanda\File\ 21 131880 \Documents\District Team Comments Memo

APPENDIX “C”

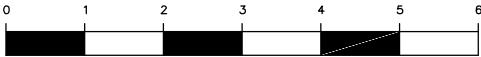
CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/112/21

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the five semi-detached dwelling units with the retaining wall (parts 4-8) and in substantial conformity with the plan(s) attached as ‘Appendix A’ to this Staff Report and received by the City of Markham, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
3. That the applicant satisfies the requirements of the Toronto Region Conservation Authority (TRCA), financial or otherwise, as indicated in comments dated August 12, 2021, to the satisfaction of the TRCA, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of TRCA; and
4. That the applicant submit for and receive Draft Conditions of Condominium Approval to establish the retaining wall as separate parts.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, East District



Appendix A

File: 21.131880.000.00.MNV

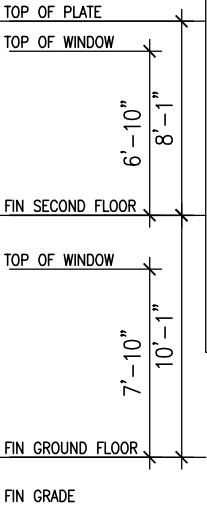
Date: 09/03/21
MM/DD/YY



PT.4 – REAR ELEVATION
SD-27 – EL. B2 REV.



PT.3 – FRONT ELEVATION
SD-27 – EL. B1



PT.4 – FRONT ELEVATION
SD-27 – EL. B2 REV.

LIAM LANE
SD27 PT4

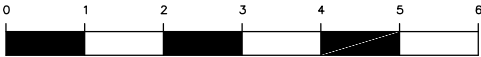
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Appendix A

File: 21.131880.000.00.MNV

Date: 09/03/21

MM/DD/YY



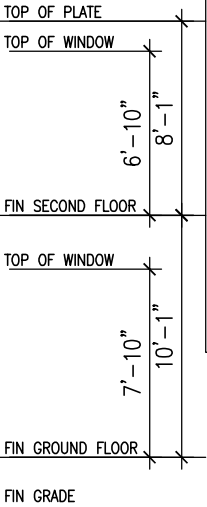
PT.6 – REAR ELEVATION
SD-26 – EL. C2 REV.

PT.5 – REAR ELEVATION
SD-26 – EL. C1



PT.5 – FRONT ELEVATION
SD-26 – EL. C1

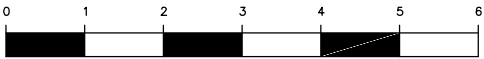
PT.6 – FRONT ELEVATION
SD-26 – EL. C2 REV.



LIAM LANE

SD27 PT5

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8 .		. .				project name		municipality		project no.	
7 .		. .				FAIRTREE BLOCK 152		MARKHAM		11012	
6 .		. .				date		checked by		drawing no.	
5 .		. .				APR 24-1017		-		A2.1	
4 .		. .		drawn by		scale		file name			
3 .		. .		KL		1:400		11012-SPA			
2 REVISED ELEVATIONS FACING DENISON ROAD		NOV 07-19 RC		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com		RICHARD - H:\ARCHIVE\WORKING\2011\11012.GWD\SITE PLAN\coa\block 152\11012-SPA.dwg - Mon - Jul 12 2021 - 6:09 AM			
1 ISSUED FOR SPA		JAN 29-19 RC									
no. description		date by									



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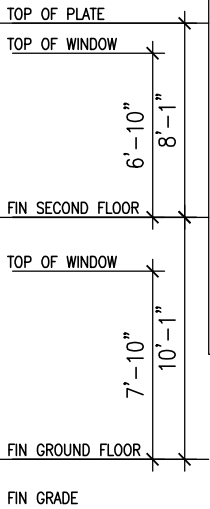
PT.6 – REAR ELEVATION
SD-26 – EL. C2 REV.

PT.5 – REAR ELEVATION
SD-26 – EL. C1



PT.5 – FRONT ELEVATION
SD-26 – EL. C1

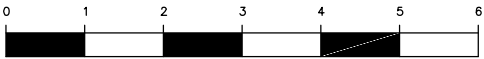
PT.6 – FRONT ELEVATION
SD-26 – EL. C2 REV.



LIAM LANE

SD27 PT6

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8	-	-	-			project name	municipality	project no.	
7	-	-	-			FAIRTREE BLOCK 152	MARKHAM	11012	
6	-	-	-			date	ELEVATIONS		drawing no.
5	-	-	-			APR 24-1017	KL		A2.1
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no.	description			date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.			



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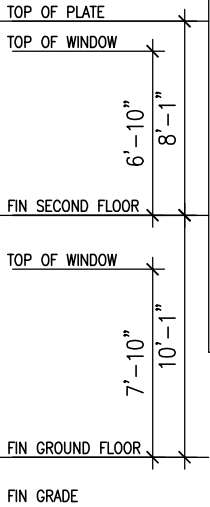


PT.8 – REAR ELEVATION
SD-27 – EL. A REV.



PT.7 – FRONT ELEVATION
SD-27 – EL. A

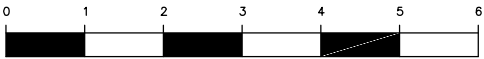
PT.8 – FRONT ELEVATION
SD-27 – EL. A REV.



LIAM LANE

SD27 PT7

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 signature	25591	BCIN	42658	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	FOREST BAY HOMES		-			
8	.	.	.	qualification information						project name	municipality	project no.			
7	.	.	.	Wellington Jno-Baptiste						FAIRTREE BLOCK 152	MARKHAM	11012			
6	.	.	.	name						date	ELEVATIONS				
5	.	.	.	registration information						APR 24-1017	checked by	scale	file name		
4	.	.	.	VA3 Design Inc.	KL	-	1:400	11012-SPA	A2.1						
3	.	.	.	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	RICHARD - H:\ARCHIVE\WORKING\2011\11012.GWD\SITE PLAN\coa\block 152\11012-SPA.dwg - Mon - Jul 12 2021 - 6:10 AM										
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1	ISSUED FOR SPA	JAN 29-19	RC												
no.	description	date	by												



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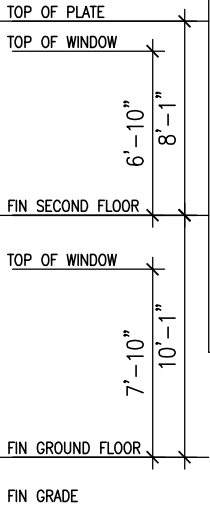
Date: 09/03/21
MM/DD/YY



PT.8 – REAR ELEVATION
SD-27 – EL. A REV.



PT.7 – FRONT ELEVATION
SD-27 – EL. A



PT.8 – FRONT ELEVATION
SD-27 – EL. A REV.

LIAM LANE

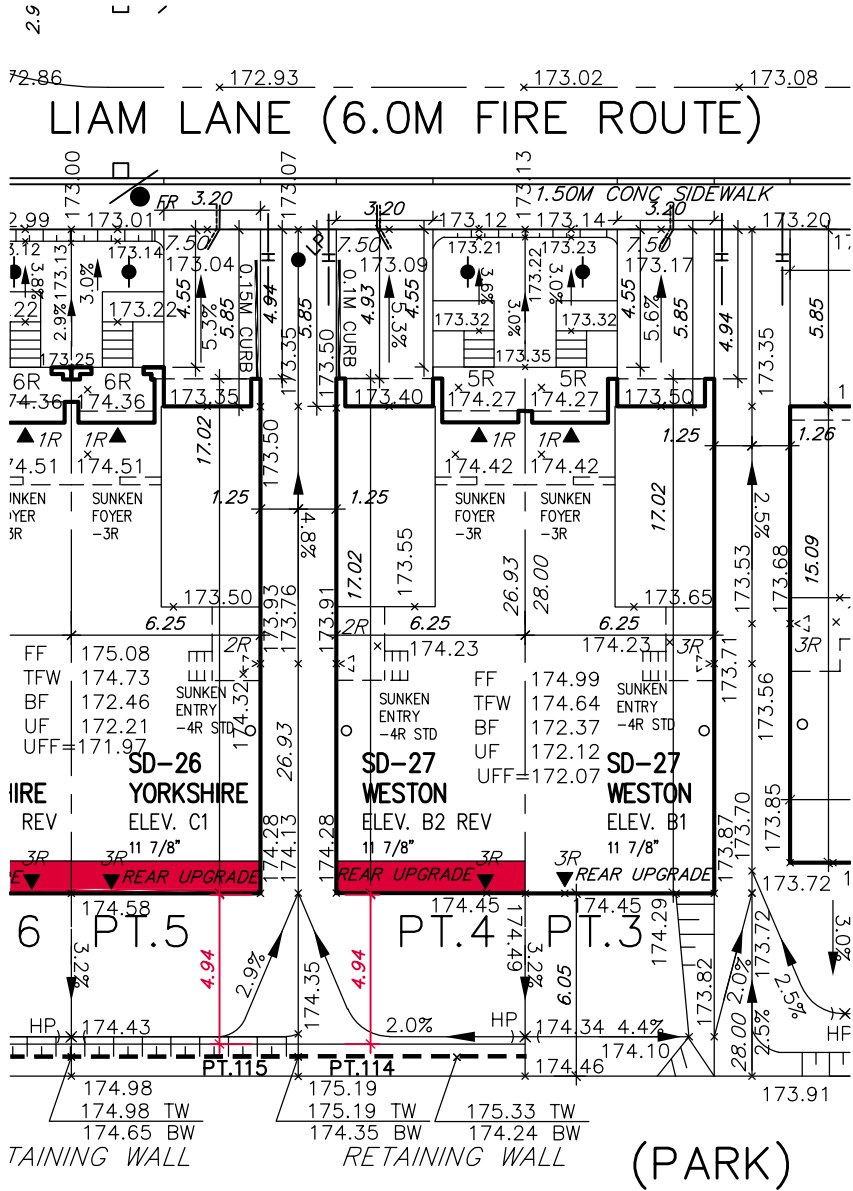
SD27 PT8

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Wellington Jno-Baptiste 25591 name signature registration information VA3 Design Inc. 42658		FOREST BAY HOMES		-	
8	.	.	.			project name	municipality	project no.	
7	.	.	.			FAIRTREE BLOCK 152	MARKHAM	11012	
6	.	.	.			date	ELEVATIONS		
5	.	.	.			APR 24-1017	drawing no.		
4	.	.	.	drawn by	checked by	scale	file name	A2.1	
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Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

NOTE1:
GATE REFER TO ENG
AND LANDSCAPE
DRAWINGS

- PROPOSED VALVE
- LIGHT POLE
- WATER SERVICE
- DOUBLE STM./SAN. CONNECTION
- SINGLE STM./SAN. CONNECTION
- HYDRANT
- TRANSFORMER
- CATCH BASIN
- CABLE TELEVISION PEDESTAL
- BELL PEDESTAL
- No. of RISERS
- FINISHED FLOOR ELEVATION
- FINISHED MAIN LEVEL ELEVATION
- UNDERSIDE FOOTING ELEVATION
- FIN. BASEMENT FLOOR SLAB
- TOP OF FOUNDATION WALL
- UFR
- UFF
- UFS
- W.O.D.
- W.O.B.
- REV
- UNDERSIDE FOOTING AT REAR
- UNDERSIDE FOOTING AT FRONT
- UNDERSIDE FOOTING AT SIDE
- WALK OUT DECK
- WALK OUT BASEMENT
- REVERSE PLAN
- STREET SIGN
- MAIL BOX
- RETAINING WALL
- CHAIN LINK FENCE
- (SEE LANDSCAPE PLAN)
- ACOUSTICAL FENCE
- (SEE LANDSCAPE PLAN)
- WOOD SCREEN FENCE
- (SEE LANDSCAPE PLAN)
- HYDRO SERVICE LATERAL
- HYDRO METER
- GAS METER
- EMBANKMENT
- SWALE DIRECTION
- PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
- THIS LOT CONTAINS ENGINEERED FILL
- AIR CONDITIONER REQUIRED
- RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
- SIDE WINDOW LOCATION
- OPT. DOOR LOCATION
- EXTERIOR DOOR LOCATION
- LOT EQUIPPED WITH SUMP PUMP
- LOT WITH SPRINKLER
- REDUCE SIDE YARD

5			
4			
3			
2	REVISED AS PER ENG COMEMNTS	MAR 05-21	RC
1	ISSUED FOR CLIENT REVIEW	FEB 28-21	RC

no. description	date	by
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
qualification information		
Wellington Jno-Baptiste	25591	
name	signature	BCN
registration information		
VA3 Design Inc.	42658	

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t 416.630.2255 f 416.630.4782
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CALEXICO HOLDINGS INC.

project name	FAIRTREE ON THE ROUGE
municipality	MARKHAM, ON.
registered plan no.	PT 4 11012

date	JUN 2020	scale	1:250
drawn by	RC	checked by	
file name	11012-SP-B152-COA PT 4-8		

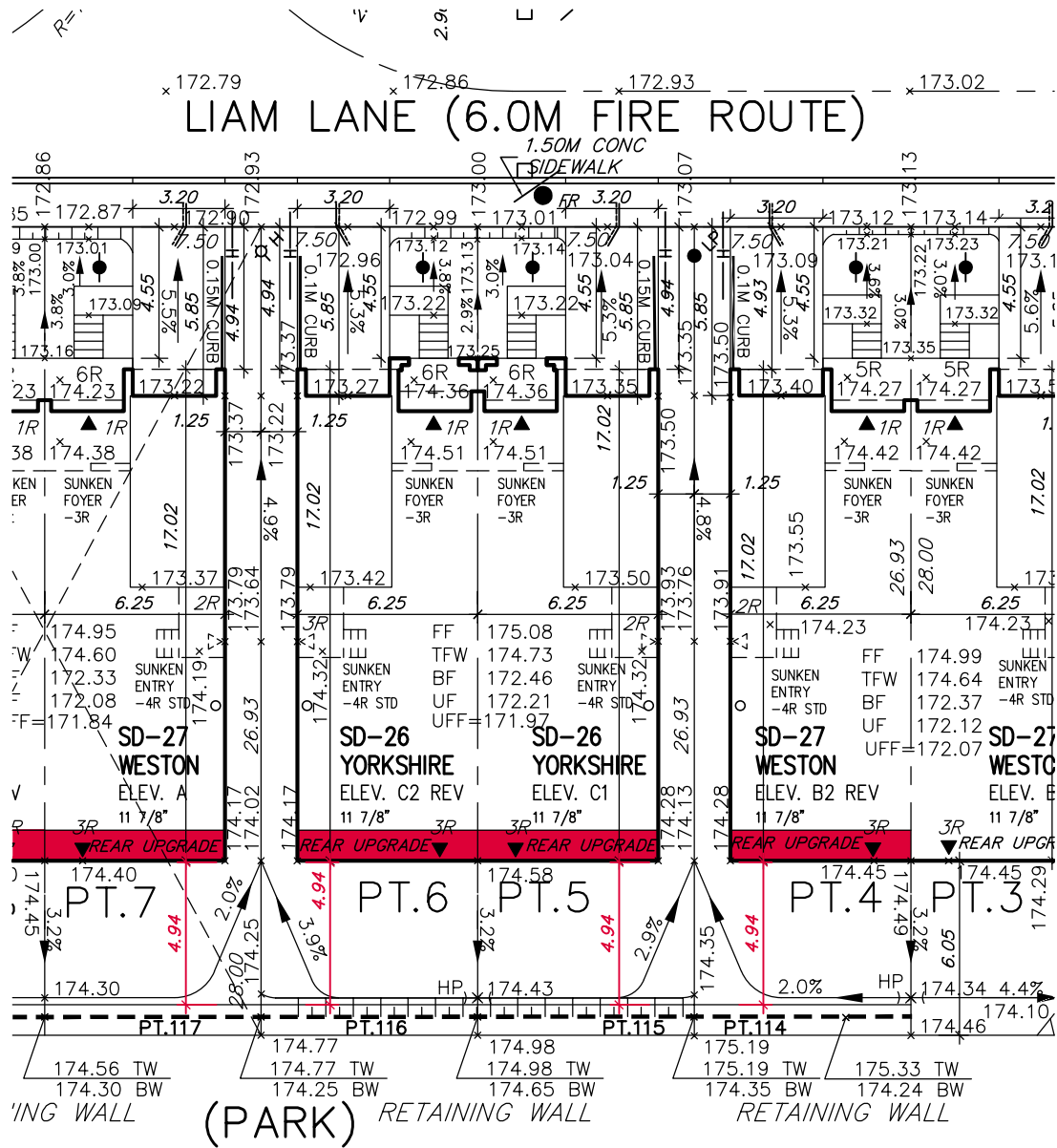
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Appendix A

File: 21.131880.000.00.MNV

Date: 09/03/21
MM/DD/YY



Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

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t 416.630.2255 f 416.630.4782
va3design.com

CALEXICO HOLDINGS INC.

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registered plan no.	PT 5 11012

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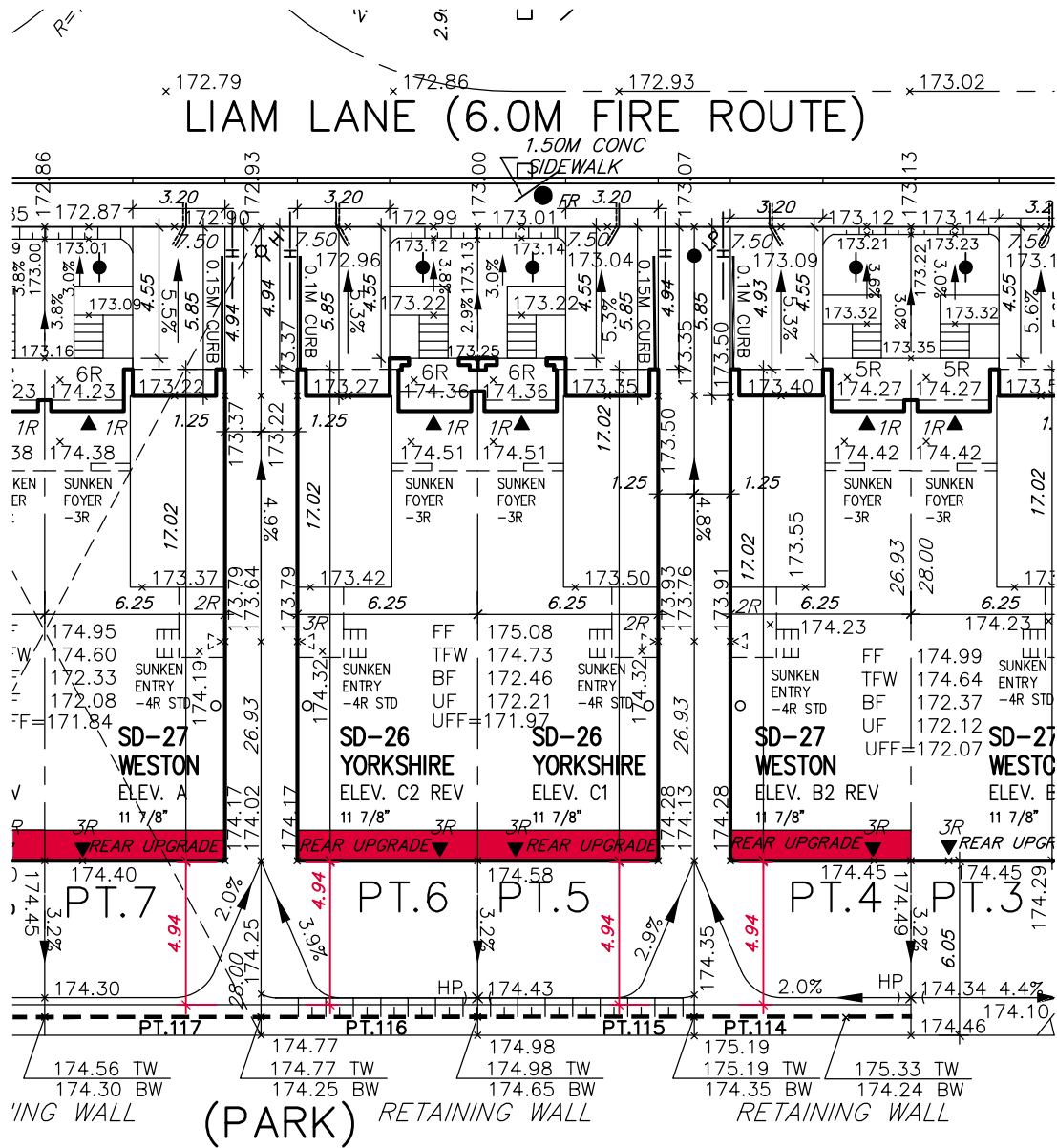
SITE PLAN

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CATCH BASIN
CABLE TELEVISION PEDESTAL
BELL PEDESTAL

No. of RISERS
FINISHED FLOOR ELEVATION
FINISHED MAIN LEVEL ELEVATION
UNDERSIDE FOOTING ELEVATION
FIN. BASEMENT FLOOR SLAB
TOP OF FOUNDATION WALL

UFR
UFF
UFS
W.O.D.
W.O.B.
REV

UNDERSIDE FOOTING AT REAR
UNDERSIDE FOOTING AT FRONT
UNDERSIDE FOOTING AT SIDE
WALK OUT DECK
WALK OUT BASEMENT
REVERSE PLAN

STREET SIGN
MAIL BOX
RETAINING WALL
CHAIN LINK FENCE
(SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE
(SEE LANDSCAPE PLAN)

WOOD SCREEN FENCE
(SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
HYDRO METER
GAS METER
EMBANKMENT

SWALE DIRECTION
PROVIDE 3/4" DIA. CLEAR
STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED

RAIN WATER DOWNSPOUT LOCATION
(DISCHARGE ONTO SPLASHPAD)
SIDE WINDOW LOCATION
OPT. DOOR LOCATION
EXTERIOR DOOR LOCATION

LOT EQUIPPED WITH SUMP PUMP
LOT WITH SPRINKLER

REDUCE SIDE YARD

CALEXICO HOLDINGS INC.

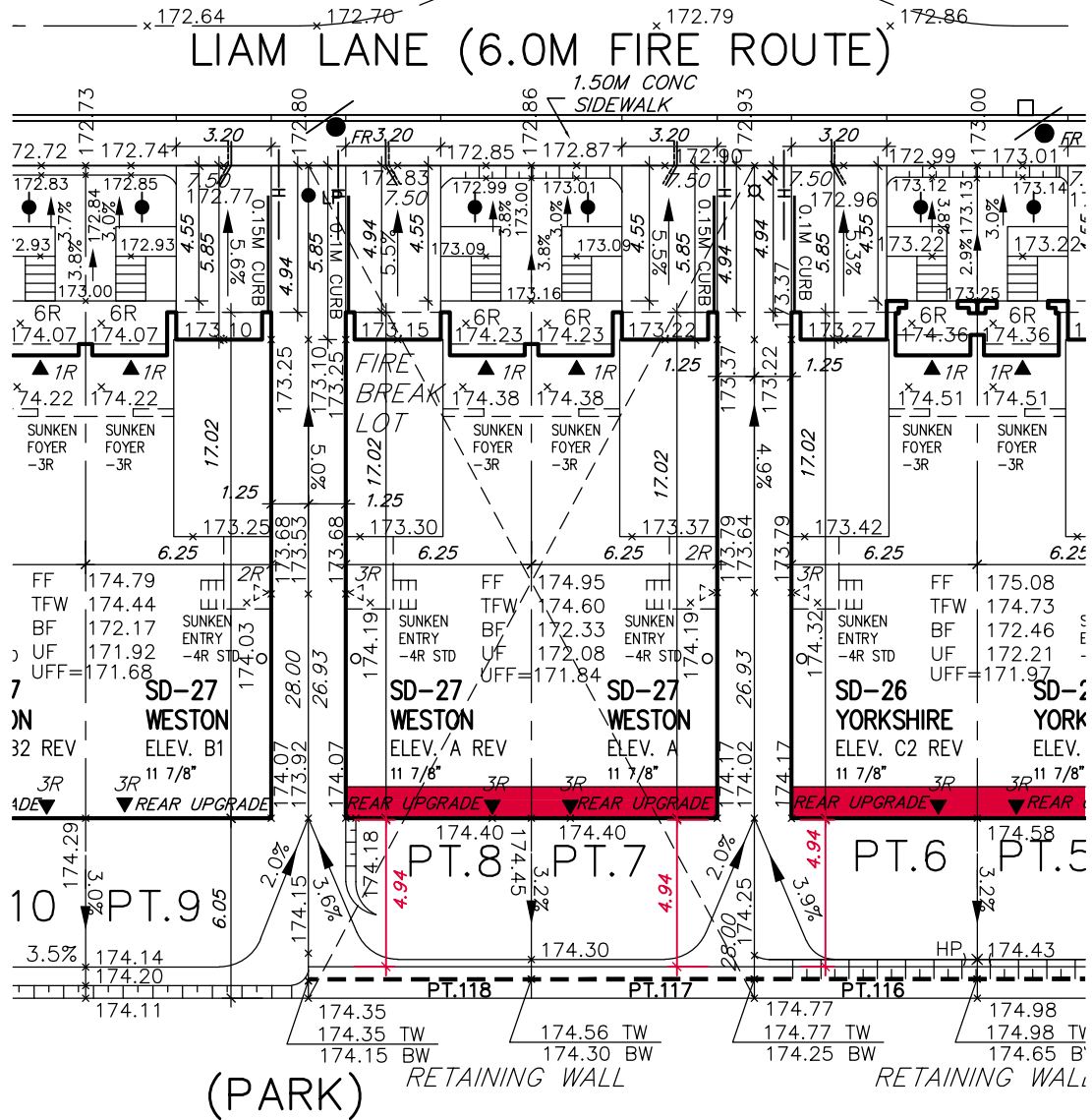
project name
FAIRTREE ON THE ROUGE
municipality
MARKHAM, ON.
registered plan no.
PT 6
11012

date
JUN 2020
drawn by
RC
scale
1:250
checked by
-
file name
11012-SP-B152-COA PT 4-8
drawing no.
A0.1

Appendix A

File: 21.131880.000.00.MNV

Date: 09/03/21
MM/DD/YY



Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

NOTE1:
GATE REFER TO ENG
AND LANDSCAPE
DRAWINGS

- PROPOSED VALVE
LIGHT POLE
WATER SERVICE
DOUBLE STM./SAN. CONNECTION
SINGLE STM./SAN. CONNECTION
HYDRANT
TRANSFORMER
CATCH BASIN
CABLE TELEVISION PEDESTAL
BELL PEDESTAL
No. of RISERS
FINISHED FLOOR ELEVATION
FINISHED MAIN LEVEL ELEVATION
UNDERSIDE FOOTING ELEVATION
FIN. BASEMENT FLOOR SLAB
TOP OF FOUNDATION WALL
UFR
UFF
UFS
W.O.D.
W.O.B.
REV
UNDERSIDE FOOTING AT REAR
UNDERSIDE FOOTING AT FRONT
UNDERSIDE FOOTING AT SIDE
WALK OUT DECK
WALK OUT BASEMENT
REVERSE PLAN
STREET SIGN
MAIL BOX
RETAINING WALL
CHAIN LINK FENCE
(SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE
(SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE
(SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
GAS METER
EMBANKMENT
SWALE DIRECTION
PROVIDE 3/4" DIA. CLEAR
STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION
(DISCHARGE ONTO SPLASHPAD)
SIDE WINDOW LOCATION
OPT. DOOR LOCATION
EXTERIOR DOOR LOCATION
LOT EQUIPPED WITH SUMP PUMP
LOT WITH SPRINKLER
REDUCE SIDE YARD

5			
4			
3			
2	REVISED AS PER ENG COMEMNTS	MAR 05-21	RC
1	ISSUED FOR CLIENT REVIEW	FEB 28-21	RC
no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Wellington Jno-Baptiste 25591
name registration information
signature
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

CALEXICO HOLDINGS INC.

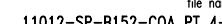
project name	FAIRTREE ON THE ROUGE
municipality	MARKHAM, ON.
registered plan no.	PT 7 11012

date	JUN 2020	scale	1:250
drawn by	RC	checked by	
file name	11012-SP-B152-COA PT 4-8		

SITE PLAN
drawing no.
A0.1

21.131880.000.00.M
09/03/21
MM/DD/YY

Date: 09/03/21
MM/DD/YY



- | | | | | | | | | | |
|---|--|---|--|---|--|--|--|--|---|
| PROPOSED VALVE
LIGHT POLE
WATER SERVICE
DOUBLE STM./SAN. CONNECTION
SINGLE STM./SAN. CONNECTION | H HYDRANT
TRANSFORMER
CATCH BASIN
CABLE
CABLE TELEVISION PEDESTAL
BELL PEDESTAL | No. of RISERS
FINISHED FLOOR ELEVATION
MAIN LEVEL ELEVATION
UNDERFOOTING ELEVATION
FIN. BASEMENT FLOOR SLAB
TOP OF FOUNDATION WALL | UFR
UFF
UFS
W.O.D.
W.O.B.
REV | UNDERFOOTING AT REAR
UNDERFOOTING AT FRONT
UNDERFOOTING AT SIDE
WALK OUT DECK
WALK OUT BASEMENT
REVERSE PLAN | STREET SIGN
MAIL BOX
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OPT. DOOR LOCATION
EXTERIOR DOOR LOCATION
REDUCE SIDE YARD | LOT EQUIPPED WITH SUMP PUMP
LOT WITH SPRINKLER |
|---|--|---|--|---|--|--|--|--|---|

Appendix A

File: 21.131880.000.00.MNV

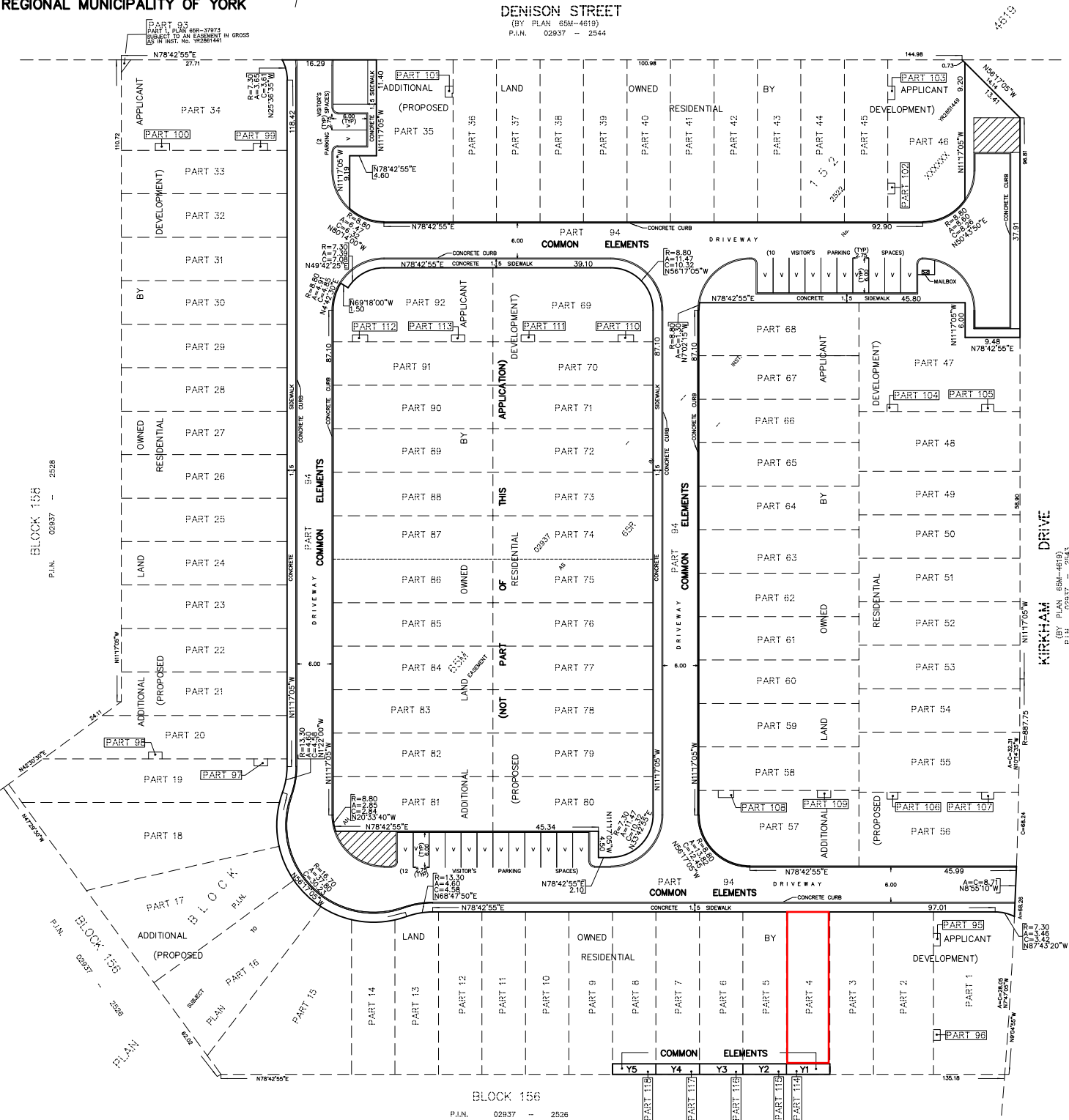
Date: 09/03/21

MM/DD/YY

DRAFT PLAN OF
COMMON ELEMENTS CONDOMINIUM
PART OF BLOCK 152
PLAN 65M-4619
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

DENISON STREET

(BY PLAN 65M-4619)
P.L.N. 02937 -- 2544



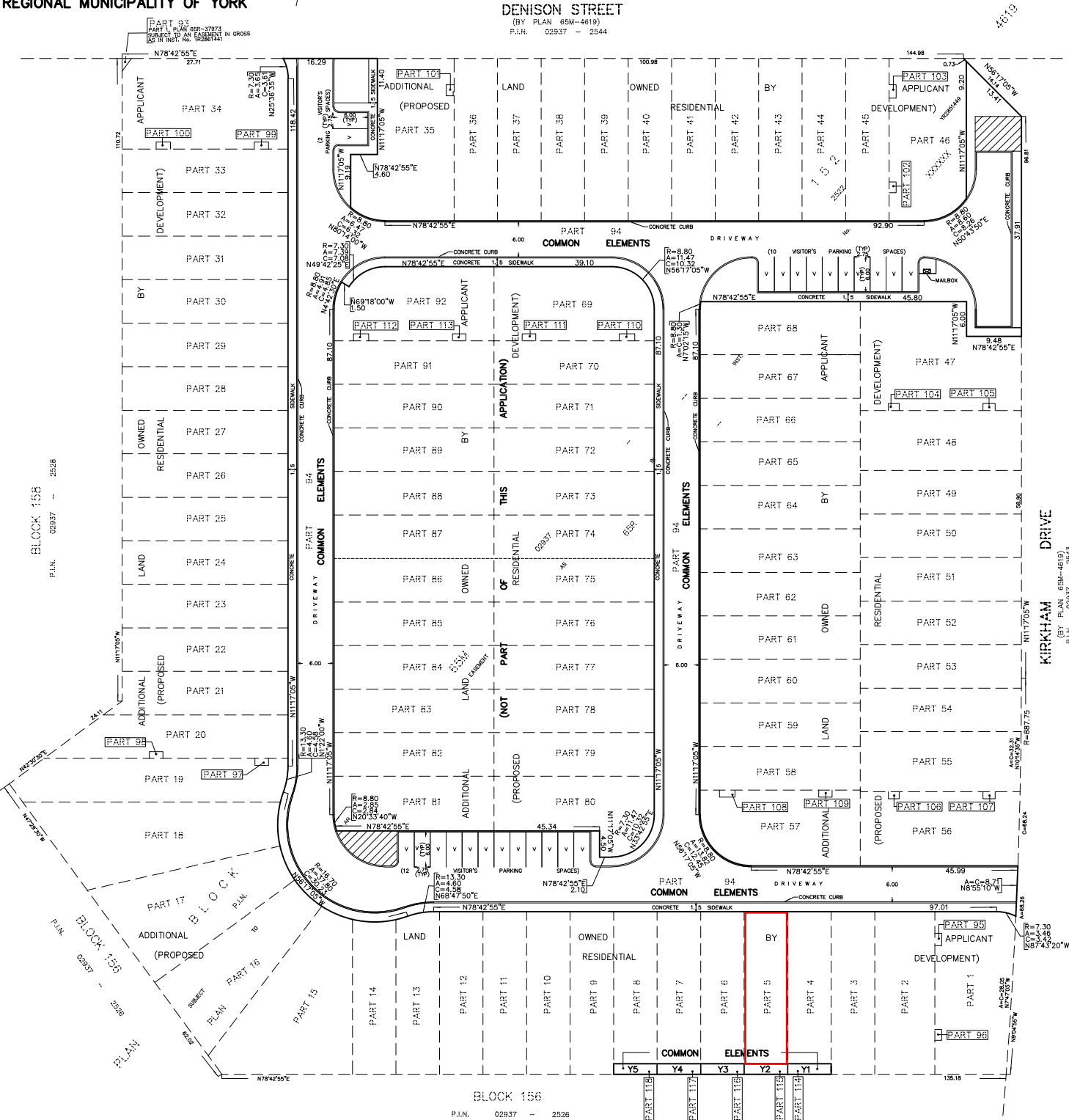
R-PE SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel (416) 635-5000 Fax (416) 635-5001
Tel (905) 264-0881 Fax (905) 264-2099
Website: www.r-pe.ca
DRAWN: I.A./V.K./E.G. CHECKED: C.W.
JOB No. 18-090 CAD FILE No. 18-090-DR PLAN

Appendix A

File: 21.131880.000.00.MNV
Date: 09/03/21
MM/DD/YY

DRAFT PLAN OF
COMMON ELEMENTS CONDOMINIUM
PART OF BLOCK 152
PLAN 65M-4619
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

DENISON STREET
(BY PLAN 65M-4619)
P.L.N. 02837 - 2544

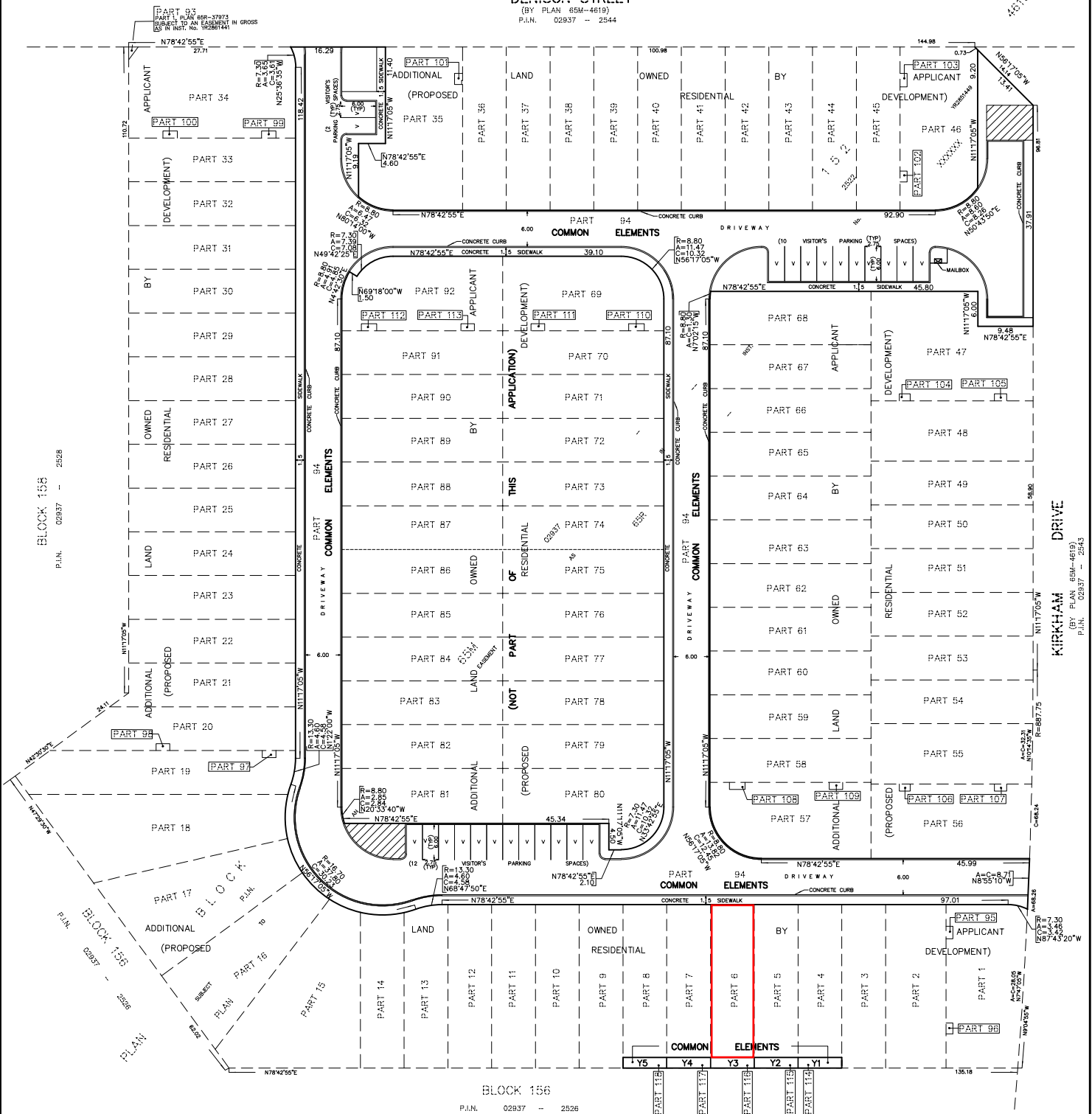


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DRAWN: I.A./V.K./E.G. CHECKED: C.W.
JOB NO. 18-090 CAD FILE NO.18-090-DR PLAN
Oct 27, 2020 - 10:49:49

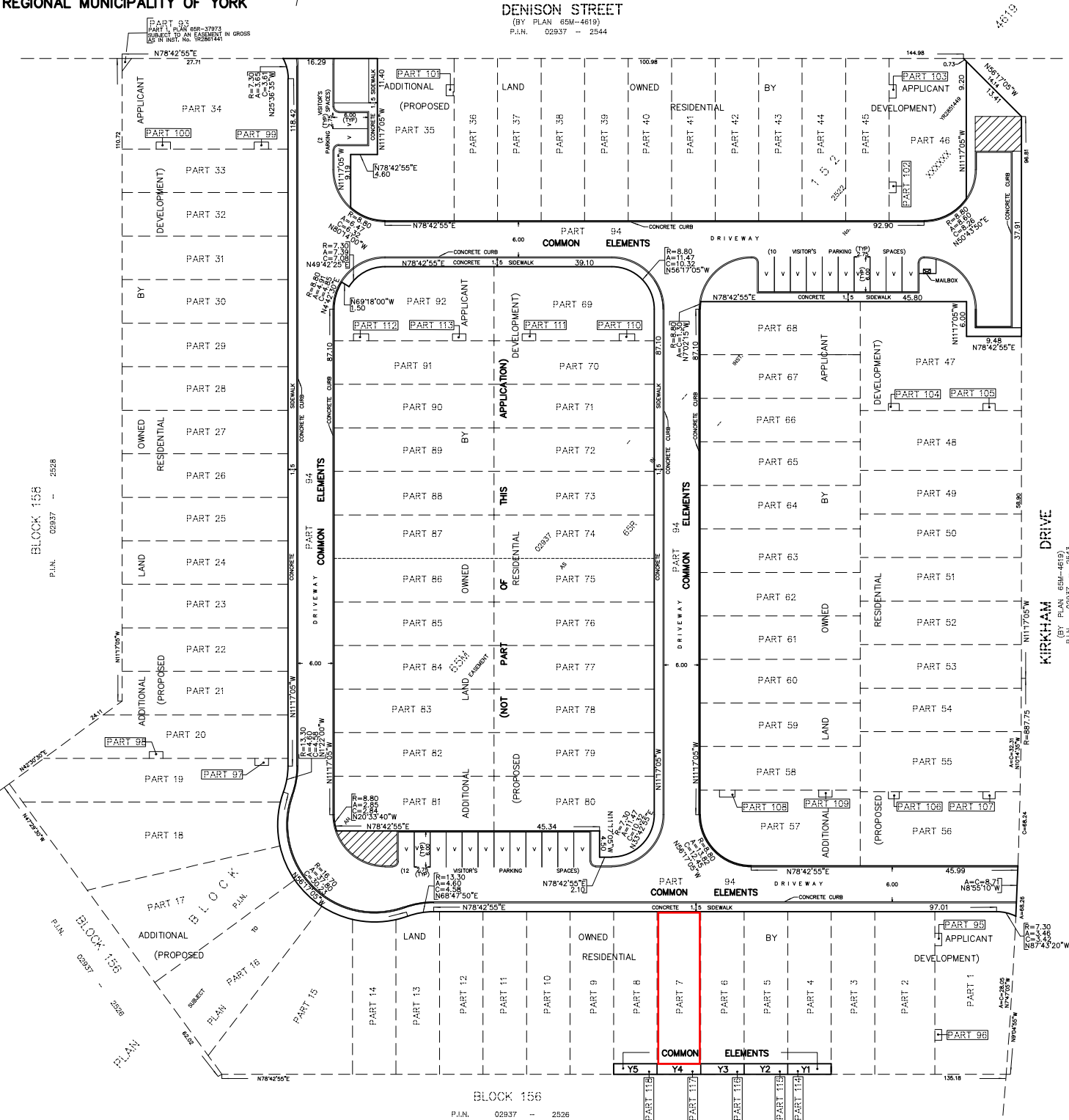
Oct 27, 2020 - 10:49:49

Appendix A

File: 21.131880.000.00.MNV
Date: 09/03/21
MM/DD/YY

DRAFT PLAN OF
COMMON ELEMENTS CONDOMINIUM
PART OF BLOCK 152
PLAN 65M-4619
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

DENISON STREET
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21.131880.000.00.
09/03/21
MM/DD/YY

Date: 09/03/21
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JOB No. 18-090 CAD FILE No.18-090-DR PLAN
Oct 27, 2020 - 10:49:49

Oct 27, 2020 - 10:49:49

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PLAN 65M- 4619

Appendix A

21.131880.000.00.MNV
09/03/21

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE
FOR THE LAND TITLES DIVISION OF YORK REGION NO. 65 AT 15:13
O'CLOCK ON THE 1 DAY OF AUGUST 2018 AND ENTERED IN
THE PARCEL REGISTER FOR PROPERTY IDENTIFIER NO.
02937-0624 AND THE REQUIRED CONSENTS
ARE REGISTERED AS PLAN DOCUMENT NO. VR2857137

"A. D'ANGELO"
Representative For Land Registrar

THIS PLAN COMPRISES ALL OF PIN 02937-0624.
SUBJECT TO EASEMENT OVER PART I, PLAN 65R-35956 AS IN INST. No. YR2851449 (AFFECTS
THE WHOLE PLAN).

PLAN OF SUBDIVISION OF
PART OF LOTS 1, 2 AND 3
CONCESSION 8
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
(GEOGRAPHIC TOWNSHIP OF MARKHAM, COUNTY OF YORK)
SCALE 1:600



SCHAEFFER DZALDOV BENNETT LTD.

CURC TABLE				
NUM	ARC	RODUS	BEARING	DISTANCE
C1	137.550	148.000	N37.64°W 0.75'	132.657
C2	137.550	172.250	N37.64°W 0.75'	2.297
C3	38.260	183.500	N79.25°W 0.50'	30.063
C4	38.260	183.500	N79.25°W 0.50'	30.063
C5	30.025	183.500	N89.16°W 0.25'	26.985
C6	10.750	183.500	N89.16°W 0.25'	26.985
C7	80.528	187.500	N89.11°W 0.30'	30.493
C8	80.528	187.500	N89.11°W 0.30'	30.493
C9	28.860	167.500	N85.95°W 0.30'	26.871
C10	2.001	167.500	N85.95°W 0.30'	26.871
C11	66.250	87.750	N40.50°W 0.50'	18.242
C12	66.250	87.750	N40.50°W 0.50'	18.242
C13	174.288	81.750	N52.50°W 0.50'	72.331
C14	174.288	81.750	N52.50°W 0.50'	72.331
C15	15.002	81.750	N117.00°W 0.50'	15.001
C16	15.002	81.750	N117.00°W 0.50'	15.001
C17	15.002	81.750	N117.00°W 0.50'	15.001
C18	15.002	81.750	N117.00°W 0.50'	15.001
C19	15.002	81.750	N117.00°W 0.50'	15.001
C20	15.002	81.750	N117.00°W 0.50'	15.001
C21	15.002	81.750	N117.00°W 0.50'	15.001
C22	15.002	81.750	N117.00°W 0.50'	15.001
C23	15.126	81.750	N117.00°W 0.50'	15.126
C24	15.126	81.750	N117.00°W 0.50'	15.126
C25	15.126	81.750	N117.00°W 0.50'	15.126
C26	15.126	81.750	N117.00°W 0.50'	15.126
C27	78.844	5.000	N47.25°W 0.75'	20.081
C28	78.844	5.000	N47.25°W 0.75'	20.081
C29	12.512	12.125	N66.25°W 0.20'	12.308
C30	12.512	12.125	N66.25°W 0.20'	12.308
C31	8.612	11.250	N69.25°W 0.20'	8.510
C32	8.612	11.250	N69.25°W 0.20'	8.510
C33	3.972	12.000	N71.13°W 0.30'	3.919
C34	3.972	12.000	N71.13°W 0.30'	3.919
C35	1.370	10.000	N72.00°W 0.15'	1.369
C36	1.370	10.000	N72.00°W 0.15'	1.369
C37	1.370	10.000	N72.00°W 0.15'	1.369
C38	1.370	10.000	N72.00°W 0.15'	1.369
C39	11.713	20.000	N104.75°W 0.25'	11.544
C40	11.713	20.000	N104.75°W 0.25'	11.544
C41	13.200	20.000	N104.75°W 0.25'	13.041
C42	13.200	20.000	N104.75°W 0.25'	13.041
C43	13.200	20.000	N104.75°W 0.25'	13.041
C44	13.200	20.000	N104.75°W 0.25'	13.041
C45	13.200	20.000	N104.75°W 0.25'	13.041
C46	13.200	20.000	N104.75°W 0.25'	13.041
C47	13.200	20.000	N104.75°W 0.25'	13.041
C48	13.200	20.000	N104.75°W 0.25'	13.041
C49	13.200	20.000	N104.75°W 0.25'	13.041
C50	13.200	20.000	N104.75°W 0.25'	13.041
C51	13.200	20.000	N104.75°W 0.25'	13.041
C52	13.200	20.000	N104.75°W 0.25'	13.041
C53	13.200	20.000	N104.75°W 0.25'	13.041
C54	13.200	20.000	N104.75°W 0.25'	13.041
C55	13.200	20.000	N104.75°W 0.25'	13.041
C56	13.200	20.000	N104.75°W 0.25'	13.041
C57	13.200	20.000	N104.75°W 0.25'	13.041
C58	13.200	20.000	N104.75°W 0.25'	13.041
C59	13.200	20.000	N104.75°W 0.25'	13.041
C60	13.200	20.000	N104.75°W 0.25'	13.041
C61	13.200	20.000	N104.75°W 0.25'	13.041
C62	13.200	20.000	N104.75°W 0.25'	13.041
C63	13.200	20.000	N104.75°W 0.25'	13.041
C64	13.200	20.000	N104.75°W 0.25'	13.0

[illegible]

DETAIL 'C'

NOT TO SCALE

PART '1', PLAN 688-237156
PIN 02037-0434

159-001 159-002 159-003 159-004 159-005

160-001 160-002 160-003 160-004 160-005

163-001 163-002 163-003 163-004 163-005

DENISON STREET

159th Street

160th Street

161st Street

162nd Street

163rd Street

164th Street

165th Street

166th Street

167th Street

168th Street

169th Street

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NOTES	
1	FOUND MONUMENT
2	SHORT STANDARD IRON BAR PLANTED
3	IRON BAR PLANTED
4	SHORT STANDARD IRON BAR
5	STANDARD IRON BAR
6	IRON BAR
7	PLAN ESN-35586
8	PLAN ESN-40496
9	PLAN 680H-1978
10	PLAN ESN-207756
11	PLAN ESN-23577
12	REPLACES PLAN 68M-3530
13	MEASURED
14	SE
15	CONCRETE PN
16	METRO TRANSPORTATION DEPARTMENT
17	CONCRETE (STALDY BENNETT LTD.
18	M. W. MCKINNON, O.L.S.
19	ORIGIN UNKNOWN
20	CANADIAN NATIONAL RAILWAY
21	SET 58M IN SITE OF 5800', FOUND SEPTEMBER 10, 2005
22	SET 58M IN SITE OF 58037', FOUND SEPTEMBER 10, 2005

ALL FOUND MONUMENTS ARE NUMBERED 92 UNLESS NOTED OTHERWISE.

0.30 RESERVE AREA WAS EXAGGERATED FOR CLARITY.

TOTAL AREA OF SUBDIVISION = 32.0037 ha.

BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS
092901620 AND 092053032, UTM ZONE 17, NAD83 (ORIGINAL).

DISTANCES ARE GRID AND CAN BE CONVERTED TO GRID BY
MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999812

POINT ID.	NORTHING	EASTING
SCP 092901620	4655912.816	642594.725
SCP 092053032	4655393.564	641059.736

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT

LOTS 1 TO M9, BOTH INCLUSIVE, BLOCKS 150 TO 164, BOTH INCLUSIVE, THE STREETS, NAMELY KIRKHAM DRIVE, DENISON STREET, TITAN TRAIL, REDINGTON ROAD AND KIMMADALE DRIVE, STREET NUMBERING NAMELY 1 BLOCKS 165 AND 030 RESERVES, NAMELY BLOCKS 166 TO 171, BOTH INCLUSIVE, HAVE BEEN Laid OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.

2. THE STREETS ARE DEDICATED TO THE CORPORATION OF THE CITY OF MARKHAM AS PUBLIC HIGHWAYS AND THE STREET NUMBERING IS DEDICATED TO CITY OF TORONTO AS A PUBLIC HIGHWAY.

DATED THE 34th DAY OF APRIL, 2018.

FOREST BAY HOMES LTD.



COREY LEBEL - A.L.O.
'I HAVE THE AUTHORITY TO BIND THE CORPORATION'

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF MARCH, 2018.

DATE : JULY 24, 2018.


QD R. D. VALDEZ
ONTARIO LAND SURVEYOR

APPROVED UNDER SECTION 51 OF THE PLANNING ACT RSO 1990,
THIS 31st DAY OF July, 2018.

SGP 09E053032

SCALE
NOT TO SCALE

PIN 02937-0599 PART 1, PLAN 65R-1707R
(DEDICATED BY LAW) No. 29-96, INST. No. L11085807
PIN 02937 - 0221

STEELER AVENUE EAST
(ORIGINAL ROAD ALLOWANCE BETWEEN THE CITY OF MARKHAM AND CITY OF TORONTO)

SCALE
NOT TO SCALE

PART 1,
PLAN 65R-1804Z

SCALE
NOT TO SCALE

SGP 09E090624

SCHAEFFER DZALDOV BENNETT LTD.
ONTARIO LAND SURVEYORS

64 JARDIN DRIVE CONCORD, ONTARIO L4K 3P3 TEL (416) 987-0101

CALC SL DRAWN ACAD/LW CHECKED WMF SCALE HOOB JOB NO. 10-950-000

JULY 24, 2008

Appendix B

File: 21.131880.000.00.MNV

Date: 09/03/21
MM/DD/YY

Memorandum to the City of Markham Committee of Adjustment November 12, 2020

File: A/102/20
Address: 6350 Steeles Ave E Markham
Applicant: Forest Bay Homes Ltd.
Agent: Southoak Estates Inc.
Hearing Date: Wednesday November 18, 2020

The following comments are provided on behalf of the East Team. The applicant is requesting relief from the following Second Density – Medium Density Residential (RMD2) zone requirements of By-Law 90-81, as amended, to permit:

a) Amending By-law 2015-6 Section 2.3 (7.64.1 g):

a minimum setback to an Open Space Zone of 6.0 m (19.68 ft.), whereas the By-law requires a minimum setback to an Open Space Zone of 7.0 m (23.96 ft.).

The variance requested relates to 34 lots in an approved subdivision.

BACKGROUND

Property Description

The 2.72 ha (6.72 ac) subject property is located on the west side of Kirkham Drive, south of Denison street. The site is currently vacant and there is a concurrent site plan application for the development of 92 common element condominium semi-detached dwellings on the subject site (File SC 19 117372). The subject site is located within a low-rise residential subdivision, which is being constructed in phases. A storm water pond abuts westerly portion of the site and a woodlot that is owned by the City, abuts the southerly portion of the site. Vacant lands are located to the north (across Denison Street) and an existing low-rise subdivision is located to the east (across Kirkham Drive). This site was subject to a rezoning and draft plan of subdivision that have both been approved.

Proposal

The applicant is requesting a variance to permit a reduced setback to an open space zone for 34 lots on the subject property as shown in Appendix A. The subject dwellings back onto an Open Space Zone, which includes a storm water management pond along the west side and, an existing woodlot across the southern portion. The subject dwellings are within a proposed common element condominium development containing 92 semi-detached dwellings.

Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated “Residential – Low Rise”, which provides for low-rise housing forms including semi-detached dwellings. The proposed development conforms to the 2014 Official Plan.

Zoning By-Law 90-81

The subject property is zoned Second Density-Medium Density Residential (RMD2) under By-law 90-81, as amended, which permits the proposed common element condominium development. The proposal does not comply with the zoning by-law with respect to the setback to the Open Space Zone requirement of 7.0 m (23.96 ft.) for the 34 lots.

Zoning Preliminary Review (ZPR) Not Undertaken

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

COMMENTS

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained; and
- d) The general intent and purpose of the Official Plan must be maintained.

Reduction in Setback to an Open Space Zone

Zoning approval for the proposed 92 common element condominium semi-detached development on the subject property was granted by the Ontario Municipal Board in 2016 (PL131179). The applicable zoning, as amended, includes provisions for a rear yard setback and a setback to the Open Space Zone. Under amending By-law 2015-6, the required rear yard setback for the subject lots is 6.0 m (19.68 ft.) and the setback to the Open Space Zone is 7.0 m (23.96 ft.). The applicant is proposing a minimum setback of 6.0 m (19.68 ft.) to an Open Space Zone, which represents a reduction of 1.0 m (3.28 ft) for the 34 lots.

The requested variance for a reduced setback to an Open Space Zone will apply to the westerly and southerly portion of the site. It is the opinion of Staff that as the westerly portion of the site abuts a storm water management pond, a 10 m buffer is already being proposed from the natural heritage feature. Therefore, a larger buffer is not required. The southerly portion of the site includes a natural woodlot feature. The proximity of the woodlot narrows across the extent of the lots. Natural Heritage and Urban Design Staff have reviewed the proposed reduction and have concerns with the encroachment on this portion of the site (to the woodlot). To protect the woodlot and prevent unwanted encroachment into the woodlot, as a condition to the approval of this variance, the applicant will be required to install a 6.0 m (19.68 ft.) tall wood fence, subject to the review and approval of Urban Design. Staff are of the opinion that as the grade of the woodlot is higher than that of the lots subject to this application, the roots of the trees will not likely be impacted. Staff are of the opinion that the requested variance satisfies the criteria established by Section 45(1) of the Planning Act.

Staff request that approval of this variance be conditional that the variance only applies to the 34 semi-detached dwellings as shown on Appendix A.

Staff note that the onus is on the applicant to confirm through a zoning preliminary review that the requested variances are accurate. If additional non-conformities with the zoning by-law are identified through the building permit review, the applicant will be required to revise their proposal to comply with the by-law or submit future variance applications for consideration.

PUBLIC INPUT SUMMARY

No written submissions were received as of November 12, 2020. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

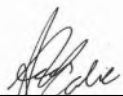
CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:



Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



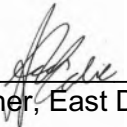
Stacia Muradali, Acting Development Manager, East District
File Path: Amanda\File\ 20 129898 \Documents\District Team Comments Memo

APPENDIX “B”

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/102/20

1. The variances apply only to the proposed development as long as it remains;
2. That the variances apply only to the 34 lots, in substantial conformity with the plan(s) attached as 'Appendix A' to this Staff Report and received by the City of Markham, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction; and
3. That the applicant provide details of the screening fence subject to the satisfaction of the Director of Planning and Urban Design or, their designate.

CONDITIONS PREPARED BY:



Aqsa Malik, Planner, East District

METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PLAN 65M-4619

Appendix A

File: 20-15588-0010-MNV
Date: 11/13/2019
Surveyor: [Signature]

I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION No. 65 AT 15:13 O'CLOCK ON THE 1 DAY OF August 2018 AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIER NO. 02937-0624 AND THE REQUIRED CONSENTS ARE REGISTERED AS PLAN DOCUMENT NO. 4619.

"A. D'ANGELO"
Representative For Land Registrar

THIS PLAN COMPRISES ALL OF PIN 02937-0624, SUBJECT TO EASEMENT OVER PART 1, PLAN 65R-35956 AS IN INST. No. YR2854449 (AFFECTS THE WHOLE PLAN).

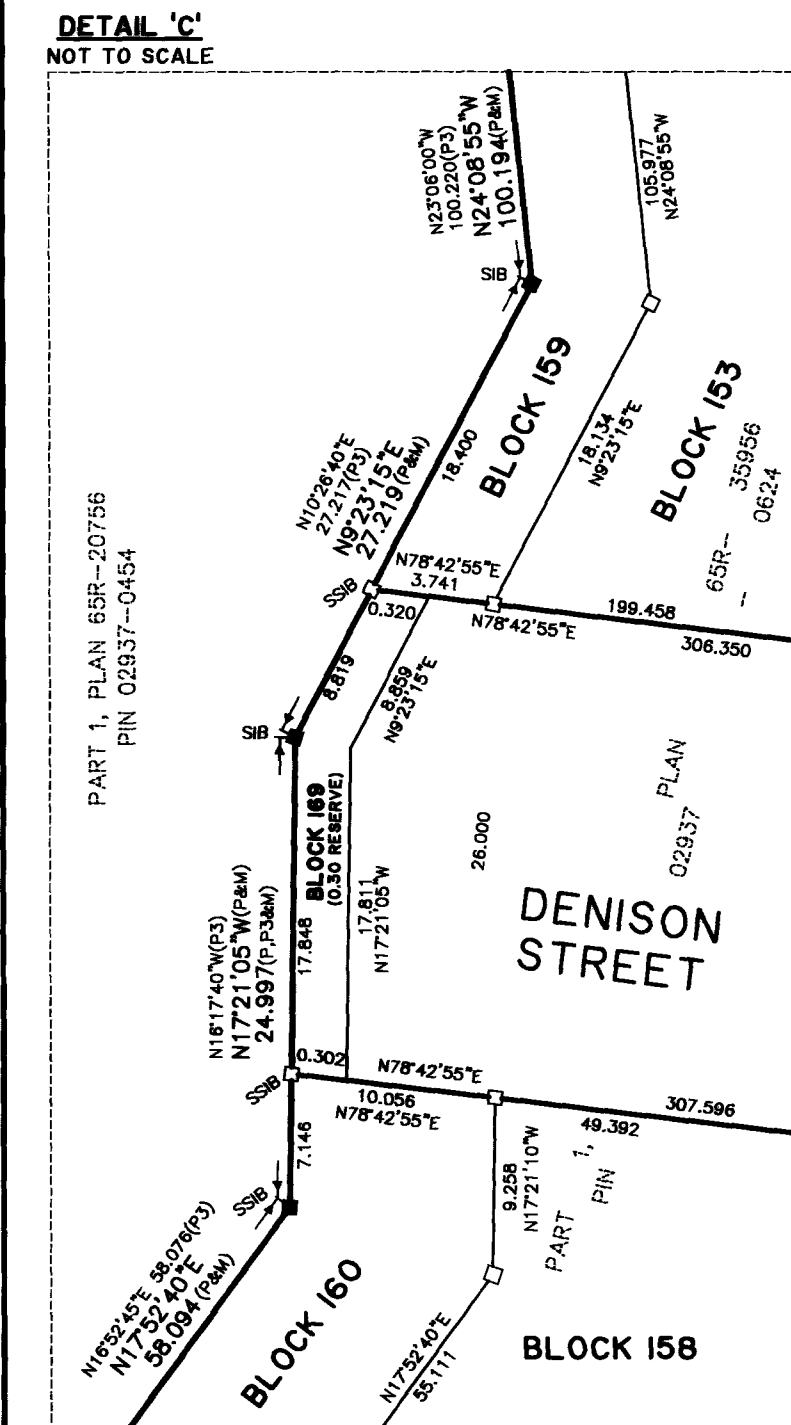
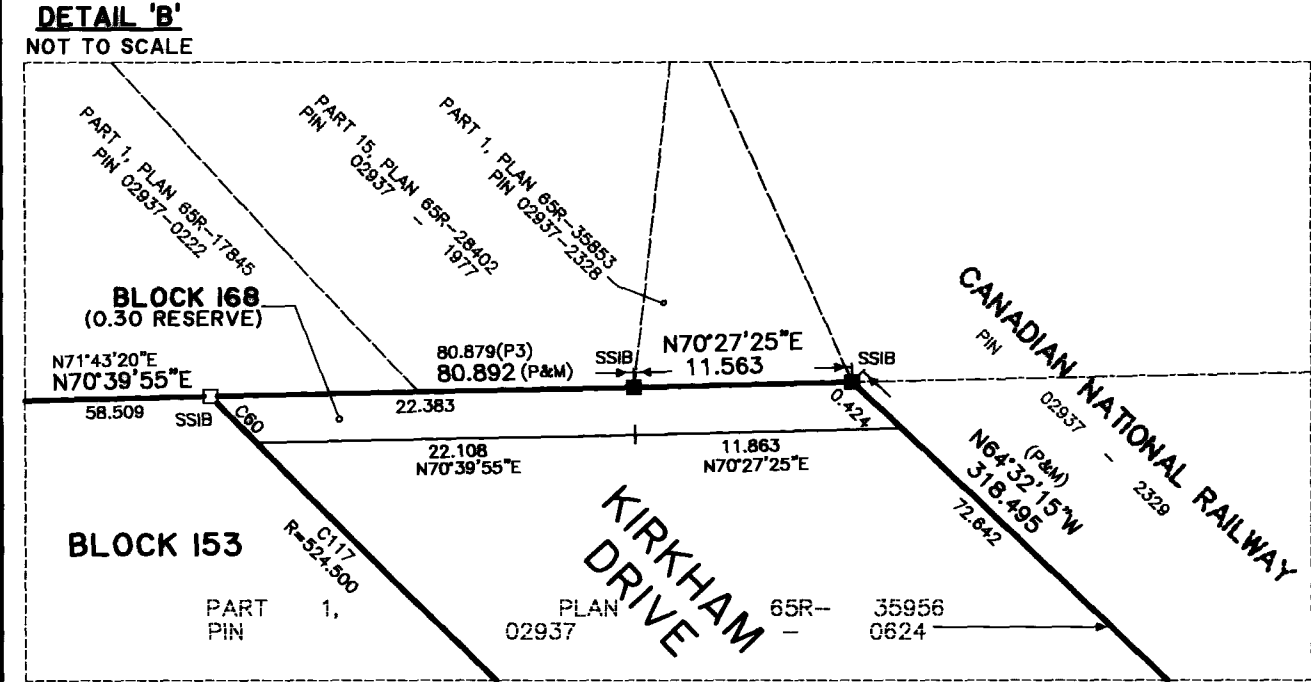
PLAN OF SUBDIVISION OF
PART OF LOTS 1, 2 AND 3
CONCESSION 8
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK
(GEOGRAPHIC TOWNSHIP OF MARKHAM, COUNTY OF YORK)
SCALE 1:1000
SCHAEFFER DZALDOV BENNETT LTD.

20 0 20 40 60 80 100 METRES

CURVE TABLE

NUM	ARC	RADIUS	BEARING	DISTANCE
C1	137.555	148.000	N37°54'40"W	132.857
C2	160.376	175.500	N37°54'40"W	154.817
C3	59.269	183.500	N87°29'25"E	56.037
C4	0.315	183.500	N87°29'25"E	0.315
C5	30.025	183.500	N87°16'25"E	29.995
C6	0.320	187.500	N87°25'10"W	0.320
C7	30.326	187.500	N87°11'45"W	30.483
C8	30.846	187.500	N87°08'25"W	30.802
C9	28.800	187.500	N87°02'30"E	28.801
C10	2.001	187.500	N79°03'29"E	2.001
C11	167.856	887.750	N87°03'00"E	167.696
C12	68.259	887.750	N87°04'55"W	68.242
C13	99.587	887.750	N87°05'00"E	99.544
C14	172.488	912.250	N85°02'00"E	172.531
C15	8.970	912.250	N11°00'10"W	8.989
C16	15.002	912.250	N10°15'00"W	15.001
C17	15.007	912.250	N87°18'30"W	15.007
C18	15.017	912.250	N87°15'00"W	15.016
C19	15.030	912.250	N79°29'20"W	15.030
C20	15.048	912.250	N87°29'20"W	15.048
C21	15.070	912.250	N87°31'55"W	15.070
C22	15.096	912.250	N87°30'00"W	15.096
C23	15.126	912.250	N87°38'05"W	15.126
C24	15.161	912.250	N24°10'00"W	15.161
C25	16.215	912.250	N1°15'30"W	16.215
C26	17.747	912.250	N2°49'15"W	17.747
C27	7.854	5.000	N45°27'00"W	7.071
C28	21.224	112.250	N84°07'50"E	21.183
C29	12.312	112.250	N1°15'30"W	12.306
C30	8.912	112.250	N87°58'20"E	8.910
C31	7.852	5.000	N37°03'10"E	7.056
C32	3.672	10.000	N67°33'30"W	3.651
C33	2.302	10.000	N17°38'05"W	2.297
C34	1.370	10.000	N87°08'15"W	1.369
C35	46.018	20.000	N33°50'15"E	36.518
C36	10.208	20.000	N17°17'25"E	10.088
C37	9.481	20.000	N17°44'50"E	9.392
C38	11.713	20.000	N45°05'30"E	11.594
C39	13.123	20.000	N76°40'50"E	12.889
C40	1.483	20.000	N87°23'10"E	1.497
C41	3.672	10.000	N87°15'00"E	3.651
C42	24.439	128.250	N84°07'50"E	24.402
C43	2.049	128.250	N1°15'30"W	2.049
C44	14.328	128.250	N87°47'50"E	14.320
C45	8.062	128.250	N87°04'55"W	8.061
C46	7.854	5.000	N45°27'00"W	7.071
C47	20.841	110.750	N87°43'30"E	20.744
C48	7.043	110.750	N87°43'30"E	7.044
C49	13.895	110.750	N82°18'30"E	13.895
C50	4.885	15.000	N87°15'00"E	4.883
C51	44.488	20.000	N59°14'45"W	30.858
C52	8.547	20.000	N72°38'40"E	8.561
C53	11.219	20.000	N79°08'00"W	11.072
C54	11.713	20.000	N87°05'00"E	11.594
C55	12.889	20.000	N11°00'45"W	12.867
C56	4.905	15.000	N1°15'30"W	4.905
C57	0.489	15.000	N87°31'00"E	0.489
C58	3.062	15.000	N87°15'00"E	3.062
C59	3.480	10.000	N87°11'45"W	3.482
C60	0.408	504.500	N81°50'50"E	0.408
C61	2.698	20.000	N47°14'50"E	2.697
C62	45.375	20.000	N33°51'15"E	36.251
C63	1.354	15.000	N87°05'00"E	1.354
C64	12.797	20.000	N92°02'30"E	12.580
C65	13.332	20.000	N87°05'00"E	13.086
C66	12.702	20.000	N86°40'15"E	12.489
C67	3.646	20.000	N87°37'00"E	3.640
C68	5.320	10.000	N87°05'00"E	5.320
C69	7.901	5.000	N37°26'40"E	7.104
C70	7.807	5.000	N87°05'00"E	7.038
C71	7.804	5.000	N37°42'30"E	7.071
C72	7.804	5.000	N87°05'00"E	7.071
C73	12.957	128.250	N81°30'10"E	12.952
C74	11.305	128.250	N87°13'30"E	11.301
C75	1.603	128.250	N87°08'15"W	1.603
C76	8.024	5.000	N37°28'50"E	7.191
C77	7.996	5.000	N87°43'50"E	7.176
C78	11.253	112.250	N81°30'10"E	11.248
C79	1.354	112.250	N87°05'00"E	1.354
C80	9.889	112.250	N81°14'50"E	9.880
C81	7.854	5.000	N37°42'30"E	7.071
C82	7.854	5.000	N87°17'00"E	7.071
C83	24.125	127.750	N84°07'50"E	24.119
C84	14.224	127.750	N87°14'50"E	14.217
C85	9.931	127.750	N87°19'15"E	9.926
C86	7.854	5.000	N44°32'00"E	7.071
C87	86.889	437.750	N67°08'20"W	86.756
C88	26.483	437.750	N27°11'00"E	26.480
C89	27.317	437.750	N5°42'25"W	27.312
C90	30.749	437.750	N87°05'00"E	30.742
C91	2.341	437.750	N11°40'20"W	2.341
C92	81.763	482.250	N87°08'20"W	81.612
C93	146.488	162.250	N37°11'15"W	141.540
C94	3.630	162.250	N17°28'00"W	3.630
C95	11.777	162.250	N1°11'15"W	11.776
C96	11.777	162.250	N1°20'45"W	11.775
C97	11.777	162.250	N37°05'00"E	11.775
C98	11.777	162.250	N27°39'50"W	11.775
C99	11.777	162.250	N27°39'50"W	11.775
C100	12.212	162.250	N36°03'30"W	12.209
C101	12.281	162.250	N47°23'00"W	12.278
C102	12.425	162.250	N44°44'40"W	12.422
C103	47.034	162.250	N50°14'35"W	46.870
C104	121.251	138.000	N41°18'30"E	120.361
C105	10.623	7.500	N17°14'00"E	9.757
C106	31.105	138.500	N87°23'00"E	30.815
C107	58.056	161.500	N86°39'20"E	57.744
C108	1.186	162.250	N11°15'00"E	1.186
C109	128.056	162.250	N41°19'30"W	127.918
C110	12.030	162.250	N21°12'25"W	12.027
C111	36.420	162.250	N26°05'00"W	36.346
C112	77.801	162.250	N87°05'00"E	76.866
C113	124.351	137.750	N37°11'15"W	120.111
C114	7.824	4.500	N38°48'20"E	6.975
C115	1.034	4.500	N58°09'10"W	1.040
C116	7.854	5.000	N44°32'55"E	7.071
C117	24.067	524.500	N87°13'30"E	24.064
C118	23.650	524.500	N87°11'45"W	23.651
C119	28.929	163.500	N87°09'50"E	28.902
C120	28.854	167.500	N87°08'30"E	28.815

PART 1, PLAN 65R-23577
PIN 02937-0622



NOTES

FOUND MONUMENT

SHORT STANDARD IRON BAR PLANTED

IRON BAR PLANTED

SHORT STANDARD IRON BAR

STANDARD IRON BAR

IRON BAR

PLAN 65R-55956

PLAN 65R-10496

PLAN 65R-10496

PLAN 65R-10496

PLAN 65R-23577

REGISTERED PLAN 65M-3530

MEASURED

SET

CONCRETE PIN

METRO TRANSPORTATION DEPARTMENT

SCHAEFFER DZALDOV BENNETT LTD.

R.S. MURPHY, O.L.S.

ORIGIN UNKNOWN

CANADIAN NATIONAL RAILWAY

SET 888 IN SITE OF 888(S), FOUND SEPTEMBER 10, 2008

SET 888 IN SITE OF 888(S), FOUND SEPTEMBER 10, 2008

ALL FOUND MONUMENTS ARE NUMBERED 922 UNLESS NOTED OTHERWISE.

0.30 RESERVES HAVE BEEN EXAGGERATED FOR CLARITY.

TOTAL AREA OF SUBDIVISION = 32.0073 ha.

BEARINGS ARE UTM GRID, DERIVED FROM SPECIFIED CONTROL POINTS 09201620 AND 09203032, UTM ZONE 17, NAD83 (ORIGINAL).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.999821

SPECIFIED CONTROL POINTS (SCP): UTM ZONE 17, NAD83 (ORIGINAL) COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF OREG. 216/10		
POINT ID.	NORTHING	EASTING
SCP 092901620	485592.86	642594.725
SCP 092053032	485593.564	641059.736
COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN		

OWNER'S CERTIFICATE

THIS IS TO CERTIFY THAT:

1. LOTS 1 TO 149, BOTH INCLUSIVE, BLOCKS 150 TO 164, BOTH INCLUSIVE, THE STREETS, NAMELY KIRKHAM DRIVE, DENISON STREET, TITAN TRAIL, REDDINGTON ROAD, AND MOHADAS DRIVE, STREET WIDENING, NAMELY BLOCK 155 AND 0.30 RESERVES, NAMELY BLOCKS 164 TO 171, BOTH INCLUSIVE, HAVE BEEN LAID OUT IN ACCORDANCE WITH OUR INSTRUCTIONS.

2. THE STREETS ARE DEDICATED TO THE CORPORATION OF THE CITY OF MARKHAM AS PUBLIC HIGHWAYS AND THE STREET WIDENING IS DEDICATED TO CITY OF TORONTO AS A PUBLIC HIGHWAY.

DATED THE 24th DAY OF JULY, 2018.
FOREST BAY HOMES LTD.

"COREY LABEL - A.L.O."
I HAVE THE AUTHORITY TO BIND THE CORPORATION

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 18th DAY OF MARCH, 2018.

DATE: JULY 24, 2018.

"SCHAEFFER DZALDOV BENNETT LTD."
ONARIO LAND SURVEYOR

APPROVED UNDER SECTION 51 OF THE PLANNING ACT R50 1990, THIS 31st DAY OF JULY, 2018.



FRONT ELEVATION 'A'

FRONT ELEVATION 'A' (REV)



FRONT ELEVATION 'B1'

FRONT ELEVATION 'B2' (REV)

B152
UNPAIRED @ GARAGE

no.		description	date	by
16.	.			
15.	.			
14.	.			
13.	.			
12	ADD 3RD BATH TO SEC. FL	FEB 24-20 RC		
11	UPDATED AS PER WORKING DRAWINGS	APR 17/19 PB		
10	REV. ELEV. PORCH POST TO 16"x16"	FEB. 01/19 DB		
9	REDUCED DEPTH OF PORCH BY 6"	FEB. 01/19 DB		
8	REISSUED FOR ARCH CONTROL REVIEW	NOV 15/18 KL		
7	REISSUED FOR CLIENT REVIEW	NOV 09/18 KL		
6	SHORTED PORCH TO MEET 0.45m ENCROACHMENT	NOV 07/18 KL		
5	DIFFERENT GARAGE DR & GRILL PATTERN FOR ELB	OCT 29/18 KL		
4	ISSUED FOR ARCH CONTROL REVIEW	SEPT 07/18 KL		
3	ISSUED ELEV. FOR CLIENT REVIEW	JUL 26/18 KL		
2	REV. AS PER CLIENT'S COMMENTS	JUN 26/18 KL		
1	ISSUED FOR CLIENT REVIEW	MAY 09/18 KL		

Appendix A

File: 20.129898.000.00.MNV

Date: 11/13/20

DESIGN

drawn by KL

file name 11012_SD-3

unit name

11012

project no.

1891 A,B1,B2,C1

area summary (sq ft)

1900 C2

APRIL 2018

date

SD-3M

255 Consumers Rd Suite 120

Toronto ON M2J 3K4

f 416.630.4782

va5design.com

CALEXICO HOLDINGS INC.

FAIRTREE (B151 & 152)
MARKHAM, ON.



FRONT ELEVATION 'C1' FRONT ELEVATION 'C2' (REV)

B152
UNPAIRED @ GARAGE

no.		description		date		revision	
16.	.	.	.	.	.	.	.
15.	.	.	.	.	.	.	.
14.	.	.	.	.	.	.	.
13.	.	.	.	.	.	.	.
12	ADD 3RD BATH TO SEC. FL	FEB 24-20 RC					
11	UPDATED AS PER WORKING DRAWINGS	APR 17/19 PB					
10	REV. ELEV. PORCH POST TO 16"x16"	FEB. 01/19 DB					
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5	DIFFERENT GARAGE DR & GRILL PATTERN FOR ELB	OCT 29/18 KL					
4	ISSUED FOR ARCH. CONTROL REVIEW	SEPT 07/18 KL					
3	ISSUED ELEV. FOR CLIENT REVIEW	JUL 26/18 KL					
2	REV. AS PER CLIENT'S COMMENTS	JUN 26/18 KL					
1	ISSUED FOR CLIENT REVIEW	MAY 09/18 KL					

Appendix A

File: 20.129898.000.00.MNV

Date: 11/13/20

drawn by KL

file name 11012_SD-3

unit name

1891 A,B1,B2,C1

area summary (sq ft) 1900 C2

project no. 11012

date APRIL 2018

11012

SD-3M

CALEXICO HOLDINGS INC.

FAIRTREE (B151 & 152)
MARKHAM, ON.



FIN GRADE

UPGRADED REAR ELEVATION
'A' (REV)

UPGRADED REAR ELEVATION
'A'

UPGRADED REAR ELEVATION
'B2' (REV)

UPGRADED REAR ELEVATION
'B1'

B152
UNPAIRED @ GARAGE

no.	description	date	revision	
			by	is
16.		.	.	.
15.		.	.	.
14.		.	.	.
13.		.	.	.
12	ADD 3RD BATH TO SEC. FL	FEB 24-20 RC		
11	UPDATED AS PER WORKING DRAWINGS	APR 17/19 PB		
10	REV. ELEV. PORCH POST TO 16"x16"	FEB. 01/19 DB		
9	REDUCED DEPTH OF PORCH BY 6"	FEB. 01/19 DB		
8	REISSUED FOR ARCH CONTROL REVIEW	NOV 15/18 KL		
7	REISSUED FOR CLIENT REVIEW	NOV 09/18 KL		
6	SHORTED PORCH TO MEET 0.45m ENCROACHMENT	NOV 07/18 KL		
5	DIFFERENT GARAGE DR & GRILL PATTERN FOR ELB	OCT 29/18 KL		
4	ISSUED FOR ARCH CONTROL REVIEW	SEPT 07/18 KL		
3	ISSUED ELEV. FOR CLIENT REVIEW	JUL 26/18 KL		
2	REV. AS PER CLIENT'S COMMENTS	JUN 26/18 KL		
1	ISSUED FOR CLIENT REVIEW	MAY 09/18 KL		

Appendix A

File: 20.129898.000.00.MNV

Date: 11/13/20

drawn by

KL

file name

11012_SD-3

unit name

project no.

11012

date

APRIL 2018

area summary (sq ft)

1891 A,B1,B2,C1

1900 C2

SD-3M

CALEXICO HOLDINGS INC.

FAIRTREE (B151 & 152)
MARKHAM, ON.



UPGRADED REAR ELEVATION
'C2' (REV)

UPGRADED REAR ELEVATION
'C1'

B152
UNPAIRED @ GARAGE

no.	description	date	revisions	
			by	date
16.		.	.	.
15.		.	.	.
14.		.	.	.
13.		.	.	.
12	ADD 3RD BATH TO SEC. FL	FEB 24-20 RC		
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3	ISSUED ELEV. FOR CLIENT REVIEW	JUL 26/18 KL		
2	REV. AS PER CLIENT'S COMMENTS	JUN 26/18 KL		
1	ISSUED FOR CLIENT REVIEW	MAY 09/18 KL		

Appendix A

File: 20.129898.000.00.MNV

Date: 11/13/20

project no.	11012	date	APRIL 2018
area summary (sq ft)	1891 A,B1,B2,C1	file name	11012_SD-3
1900 C2		unit name	

CALEXICO HOLDINGS INC.

FAIRTREE (B151 & 152)
MARKHAM, ON.

Richard - G:\ARCHIVE\DESIGN\2011\11012.GMD\B151 & 152\11012.SP-3.dwg - Thu - Oct 15 2020 - 9:07 AM

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255 Consumers Rd Suite 120
Toronto ON M2J 3K4
f 416.630.4782
vasdesign.com