

# Memorandum to the City of Markham Committee of Adjustment

April 25, 2021

**File:** B/022/20  
**Address:** 5 Lunar Crescent – Markham, ON  
**Applicant:** Hong Lin Wang  
**Agent:** Z Square Group  
**Hearing Date:** May 5, 2021

The following comments are provided on behalf of the Central Team. The purpose of this application is to create one new residential lot. The applicant is requesting provisional consent to:

- a) retain a parcel of land with an approximate lot frontage of 18.83 m (61.78 ft) and an approximate lot area of 806.60 m<sup>2</sup> (8,682.17 ft<sup>2</sup>) (Part 1); and
- b) sever and convey a parcel of land with an approximate lot frontage of 18.83 m (61.78 ft) and an approximate lot area of 806.60 m<sup>2</sup> (8,682.17 ft<sup>2</sup>) (Part 2).

## BACKGROUND

### Property Description

The 1,613.20 m<sup>2</sup> (17,364.34 ft<sup>2</sup>) subject property is located on the south side of Lunar Crescent, north of Highway 7 East, and east of Woodbine Avenue. There is an existing one-storey single detached dwelling on the property with an attached garage, and wood shed located in the rear yard. There is also a well located in the rear yard of the property, as shown on the Plan of Survey submitted by the applicant (Appendix “B”). Mature trees and vegetation exist throughout the property.

The surrounding area is comprised of a mix of residential lots which are generally rectangular in shape, and range in lot areas and frontages along Hughson Drive, Ankara Court, and Lunar Crescent. The surrounding area contains a mix of one and two-storey single detached dwellings as the common built form.

### Proposal

The applicant is proposing to sever the existing residential lot to facilitate the creation of one new additional residential lot. The applicant is also proposing to demolish and remove the existing one-storey detached dwelling, and accessory structure (wood shed) to facilitate the construction of two new two-storey single detached dwellings, one on the retained lot (Part 1), and the other on the severed lot (Part 2).

### Zoning Preliminary Review (ZPR) Undertaken

The applicant submitted a completed ZPR which confirmed the need to obtain a variance to the By-law related to an increase in lot coverage for the proposed development. However, the applicant submitted revised drawings and plans as part of their formal submission which complies with the minimum lot coverage as permitted by the By-law (Appendix “D”).

The applicant made further revisions to the drawings after receiving staff comments relating to the preservation of a mature tree (Tree #1) located in the front yard (see Tree Protection Plan in Appendix “E”). The applicant completed a new ZPR, and received a

letter from Zoning Staff indicating that the revised plans are in compliance with the requirements of the Zoning By-law.

## **COMMENTS**

Official Plan 2014 (partially approved on November 24/17, and updated on April 19/18

The subject property is designated “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Where severances are proposed, Section 10.3.2 of the Official Plan outlines a set of criteria for provisional consents to be granted, in addition to the criteria of Section 51(24) of the *Planning Act, R.S.O. 1990, c. P.13*. The following applies, and staff are of the opinion that the proposed development:

- would result in the creation of fewer than three lots, and a plan of subdivision is therefore not necessary;
- has adequate servicing, and no extension of municipal services, or infrastructure is required, aside from the need to provide for new service connections to each lot and disconnecting any unused service connections;
- fronts onto a public street;
- will not restrict the development of adjacent lands;
- conforms with the size requirements of the Zoning By-law, and is compatible;
- would not adversely impact or affect any potential cultural heritage resources; and
- conforms to the relevant policies of the Official Plan.

Zoning By-law 221-81, as amended, by By-law 2012-13

The subject property is zoned “Third Density – Single Family Residential Exception Two (R3\*2) Zone” under By-law 221-81, as amended by By-law 2012-13, which permits one single detached dwelling per lot. Exception Two relates to Amending By-law 2012-13 (“the Amending By-law”) that was enacted by the City of Markham, subsequent to an order issued by the Ontario Municipal Board (“the OMB”) on August 8, 2012. Amongst other standards, the Amending By-law introduced new minimum lot frontage and area requirements, resulting in redevelopment and intensification of the area.

As it relates to lot division, the Amending By-law, requires a minimum lot frontage of 50.0% of a lot of record existing on the date of the passing of the By-law amendment. The Amending By-law also requires a minimum lot area of 50.0% of a lot of record existing on the date of the passing of the By-law amendment. The proposed development complies with the applicable development standards of the Amending By-law.

### Engineering Comments

Engineering staff advise that both water and sewer services on the retained and conveyed parcels must have individual and separate connections. Engineering staff also note that the applicant will be required to submit a separate site servicing and grading plan for review and approval at the building permit stage.

The applicant will also be required to make satisfactory arrangements with the City’s Engineering department as it relates to municipal inspections for the installation of the proposed sanitary, storm, and water main service connections to service the newly

created lot and disconnect any unused service connections. Staff recommend this be addressed as a condition of approval (Appendix “A”).

#### Urban Design Comments

Urban Design staff reviewed the application, and recommended that the applicant flip the driveway on the retained lot (Part 1), to preserve Tree #1 as identified in the Tree Protection and Replanting Plan. Tree #1 is a mature Alaskan Cedar tree in fair health, located in the front yard, and has trunks with diameters at breast height (DBH) of 0.28 m (0.92 ft) and 0.13 m (0.43 ft).

The applicant has worked constructively with staff to preserve Tree #1, in addition to other trees proposed to be preserved on the subject property (see revised Tree Protection and Replanting Plan in Appendix “E”).

#### Tree Protection and Compensation

The arborist report and tree protection and replanting plan confirms that a total of 11 privately owned trees exist on the subject property (Appendix “E”). The applicant is proposing to remove seven trees, and protect the remaining four trees as a result of the proposed infill development. The tree protection plan confirms that neighbouring trees will be protected.

The applicant is also proposing to plant a total of twenty-five new trees split between both Part 1 and Part 2 of the subject property. The plantings would comprise of a mixture of the following tree species: Redbuds, Hackberrys, Red Oaks, Ironwoods, and Basswoods which are species that are listed on the City of Markham’s Native Tree Species and, or Trees for Our Urban Environment registers.

The applicant will be required to obtain a tree permit from the City as it relates to any proposed injury, or removal of trees located on the subject property, neighbouring property, or within the municipal boulevard. Further mitigation as it relates to tree protection may be required through the City’s Residential Infill Grading and Servicing process.

#### Regional Municipality of York Comments

The Regional Municipality of York has reviewed the application, and comments that the adequate water supply and sewage capacity servicing allocation for the new lot be confirmed. Staff recommend that this comment be addressed through adopting the associated condition of approval as detailed in Appendix “A”.

#### **PUBLIC INPUT SUMMARY**

No written submissions were received as of April 25, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

#### **CONCLUSION**

In concluding that the proposal is appropriate, staff have had regard for the criteria in Section 51(24) of the *Planning Act*, and support the proposed development. Planning staff recognize there is a variation between the sizes and frontages of lots within the surrounding area, and are of the opinion that the proposed application for provisional

consent is consistent with the policies of the Official Plan, and complies with the zoning requirements for each provisional lot.

Staff recommend that approval of this application be subject to the conditions of approval provided in Appendix "A", including that the applicant enter into a Development Agreement with the City. Staff recommend that the Committee consider public input in reaching a decision.

**APPENDICES**

Appendix A: Conditions of Approval

Appendix B: Plan of Survey

Appendix C: Draft Reference Plan

Appendix D: Plans (Parts 1 and 2)

Appendix E: Tree Protection and Replanting Plan

Appendix F: Aerial – Existing Parcel Fabric

PREPARED BY:



Aleks Todorovski, Planner, Zoning and Special Projects

REVIEWED BY:



Sabrina Bordone, Senior Planner, Central District

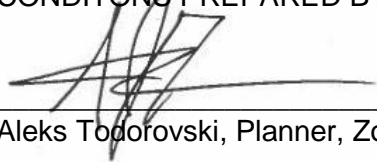
**APPENDIX “A”**  
**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF B/022/20**

1. Payment of all outstanding realty taxes and local improvements charges owing to date against both the subject and retained parcels, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled.
2. Submission to the Secretary-Treasurer of the required transfers to effect the severances applied for under Files B/022/20, in duplicate, conveying the subject lands, and issuance by the Secretary Treasurer of the certificate required under subsection 53(42) of the *Planning Act*.
3. Submission to the Secretary-Treasurer of a reference plan showing the subject land, which conforms substantially to the application as submitted.
4. Payment of the required Conveyance Fee for the creation of residential lots per City of Markham Fee By-law 211-83, as amended.
5. The Owner shall enter into a Development Agreement with the City to the satisfaction of the City Solicitor, Director of Planning and Urban Design, Director of Operations, and/or the Director of Engineering, or their designates, which Development Agreement shall be registered on title to the lands in priority to all mortgages, charges, liens and other encumbrances, and the Owner shall procure and cause to be executed and registered at its own cost and expense such discharges, postponements, and subordination agreements as may be required by the City in order to provide for the priority of registration for the Development Agreement on title to the Lands. The Development Agreement shall specifically provide for matters including but not limited to:
  - i) Payment of all applicable fees in accordance with the City’s fee By-law;
  - ii) Submission of an Arborist Report and Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City’s Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
  - iii) Erection and inspection by City staff of tree protection fencing, in accordance with the City’s Streetscape Manual (2009), as amended, and the Tree Assessment and Preservation Plan;
  - iv) Planting of any required replacement trees, and payment of replacement fees in accordance with the City’s Streetscape Manual (2009), as amended, and the Tree Assessment and Preservation Plan;
  - v) Submission of securities respecting any works to be provided in accordance with the Development Agreement;
  - vi) Payment of cash-in-lieu of Parkland Dedication in accordance with By-law 195-90, as amended, upon execution of the development agreement. The applicant shall submit an Appraisal report prepared by a member of the Appraisal Institute of Canada in accordance with the City’s terms of reference respecting the proposed new lot, to be reviewed and approved by the City; and
  - vii) Notice that the lands may not be connected to the City’s water system, sewage system and/or drainage system (the “Municipal Services”), and that in order to connect to the Municipal Services, the Owner must

submit an application to the City and pay for the connections to the Municipal Services, which shall be installed by the City.

6. That the applicant satisfies that water and wastewater servicing capacity is available to service this application as provided by the Regional Municipality of York in their comments to the applicant, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design or designate.
7. That the Owner provides confirmation from an Ontario Land Surveyor that the severed and retained parcels, in their final configuration, meets all the requirements of the applicable Zoning By-law, including any development standards for building and structures, and that the Secretary-Treasurer receive written confirmation that this condition has been satisfied to the satisfaction of the Zoning Supervisor or designate.
8. Fulfillment of all of the above conditions within one (1) year of the date that notice of the decision was given under Section 50(17) or 50(24) of the *Planning Act*, R.S.O. 1990, c.P.13.

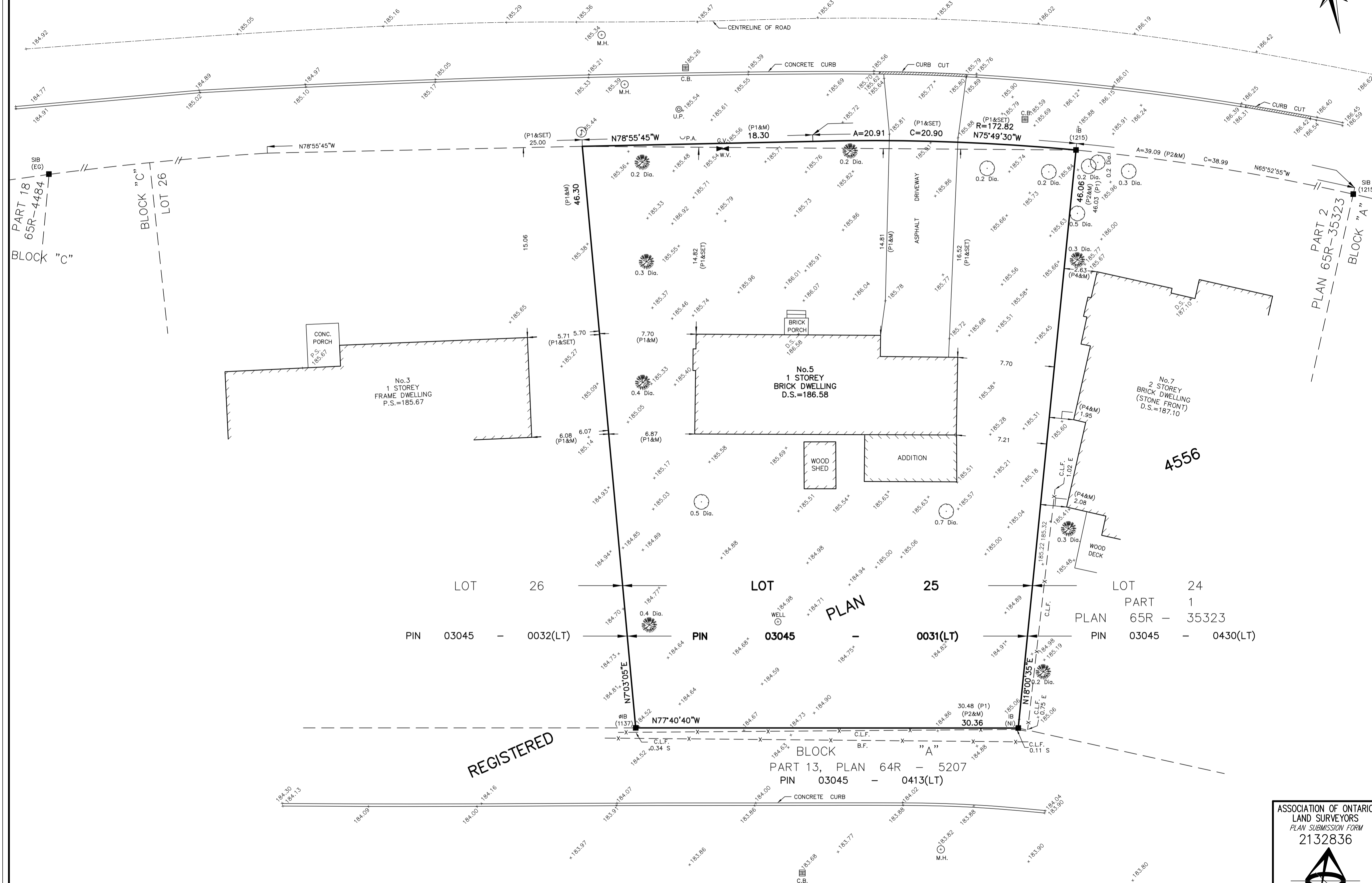
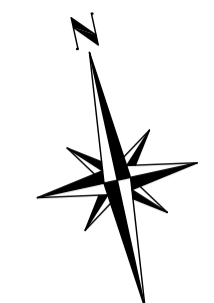
CONDITONS PREPARED BY:

A handwritten signature in black ink, appearing to read 'Aleks Todorovski', is written over a horizontal line. The signature is stylized and somewhat illegible.

Aleks Todorovski, Planner, Zoning and Special Projects

**APPENDIX "B"**  
**PLAN OF SURVEY**

LUNAR CRESCENT  
(BY REGISTERED PLAN 4556)  
PIN 03045 - 0231(LT)



**SURVEYOR'S REAL PROPERTY REPORT**  
**PART 1 - PLAN OF SURVEY OF**  
**LOT 25**  
**REGISTERED PLAN 4556**  
**CITY OF MARKHAM**  
**REGIONAL MUNICIPALITY OF YORK**

SCALE 1:200  
10m 5 0 10 METRES

MANDARIN SURVEYORS LIMITED, O.L.S. ©  
**METRIC**  
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES MONUMENT SET
  - DENOTES MONUMENT FOUND
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - ®IB DENOTES ROUND IRON BAR
  - RP DENOTES REGISTERED PLAN 4556
  - P1 DENOTES PLAN OF SURVEY BY HORTON CARR & HAYNES, O.L.S. DATED SEPTEMBER 23, 1954
  - P2 DENOTES PLAN 65R-35323
  - P3 DENOTES PLAN 65R-4484
  - P4 DENOTES PLAN OF SURVEY BY ERTL SURVEYORS, O.L.S. DATED NOVEMBER 27, 2015
  - PIN DENOTES PROPERTY IDENTIFIER NUMBER
  - M DENOTES MEASURED
  - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
  - C.L.F. DENOTES CHAIN LINK FENCE
  - B.F. DENOTES BOARD FENCE
  - 1137 DENOTES R.C. MCKIBBIN, O.L.S.
  - 1215 DENOTES ERTL SURVEYORS, O.L.S.
  - E.G. DENOTES EDWARDS & GUNN LTD., O.L.S.
  - NU DENOTES ORIGIN UNKNOWN
  - NI DENOTES NOT IDENTIFIABLE
  - D.S. DENOTES FINISHED SILL ELEVATION AT ENTRY
  - CONC. DENOTES CONCRETE
  - U.P. DENOTES UTILITY POLE
  - W.V. DENOTES WATER VALVE
  - M.H. DENOTES MAN HOLE
  - C.B. DENOTES CATCH BASIN
  - P.A. DENOTES POLE ANCHOR
  - DENOTES CONIFEROUS TREE
  - DENOTES DECIDUOUS TREE

ALL TIES TO CONCRETE FOUNDATION, UNLESS NOTED OTHERWISE.  
BEARINGS ARE U.T.M. GRID DERIVED FROM SPECIFIED CONTROL  
POINTS 092143020 AND 092143021, U.T.M. ZONE 17, NAD83

**BENCHMARK NOTE**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO THE CITY  
OF MARKHAM BENCHMARK No.092143020, HAVING AN ELEVATION OF 183.766 METRE.  
BRASS TABLET SET IN CONCRETE SIDEWALK 23 METRES NORTH SIDE OF  
CENTRELINE OF HIGHWAY No. 7 AND 134 METRES EAST SIDE OF WOODBINE  
AVENUE.

**PART 2 (SURVEY REPORT)**

- REGISTERED EASEMENTS AND/OR RIGHT OF WAYS: NONE.
- ADDITIONAL COMMENTS: NOTE THE LOCATION OF THE FENCES AROUND THE SOUTHERLY AND EASTERLY LIMITS OF THE SUBJECT PROPERTY.
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS REPORT WAS PREPARED FOR TANG, LING AND THE UNDERSIGNED  
ACCEPTS NO RESPONSIBILITY FOR ITS USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 10th DAY OF JULY, 2020

JULY 21, 2020  
DATE

Z. ZENG  
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
2132836

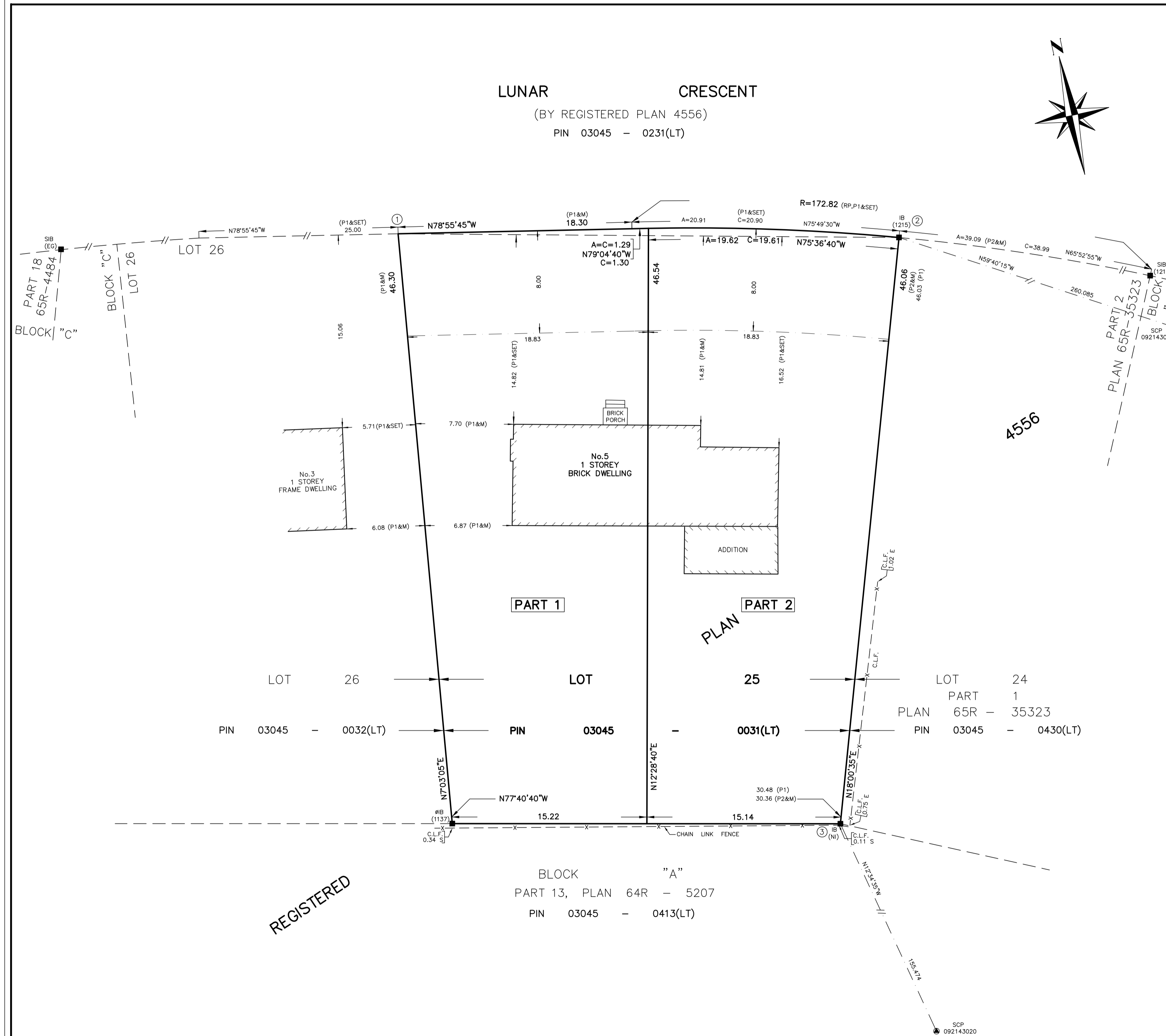
THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR.  
In accordance with  
Regulation 1026, Section 29(3).

**MANDARIN SURVEYORS LIMITED**  
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR  
WWW.MANDARINSURVEYOR.COM  
2400 MIDLAND AVENUE #121 PHONE: (647)430-1366 FAX: (647)799-4068  
TORONTO, ONTARIO, M1S 1X7 E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z. CAD No: 20-149SRPR JOB No: 2020-149



**APPENDIX "C"**  
**DRAFT REFERENCE PLAN**



LUNAR CRESCENT  
(BY REGISTERED PLAN 4556)  
PIN 03045 - 0231(LT)

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

**PLAN 65R-**

RECEIVED AND DEPOSITED

DATE \_\_\_\_\_, 2020

Z. ZENG  
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION (No. 65)

SCHEDULE

PART	ALL OF LOT	REGISTERED PLAN	ALL OF PIN	AREA(m <sup>2</sup> )
1	25	4556	03045-0031(LT)	806.6
2				806.6

PLAN OF SURVEY OF  
LOT 25, REGISTERED PLAN 4556  
CITY OF MARKHAM  
REGIONAL MUNICIPALITY OF YORK  
SCALE 1:200

10m 5 0 10 METRES

MANDARIN SURVEYORS LIMITED, O.L.S.

**METRIC**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES MONUMENT SET
  - DENOTES MONUMENT FOUND
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - ØIB DENOTES ROUND IRON BAR
  - RP DENOTES REGISTERED PLAN 4556
  - P1 DENOTES PLAN OF SURVEY BY HORTON CARR & HAYNES, O.L.S. DATED SEPTEMBER 23, 1954
  - P2 DENOTES PLAN 65R-35323
  - P3 DENOTES PLAN 65R-4484
  - PIN DENOTES PROPERTY IDENTIFIER NUMBER
  - M DENOTES MEASURED
  - N,S,E,W DENOTES NORTH, SOUTH, EAST, WEST
  - C.L.F. DENOTES CHAIN LINK FENCE
  - B.F. DENOTES BOARD FENCE
  - 1137 DENOTES R.G. McKIBBON, O.L.S.
  - 1215 DENOTES ERTL SURVEYORS, O.L.S.
  - E.G. DENOTES EDWARDS & GUNN LTD., O.L.S.
  - OU DENOTES ORIGIN UNKNOWN
  - NI DENOTES NOT IDENTIFIABLE
  - SCP DENOTES SPECIFIED CONTROL POINTS

**NOTES**

BEARINGS ARE U.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS 092143020 AND 092143021, U.T.M. ZONE 17, NAD83

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99979152

SPECIFIED CONTROL POINTS (SCP's)  
U.T.M. ZONE 17, NAD83  
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG.216/10

POINT ID	NORTHING	EASTING
SCP 092143020	4856574.131	632100.266
SCP 092143021	4856638.342	632305.141
1	4856778.31	632042.44
2	4856769.68	632080.65
3	4856725.87	632066.41

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 10th DAY OF JULY, 2020

OCTOBER 16, 2020

Z. ZENG  
ONTARIO LAND SURVEYOR

**MANDARIN SURVEYORS LIMITED**  
ONTARIO LAND SURVEYOR CANADA LANDS SURVEYOR  
WWW.MANDARINSURVEYOR.COM

2400 MIDLAND AVENUE #121 TORONTO, ONTARIO, M1S 1X7  
PHONE: (647)430-1366 FAX: (647)799-4068  
E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z. CAD No: 20-149RPLAN JOB No: 2020-149

**APPENDIX "D"**  
**PLANS TO BE ATTACHED TO ANY APPROVAL OF B/022/20**

# LAND SEVERANCE AND CONSTRUCT 2 NEW 2-STOREY SINGLE DWELLING

5 LUNAR CRES (PART 1), MARKHAM, ON, L3R 2T9

for  
HONGLIN WANG

Project No. 20028  
Date 03/26/21

ARCHITECTURAL DRAWINGS	
SHEET NO.	SHEET NAME
A1.0	COVER SHEET
A1.1	SITE PLAN
A2.1	PART 1 - BASEMENT PLAN
A2.2	PART 1 - GROUND FLOOR PLAN
A2.3	PART 1 - SECOND FLOOR PLAN
A2.4	PART 1 - ROOF PLAN
A3.1	PART 1 - FRONT ELEVATION (NORTH)
A3.4	PART 1 - SIDE ELEVATION (EAST)
A3.2	PART 1 - REAR ELEVATION (SOUTH)
A3.3	PART 1 - SIDE ELEVATION (WEST)



STRUCTURAL ENGINEER

MECHANICAL & ELECTRICAL  
ENGINEER

DESIGNED BY:  
 **Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

LAND SEVERANCE AND  
CONSTRUCT 2 NEW 2-STOREY  
SINGLE DWELLING  
5 LUNAR CRES (PART 1),  
MARKHAM, ON, L3R 2T9  
for  
HONGLIN WANG

20028 PROJECT SCALE CD DRAWN MDZ REVIEWED

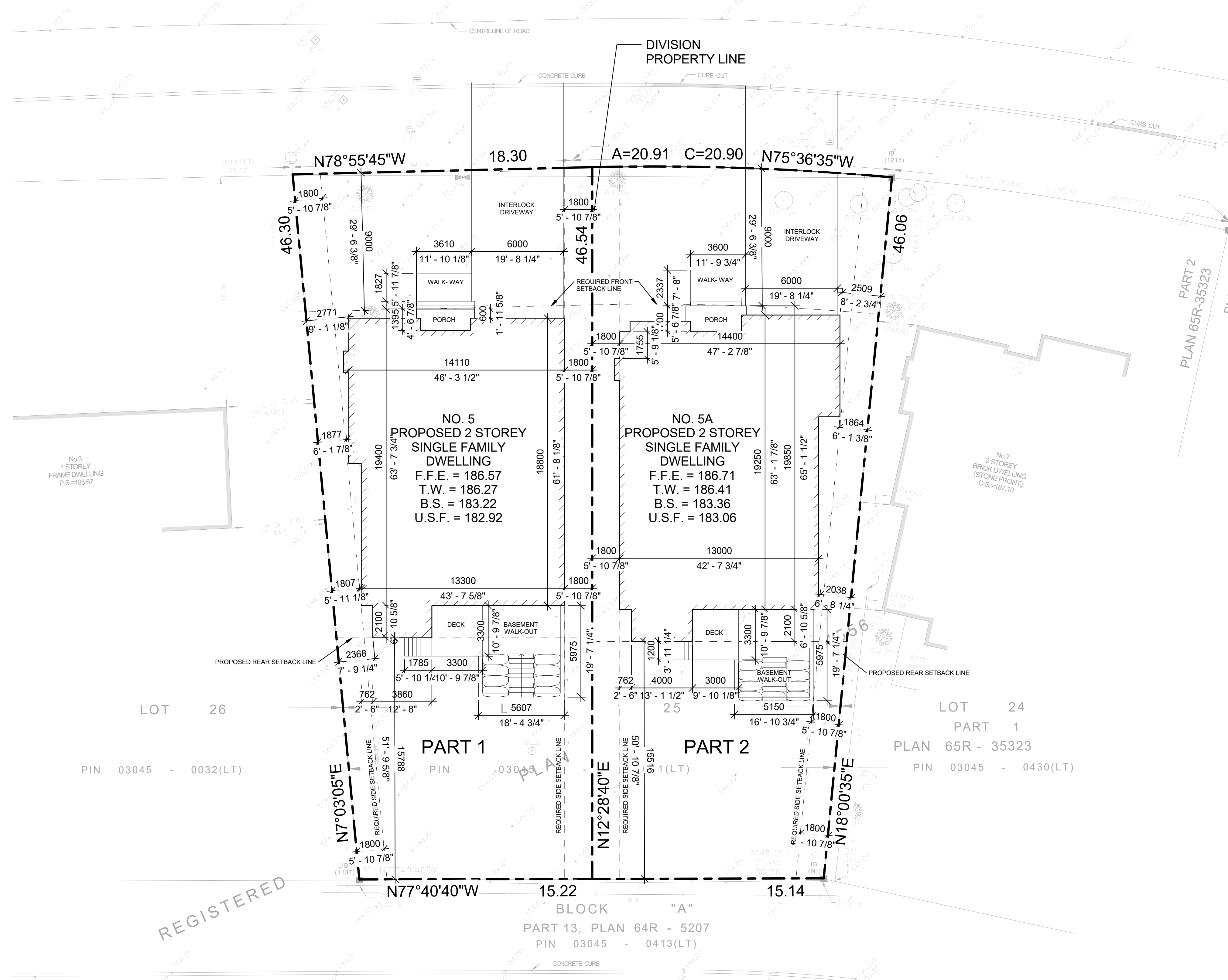
COVER SHEET

**A1.0**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

3/26/21 10:08:52 AM

LUNAR (BY REGISTERED PLAN 4556) CRES PIN 03045 - 0231(LT)



SITE STATISTICS (PART 1)		By-Law No. 221-81	
ZONING	PERMITTED	806.60 SQ.M	
LOT AREA	PROPOSED	18.83M	
LOT WIDTH & FRONTAGE	PERMITTED	268.633 SQ.M.	
BUILDING FOOTPRINT WITH GARAGE	PROPOSED	33.33% MAX.	
LOT COVERAGE	PROPOSED	33.30%	
GFA	MAX. PROPOSED	NA	GARAGE: 34.119 SQ.M.
BUILDING HEIGHT	PROPOSED	480.565 SQ.M.	MAIN: 228.613 SQ.M. SEC: 251.952 SQ.M.
SETBACKS: FRONT (NORTH)	PERMITTED	9.80M MAX	
SETBACKS: SIDE (WEST)	PROPOSED	9.80M	
SETBACKS: SIDE (EAST)	PERMITTED	9.00M MIN	
SETBACKS: REAR YARD (SOUTH)	PROPOSED	9.00M	
MAX DEPTH	PERMITTED	1.80M MIN	
MAX FINISHED FIRST FLOOR HEIGHT	PROPOSED	1.81M	
	PERMITTED	1.80M MIN	
	PROPOSED	1.80M	
	PERMITTED	1.80M MIN	
	PROPOSED	1.80M	
	PERMITTED	10.00M MIN	
	PROPOSED	15.79M	
	PERMITTED	19.90M W/ 2.1 REAR EXTENSION MAX	
	PROPOSED	19.40M W/ 2.1 REAR EXTENSION	
	PERMITTED	1.20M MAX	
	PROPOSED	0.94M	

SITE STATISTICS (PART 2)		By-Law No. 221-81	
ZONING	PERMITTED	806.60 SQ.M	
LOT AREA	PROPOSED	18.83M	
LOT WIDTH & FRONTAGE	PERMITTED	268.662 SQ.M.	
BUILDING FOOTPRINT WITH GARAGE	PROPOSED	33.33% MAX.	
LOT COVERAGE	PROPOSED	33.31%	
GFA	MAX. PROPOSED	NA	GARAGE: 35.825 SQ.M.
BUILDING HEIGHT	PROPOSED	475.406 SQ.M.	MAIN: 225.369 SQ.M. SEC: 250.037 SQ.M.
SETBACKS: FRONT (NORTH)	PERMITTED	9.80M MAX	
SETBACKS: SIDE (WEST)	PROPOSED	9.80M	
SETBACKS: SIDE (EAST)	PERMITTED	9.00M MIN	
SETBACKS: REAR YARD	PROPOSED	9.00M	
MAX DEPTH	PERMITTED	1.80M MIN	
MAX FINISHED FIRST FLOOR HEIGHT	PROPOSED	1.80M	
	PERMITTED	1.80M MIN	
	PROPOSED	1.80M	
	PERMITTED	10.00M MIN	
	PROPOSED	15.52M	
	PERMITTED	19.90M W/ 2.1M EXTENSION MAX	
	PROPOSED	19.85M W/ 2.1M EXTENSION	
	PERMITTED	1.50M MAX	
	PROPOSED	0.94M	

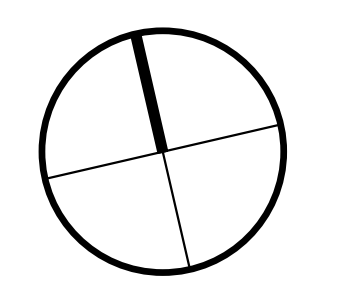
- NOTES:**
1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



LAND SEVERANCE AND CONSTRUCT 2 NEW 2-STOREY SINGLE DWELLING  
 5 LUNAR CRES (PART 1), MARKHAM, ON, L3R 2T9  
 for HONGLIN WANG

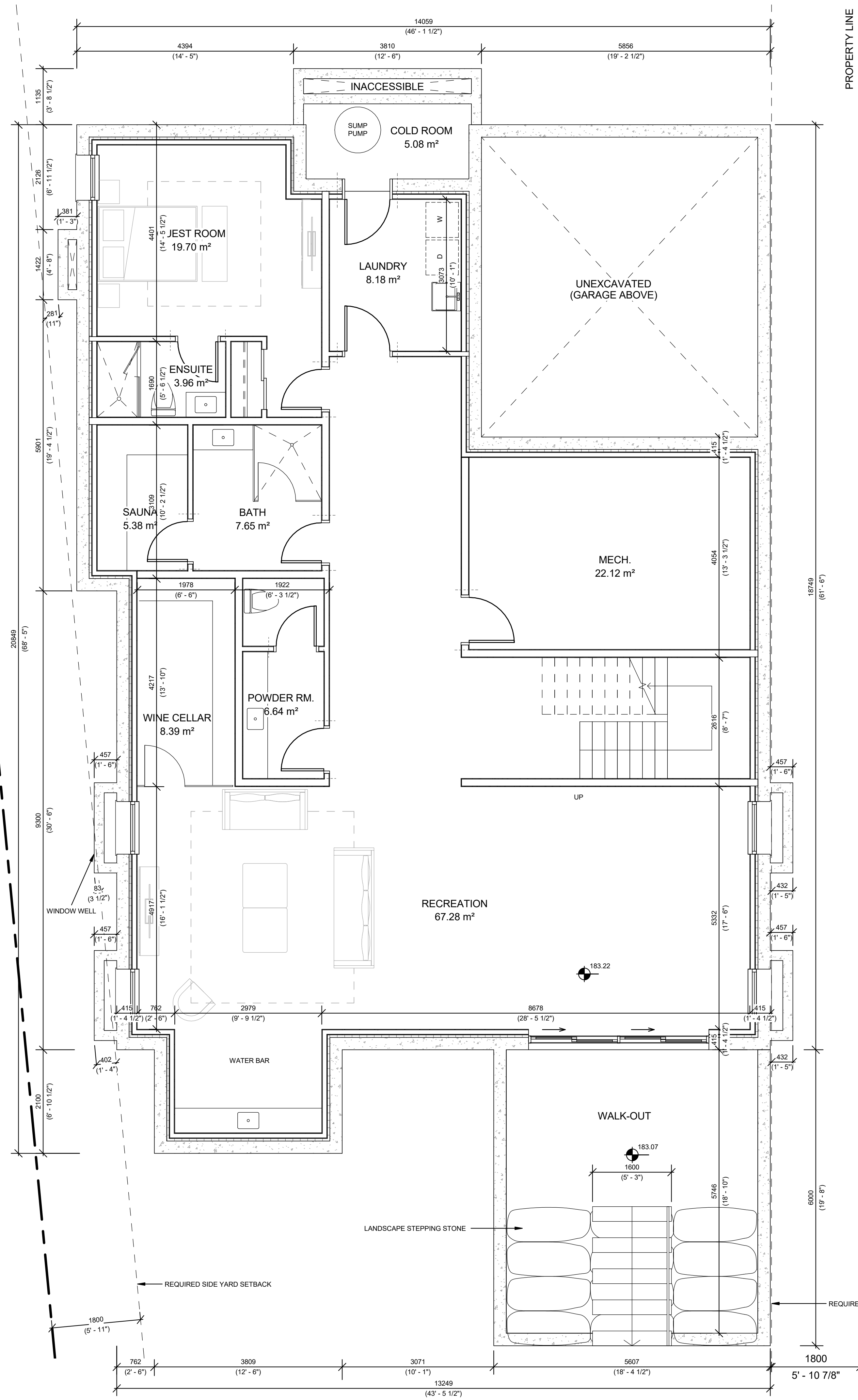
20028 As indicated CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

SITE PLAN  
**A1.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

PROPERTY LINE

PROPERTY LINE



**NOTE:**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"). ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

EV	EXHAUST VENT - SEE NOTE 11.1	100.00	ELEVATION HEIGHT
EF	EXHAUST FAN - SEE NOTE 11.4	[Symbol]	EXISTING WALLS/ ELEMENTS
RV	ROOF VENT - SEE NOTE 9.7	[Symbol]	WALLS/ ELEMENTS TO BE REMOVED
SA	SMOKE ALARM - SEE NOTE 12.1	[Symbol]	NEW/ PROPOSED WALLS/ ELEMENTS
CM	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2	[Symbol]	STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
HB	HOSE BIB	[Symbol]	SPAN DIRECTION
FD	FLOOR DRAIN	[Symbol]	SPAN WIDTH
CM	STRUCTURAL COLUMN	[Symbol]	SOLID BEARING (SIZE EQUAL TO OR BIGGER THAN UPPER COLUMN)

**LOAD INFORMATION:**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS

- SNOW LOAD S<sub>s</sub>.....1.3kPa
- SNOW LOAD S<sub>i</sub>.....0.4kPa
- WIND LOAD 1/10.....0.38kPa
- WIND LOAD 1/50.....0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS

- LIVE LOAD L.....1.9kPa (40psi)
- DEAD LOAD D.....0.7kPa (15psi)

**INSULATION & WEATHERPROOFING:**

INSULATION & WEATHERPROOFING

(SEE O.B.C. SB-12)

TABLES 3.1.1.2A (SI & I) - COMPLIANCE PACKAGE A1

- CEILING W/ ATTIC.....RSI 10.56 (R60)
- CEILING W/OUT ATTIC.....RSI 5.46 (R31)
- BASEMENT WALLS.....RSI 2.11 + 1.76(R12+R10c)
- WALLS ABOVE GRADE.....RSI 3.87 (R22)
- EXPOSED FLOOR.....RSI 5.46 (R31)
- SLAB ON GRADE (UNHEATED).....RSI 1.78 (R10)
- SLAB ON GRADE (HEATED).....RSI 1.78 (R10)

-IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

-SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

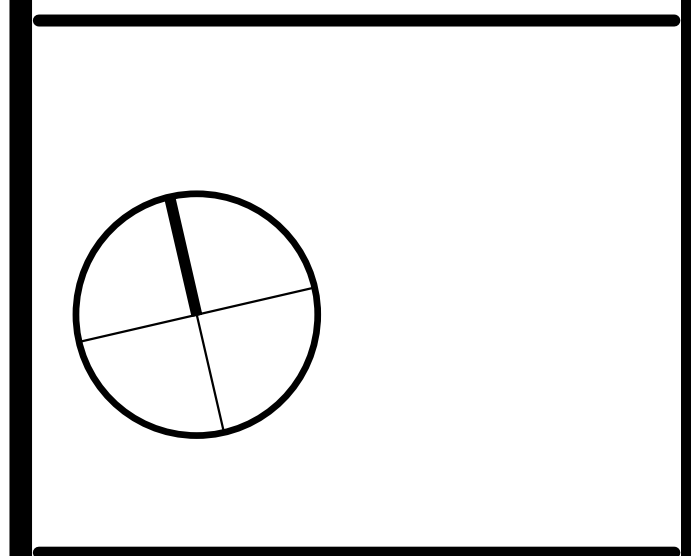
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



LAND SEVERANCE AND CONSTRUCT 2 NEW 2-STOREY SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

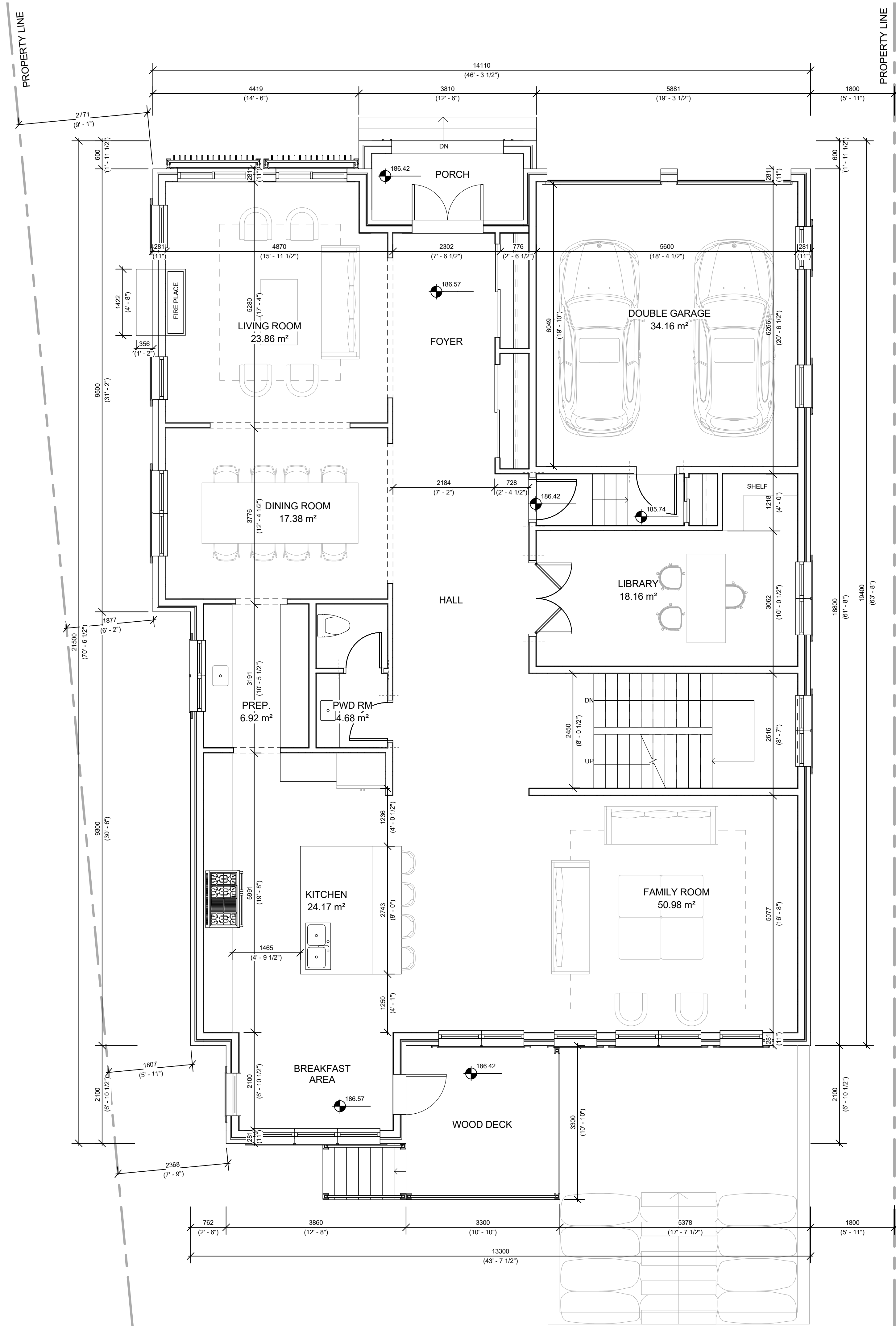
20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - BASEMENT PLAN  
**A2.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

1 BASEMENT PLAN  
 1:50

3/26/2021 13:30:04 PM



1 GROUND FLOOR PLAN  
1 : 50

**NOTE :**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"). ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

EV	EXHAUST VENT - SEE NOTE 11.1		ELEVATION HEIGHT
EF	EXHAUST FAN - SEE NOTE 11.4		EXISTING WALLS/ ELEMENTS
RV	ROOF VENT - SEE NOTE 9.7		WALLS/ ELEMENTS TO BE REMOVED
SA	SMOKE ALARM - SEE NOTE 12.1		NEW/ PROPOSED WALLS/ ELEMENTS
CM	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2		STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
HB	HOSE BIB		SPAN DIRECTION
FD	FLOOR DRAIN		SPAN WIDTH
	STRUCTURAL COLUMN		SOLID BEARING (SIZE EQUAL TO OR BIGGER THAN UPPER COLUMN)

**LOAD INFORMATION :**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS	
-SNOW LOAD S <sub>s</sub>	1.3kPa
-SNOW LOAD S <sub>t</sub>	0.4kPa
-WIND LOAD 1/10	0.36kPa
-WIND LOAD 1/50	0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS	
-LIVE LOAD L	1.9kPa (40psi)
-DEAD LOAD D	0.7kPa (15psi)

**INSULATION & WEATHERPROOFING :**

**INSULATION & WEATHERPROOFING**  
(SEE O.B.C. SB-12)

TABLES 3.1.1.2.A (SI & IP) - COMPLIANCE PACKAGE A1

-CEILING W/ ATTIC	RSI 10.56 (R60)
-CEILING W/O ATTIC	RSI 5.46 (R31)
-BASEMENT WALLS	RSI 2.11+1.76(R12+R10c)
-WALLS ABOVE GRADE	RSI 3.87 (R22)
-EXPOSED FLOOR	RSI 5.46 (R31)
-SLABS ON GRADE (UNHEATED)	RSI 1.76 (R10)
-SLABS ON GRADE (HEATED)	RSI 1.76 (R10)

-IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

-SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

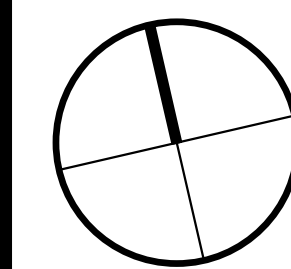
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

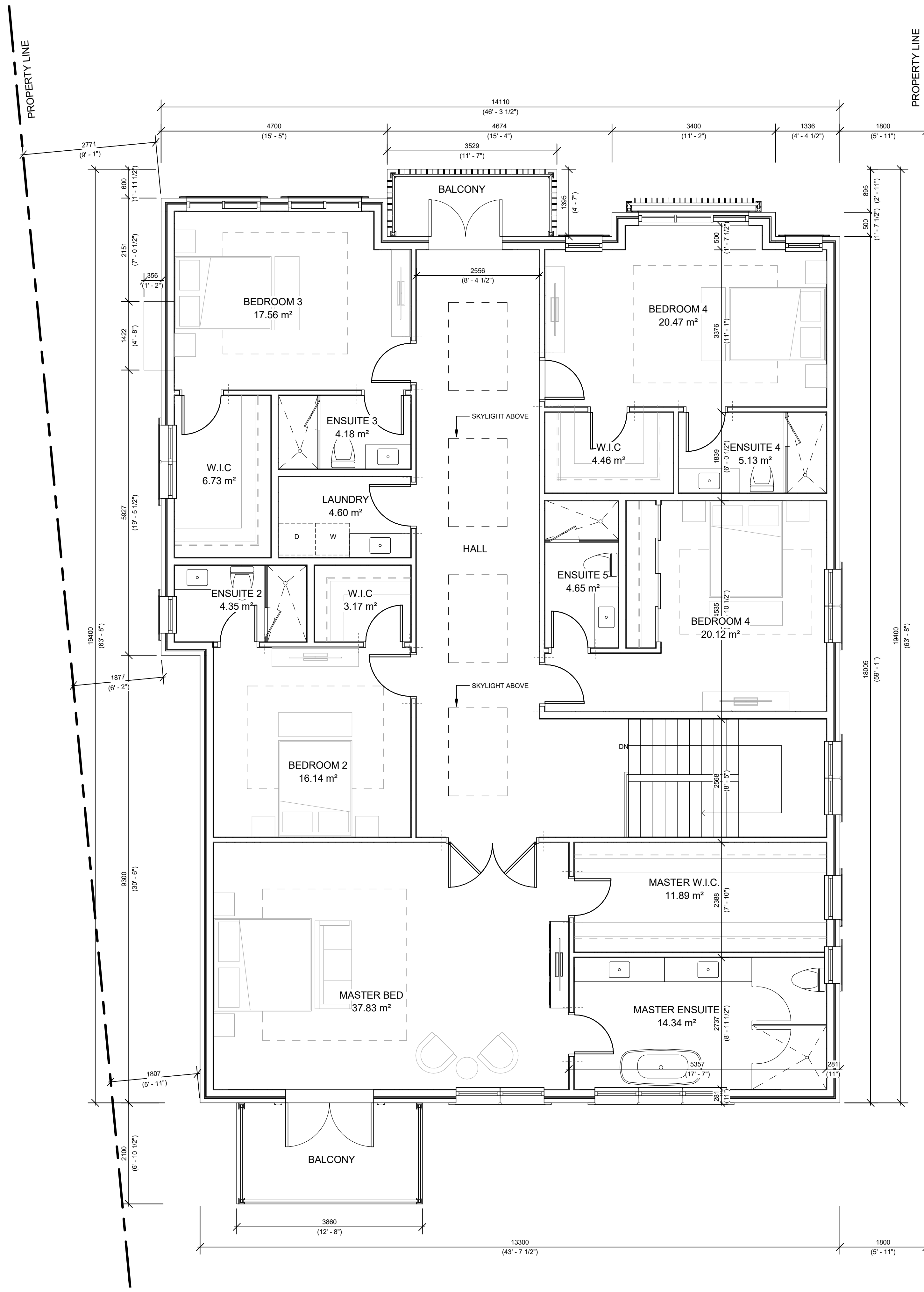


LAND SEVERANCE AND  
CONSTRUCT 2 NEW 2-STOREY  
SINGLE DWELLING  
5 LUNAR CRES (PART 1),  
MARKHAM, ON, L3R 2T9  
for  
HONGLIN WANG

2028 1 : 50 CD MDZ  
PROJECT SCALE DRAWN REVIEWED

PART 1 - GROUND FLOOR  
PLAN  
**A2.2**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



**NOTE:**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"). ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

- EV EXHAUST VENT - SEE NOTE 11.1
- EF EXHAUST FAN - SEE NOTE 11.4
- RV ROOF VENT - SEE NOTE 9.7
- SA SMOKE ALARM - SEE NOTE 12.1
- CM CARBON MONOXIDE DETECTOR - SEE NOTE 12.2
- HB HOSE BIB
- FD FLOOR DRAIN
- 100.00 ELEVATION HEIGHT
- EXISTING WALLS/ ELEMENTS
- WALLS/ ELEMENTS TO BE REMOVED
- NEW/ PROPOSED WALLS/ ELEMENTS
- STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
- SPAN DIRECTION
- SPAN WIDTH
- STRUCTURAL COLUMN
- SOLID BEARING (SIZE EQUAL TO OR BIGGER THAN UPPER COLUMN)

**LOAD INFORMATION:**

- (SEE O.B.C. DIV. B C-23)
- ROOF LOADS  
 - SNOW LOAD S<sub>s</sub> ..... 1.3kPa  
 - SNOW LOAD S<sub>r</sub> ..... 0.8kPa
- WIND LOAD 1/10 ..... 0.30kPa  
 - WIND LOAD 1/50 ..... 0.46kPa
- (SEE O.B.C. DIV. B PART 4)
- FLOOR LOADS  
 - LIVE LOAD L ..... 1.9kPa (40psf)  
 - DEAD LOAD D ..... 0.7kPa (15psf)

**INSULATION & WEATHERPROOFING:**

- (SEE O.B.C. S8-12)
- TABLES 3.1.1.2.A (SI & IP) - COMPLIANCE PACKAGE A1
- CEILING W/ ATTIC ..... RSI 10.56 (R60)
  - CEILING W/O ATTIC ..... RSI 5.46 (R31)
  - BASEMENT WALLS ..... RSI 2.11 + 1.76(R12+R10ci)
  - WALLS ABOVE GRADE ..... RSI 3.87 (R22)
  - EXPOSED FLOOR ..... RSI 5.46 (R31)
  - SLABS ON GRADE (UNHEATED) ..... RSI 1.76 (R10)
  - SLABS ON GRADE (HEATED) ..... RSI 1.76 (R10)
- IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R22) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA
- SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

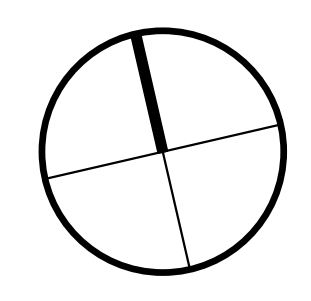
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



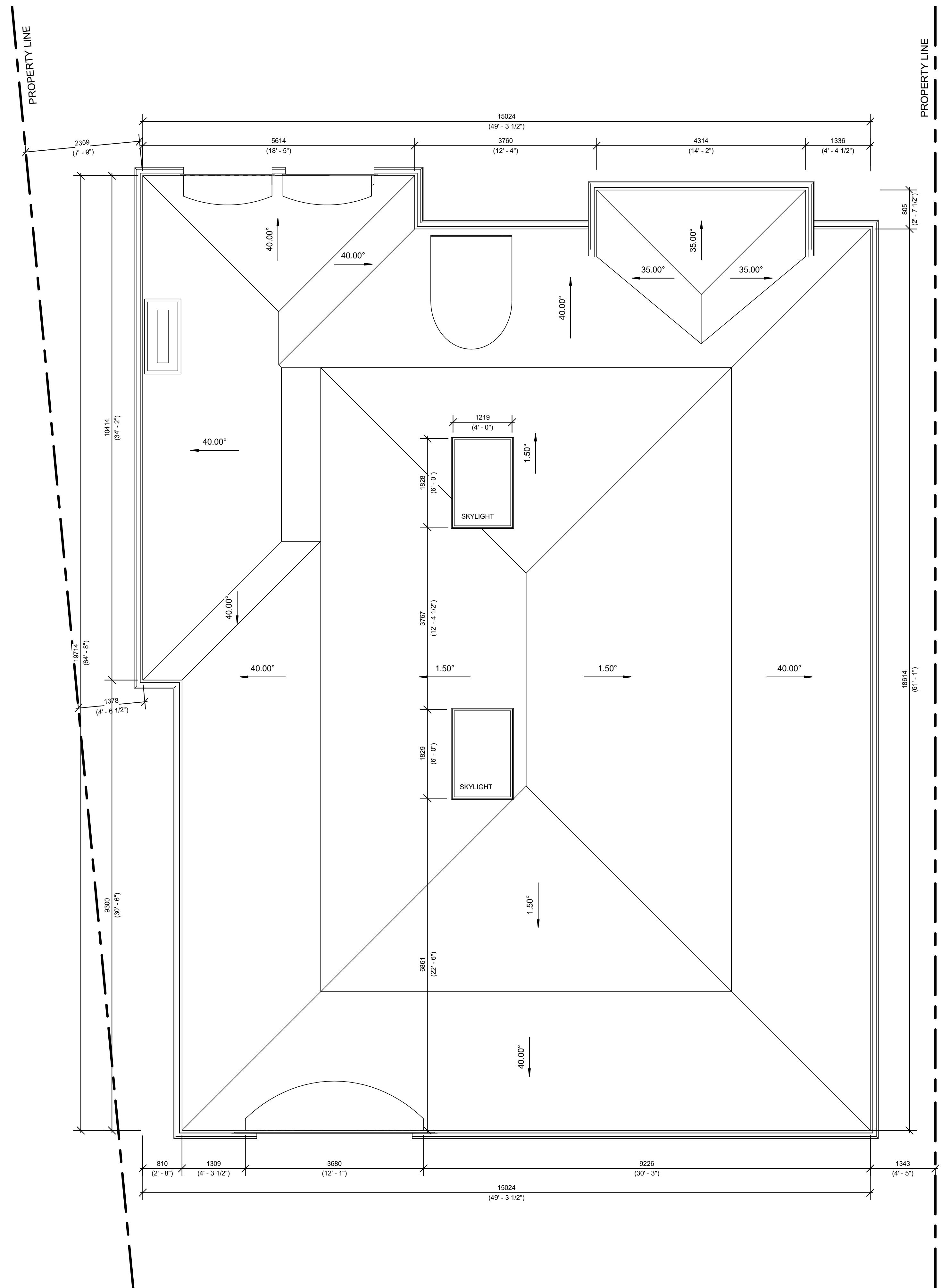
LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - SECOND FLOOR  
 PLAN  
**A2.3**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.





**NOTE :**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"), ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

EV	EXHAUST VENT - SEE NOTE 11.1		ELEVATION HEIGHT
EF	EXHAUST FAN - SEE NOTE 11.4		EXISTING WALLS/ ELEMENTS
RV	ROOF VENT - SEE NOTE 9.7		WALLS/ ELEMENTS TO BE REMOVED
SA	SMOKE ALARM - SEE NOTE 12.1		NEW/ PROPOSED WALLS/ ELEMENTS
CM	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2		STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
HB	HOSE BIB		SPAN DIRECTION
FD	FLOOR DRAIN		SPAN WIDTH
	STRUCTURAL COLUMN		SOLID BEARING (SIZE EQUAL TO OR BIGGER THAN UPPER COLUMN)

**LOAD INFORMATION :**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS  
 -SNOW LOAD Ss.....1.3kPa  
 -SNOW LOAD Sr.....0.4kPa  
 -WIND LOAD 1/10.....0.36kPa  
 -WIND LOAD 1/50.....0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS  
 -LIVE LOAD L.....1.9kPa (40psi)  
 -DEAD LOAD D.....0.7kPa (15psi)

**INSULATION & WEATHERPROOFING :**

INSULATION & WEATHERPROOFING  
 (SEE O.B.C. SB-12)

TABLES 3.1.1.2 A (SI & IP) - COMPLIANCE PACKAGE A1

-CEILING W/ ATTIC.....RSI 10.56 (R60)  
 -CEILING W/OUT ATTIC.....RSI 5.46 (R31)  
 -BASEMENT WALLS.....RSI 2.11+1.76(R12+R10c)  
 -WALLS ABOVE GRADE.....RSI 3.87 (R22)  
 -EXPOSED FLOOR.....RSI 5.46 (R31)  
 -SLABS ON GRADE (UNHEATED).....RSI 1.76 (R10)  
 -SLABS ON GRADE (HEATED).....RSI 1.76 (R10)

-IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

-SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

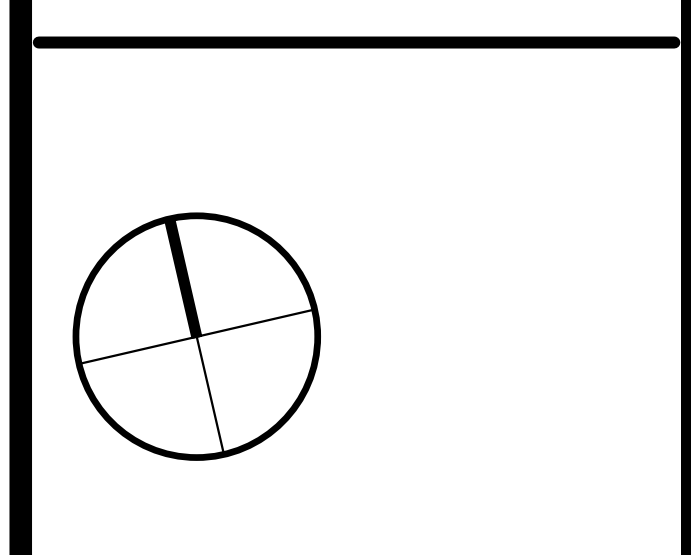
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - ROOF PLAN  
**A2.4**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

**ELEVATION MATERIAL LEGEND**

NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - FRONT ELEVATION  
 (NORTH)  
**A3.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ELEVATION MATERIAL LEGEND	
NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STORY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - REAR ELEVATION  
 (SOUTH)  
**A3.2**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

① REAR ELEVATION (SOUTH)  
 1:50

ELEVATION MATERIAL LEGEND	
NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



- NOTES:**
1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
  6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  7. DO NOT SCALE DRAWINGS.

REVISION RECORD		
No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - SIDE ELEVATION  
 (WEST)  
**A3.3**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

① SIDE ELEVATION (WEST)  
 1:50

**ELEVATION MATERIAL LEGEND**

NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 1),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

PART 1 - SIDE ELEVATION  
 (EAST)

**A3.4**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

# LAND SEVERANCE AND CONSTRUCT 2 NEW 2-STOREY SINGLE DWELLING

5 LUNAR CRES (PART 2), MARKHAM, ON, L3R 2T9

for  
HONGLIN WANG

Project No. 20028  
Date 03/26/21

ARCHITECTURAL DRAWINGS	
SHEET NO.	SHEET NAME
A1.0	COVER SHEET
A1.1	SITE PLAN
A2.1	BASEMENT PLAN
A2.2	GROUND FLOOR PLAN
A2.3	SECOND FLOOR PLAN
A2.4	ROOF PLAN
A3.1	FRONT ELEVATION (NORTH)
A3.2	SIDE ELEVATION (EAST)
A3.3	REAR ELEVATION (SOUTH)
A3.4	SIDE ELEVATION (WEST)



STRUCTURAL ENGINEER

MECHANICAL & ELECTRICAL  
ENGINEER

DESIGNED BY:  
 **Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

LAND SEVERANCE AND  
CONSTRUCT 2 NEW 2-STOREY  
SINGLE DWELLING  
5 LUNAR CRES (PART 2),  
MARKHAM, ON, L3R 2T9  
for  
HONGLIN WANG

20028 PROJECT SCALE CD MDZ  
DRAWN REVIEWED

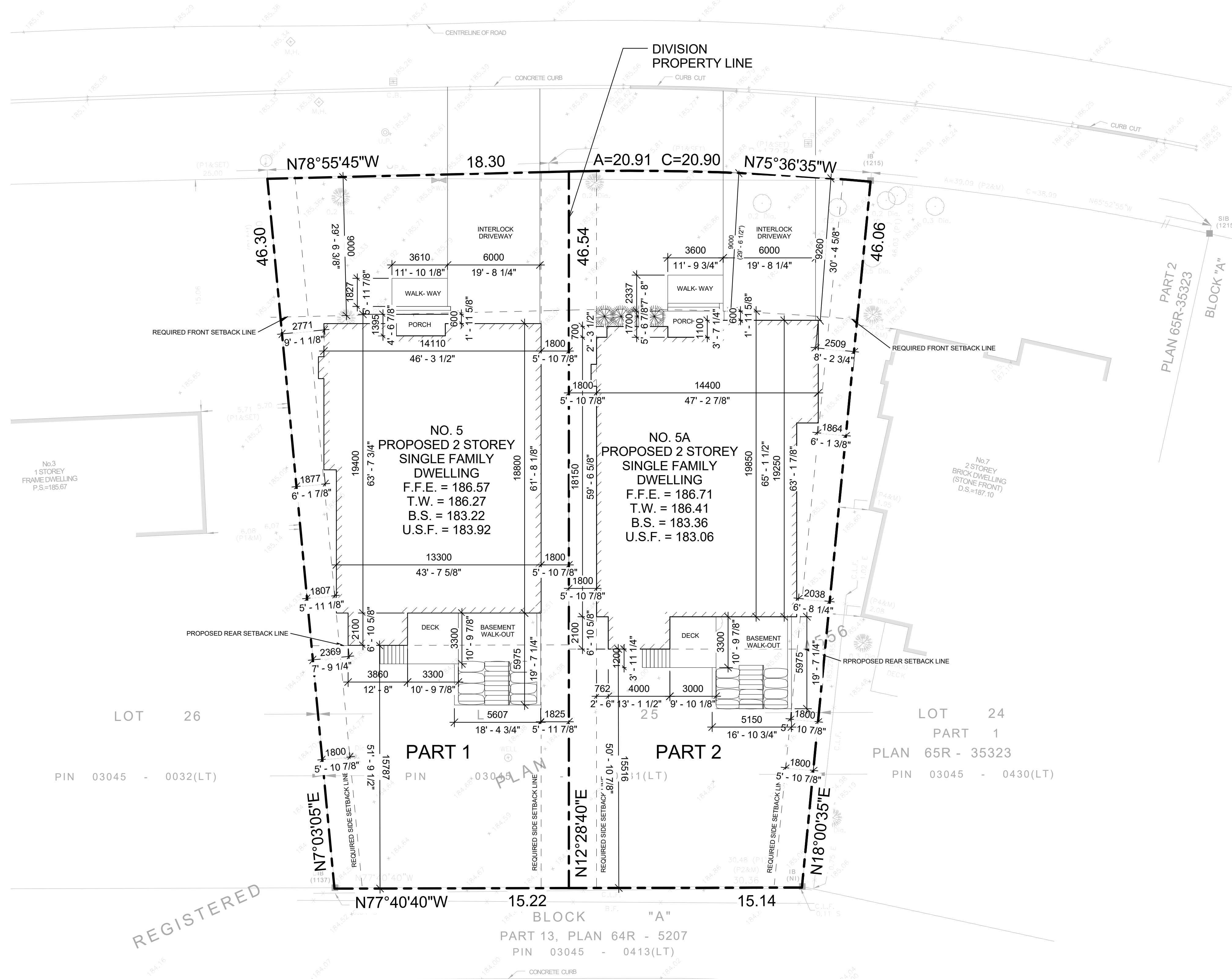
COVER SHEET

**A1.0**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

3/26/21 11:03 AM

LUNAR CRES  
 (BY REGISTERED PLAN 4556)  
 PIN 03045 - 0231(LT)



SITE STATISTICS (PART 1)		By-Law No. 221-81	
ZONING	PERMITTED	806.60 SQ.M	
LOT AREA	PROPOSED	18.83M	
LOT WIDTH & FRONTAGE	PERMITTED	268.633 SQ.M.	
BUILDING FOOTPRINT WITH GARAGE	PROPOSED	33.33% MAX.	
LOT COVERAGE	PROPOSED	33.28%	
GFA	MAX. PROPOSED	NA	GARAGE: 34.119 SQ.M.
		480.565 SQ.M.	MAIN: 228.613 SQ.M.
			SEC: 251.952 SQ.M.
BUILDING HEIGHT	PERMITTED	9.80M MAX	
	PROPOSED	9.80M	
SETBACKS: FRONT (NORTH)	PERMITTED	9.00M MIN	
	PROPOSED	9.00M	
SETBACKS: SIDE (WEST)	PERMITTED	1.80M MIN	
	PROPOSED	1.81M	
SETBACKS: SIDE (EAST)	PERMITTED	1.80M MIN	
	PROPOSED	1.80M	
SETBACKS: REAR YARD (SOUTH)	PERMITTED	10.00M MIN	
	PROPOSED	15.79M	
MAX DEPTH	PERMITTED	19.90M W/ 2.1 REAR EXTENSION MAX	
	PROPOSED	19.40M W/ 2.1 REAR EXTENSION	
MAX FINISHED FIRST FLOOR HEIGHT	PERMITTED	1.20M MAX	
	PROPOSED	0.94M	

SITE STATISTICS (PART 2)		By-Law No. 221-81	
ZONING	PERMITTED	806.60 SQ.M	
LOT AREA	PROPOSED	18.83M	
LOT WIDTH & FRONTAGE	PERMITTED	268.662 SQ.M.	
BUILDING FOOTPRINT WITH GARAGE	PROPOSED	33.33% MAX.	
LOT COVERAGE	PROPOSED	33.31%	
GFA	MAX. PROPOSED	NA	GARAGE: 35.825 SQ.M.
		475.406 SQ.M.	MAIN: 225.369 SQ.M.
			SEC: 250.037 SQ.M.
BUILDING HEIGHT	PERMITTED	9.80M MAX	
	PROPOSED	9.80M	
SETBACKS: FRONT (NORTH)	PERMITTED	9.00M MIN	
	PROPOSED	9.00M	
SETBACKS: SIDE (WEST)	PERMITTED	1.80M MIN	
	PROPOSED	1.80M	
SETBACKS: SIDE (EAST)	PERMITTED	1.80M MIN	
	PROPOSED	1.86M	
SETBACKS: REAR YARD	PERMITTED	10.00M MIN	
	PROPOSED	15.52M	
MAX DEPTH	PERMITTED	19.90M W/ 2.1M EXTENSION MAX	
	PROPOSED	19.85M W/ 2.1M EXTENSION	
MAX FINISHED FIRST FLOOR HEIGHT	PERMITTED	1.20M MAX	
	PROPOSED	0.94M	

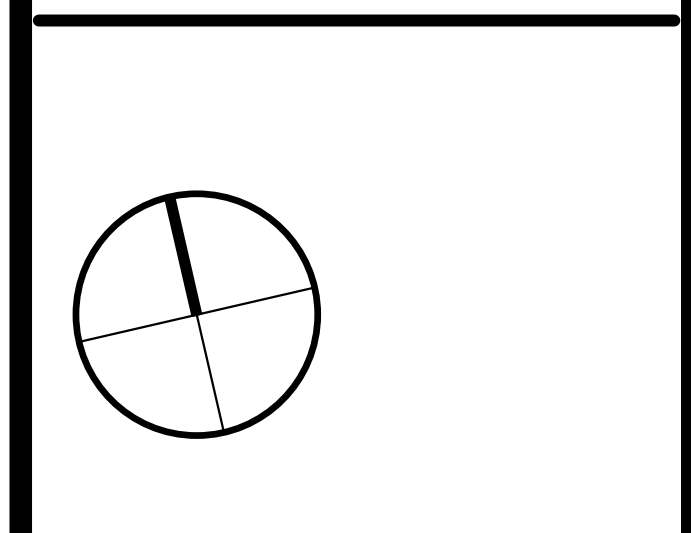
- NOTES:**
1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
  6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

Z Square Consulting Inc.  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

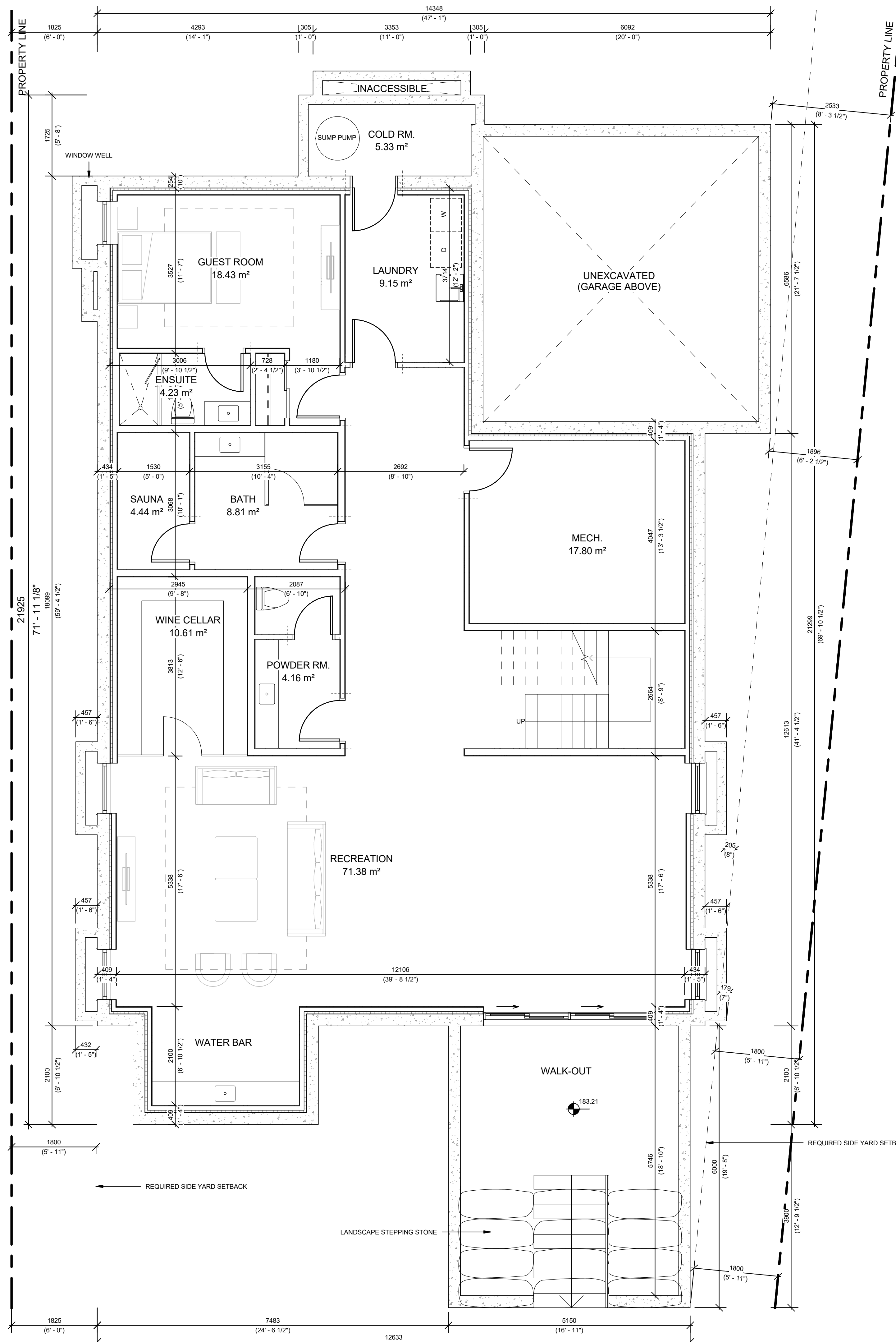


LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 As indicated CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

SITE PLAN  
**A1.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



**NOTE:**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"). ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

EV	EXHAUST VENT - SEE NOTE 11.1	100.00	ELEVATION HEIGHT
EF	EXHAUST FAN - SEE NOTE 11.4		EXISTING WALLS/ ELEMENTS
RV	ROOF VENT - SEE NOTE 9.7		WALLS/ ELEMENTS TO BE REMOVED
SA	SMOKE ALARM - SEE NOTE 12.1		NEW/ PROPOSED WALLS/ ELEMENTS
CM	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2		STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
HB	HOSE BIB		SPAN DIRECTION
FD	FLOOR DRAIN		SPAN WIDTH
			STRUCTURAL COLUMN

**LOAD INFORMATION:**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS  
 -SNOW LOAD S<sub>s</sub> ..... 2.6kPa  
 -SNOW LOAD S<sub>t</sub> ..... 0.4kPa  
 -WIND LOAD 1/10 ..... 0.38kPa  
 -WIND LOAD 1/50 ..... 0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS  
 -LIVE LOAD L ..... 1.9kPa (40psi)  
 -DEAD LOAD D ..... 0.7kPa (15psi)

**INSULATION & WEATHERPROOFING:**

INSULATION & WEATHERPROOFING  
 (SEE O.B.C. SB-12)

TABLES 3.1.1.2.A (SI & IP) - COMPLIANCE PACKAGE A1

-CEILING W/ ATTIC ..... RSI 10.56 (R60)  
 -CEILING W/OUT ATTIC ..... RSI 5.46 (R31)  
 -BASEMENT WALLS ..... RSI 2.11 + 1.76(R12+R10c)  
 -WALLS ABOVE GRADE ..... RSI 3.87 (R22)  
 -EXPOSED FLOOR ..... RSI 5.46 (R31)  
 -SLABS ON GRADE (UNHEATED) ..... RSI 1.78 (R10)  
 -SLABS ON GRADE (HEATED) ..... RSI 1.78 (R10)

-IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

-SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

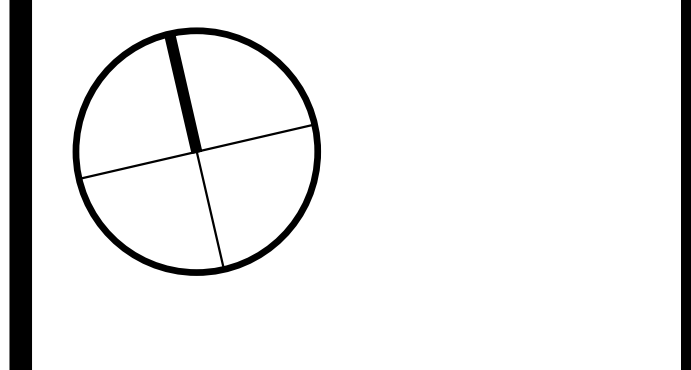
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL SURFACES WITHIN WASHROOMS & MUDROOMS.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRESS (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

2028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

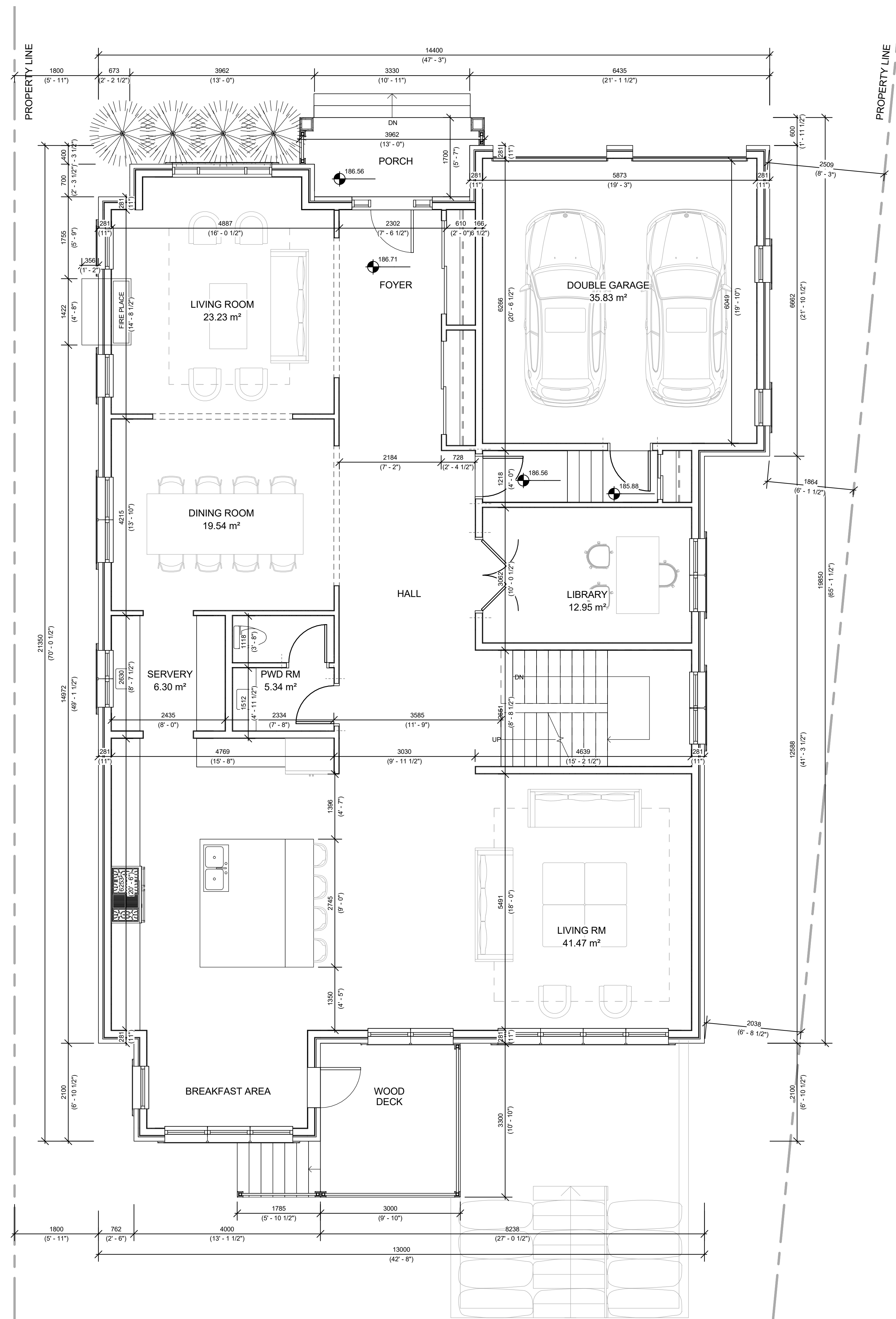
BASEMENT PLAN  
**A2.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

1 BASEMENT PLAN  
 1:50

3/26/2021 11:48:26 AM





1 GROUND FLOOR PLAN  
1 : 50

**NOTE :**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"). ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

EV	EXHAUST VENT - SEE NOTE 11.1		ELEVATION HEIGHT
EF	EXHAUST FAN - SEE NOTE 11.4		EXISTING WALLS/ ELEMENTS
RV	ROOF VENT - SEE NOTE 9.7		WALLS/ ELEMENTS TO BE REMOVED
SA	SMOKE ALARM - SEE NOTE 12.1		NEW/ PROPOSED WALLS/ ELEMENTS
CM	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2		STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
HB	HOSE BIB		SPAN DIRECTION
FD	FLOOR DRAIN		SPAN WIDTH
			STRUCTURAL COLUMN

**LOAD INFORMATION :**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS  
 -SNOW LOAD S<sub>s</sub>.....2.6kPa  
 -SNOW LOAD S<sub>t</sub>.....0.4kPa

-WIND LOAD 1/10.....0.36kPa  
 -WIND LOAD 1/50.....0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS  
 -LIVE LOAD L.....1.9kPa (40psi)  
 -DEAD LOAD D.....0.7kPa (15psi)

**INSULATION & WEATHERPROOFING :**

**INSULATION & WEATHERPROOFING**  
 (SEE O.B.C. SB-12)

TABLES 3.1.1.2.A (SI & IP) - COMPLIANCE PACKAGE A1

-CEILING W/ ATTIC.....RSI 10.56 (R60)  
 -CEILING W/OUT ATTIC.....RSI 5.46 (R31)  
 -BASEMENT WALLS.....RSI 2.11+1.76(R12+R10c)  
 -WALLS ABOVE GRADE.....RSI 3.97 (R22)  
 -EXPOSED FLOOR.....RSI 5.46 (R31)  
 -SLABS ON GRADE (UNHEATED).....RSI 1.76 (R10)  
 -SLABS ON GRADE (HEATED).....RSI 1.76 (R10)

-IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

-SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

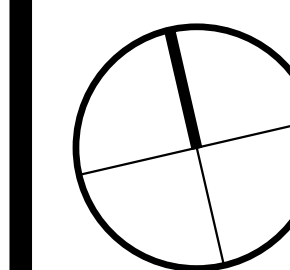
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STORY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1 : 50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

GROUND FLOOR PLAN

**A2.2**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

**ELEVATION MATERIAL LEGEND**

NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



① FRONT ELEVATION (NORTH)  
1:50

**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
1100 Gordon Baker Road,  
Toronto, Ontario, M2H 3B3  
T 647 291 0088  
E info@zsquareconsulting.com  
W www.zsquareconsulting.com

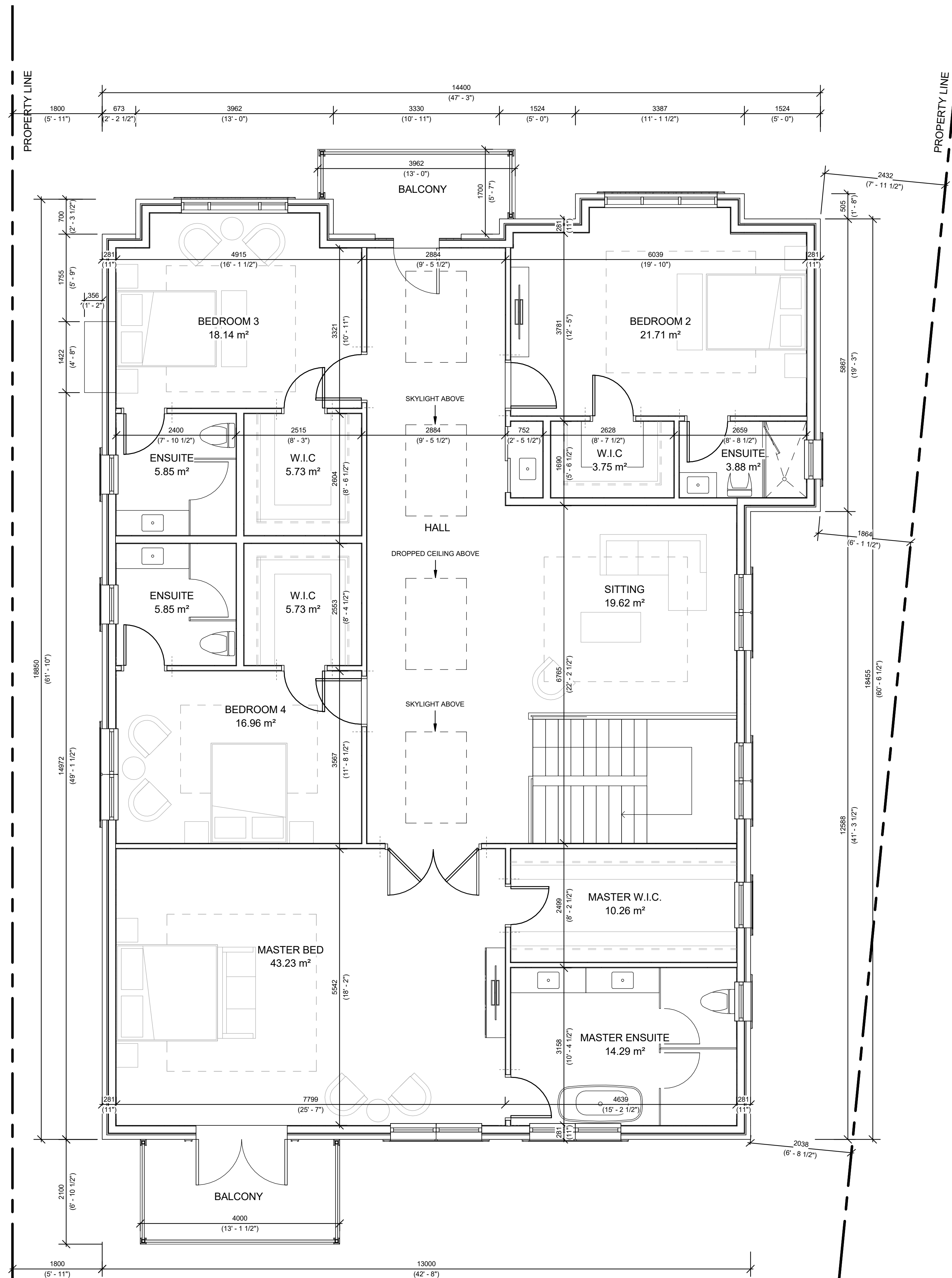
LAND SEVERANCE AND  
CONSTRUCT 2 NEW 2-STORY  
SINGLE DWELLING  
5 LUNAR CRES (PART 2),  
MARKHAM, ON, L3R 2T9  
for  
HONGLIN WANG

20028 1:50 CD MDZ  
PROJECT SCALE DRAWN REVIEWED

FRONT ELEVATION (NORTH)

**A3.1**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



**NOTE:**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"). ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

EV	EXHAUST VENT - SEE NOTE 11.1		ELEVATION HEIGHT
EF	EXHAUST FAN - SEE NOTE 11.4		EXISTING WALLS/ ELEMENTS
RV	ROOF VENT - SEE NOTE 9.7		WALLS/ ELEMENTS TO BE REMOVED
SA	SMOKE ALARM - SEE NOTE 12.1		NEW/ PROPOSED WALLS/ ELEMENTS
CM	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2		STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
HB	HOSE BIB		SPAN DIRECTION
FD	FLOOR DRAIN		SPAN WIDTH
			STRUCTURAL COLUMN

**LOAD INFORMATION:**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS  
 - SNOW LOAD S<sub>s</sub> ..... 2.6kPa  
 - SNOW LOAD S<sub>r</sub> ..... 0.6kPa

- WIND LOAD 1/10 ..... 0.30kPa  
 - WIND LOAD 1/50 ..... 0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS  
 - LIVE LOAD L ..... 1.9kPa (40psf)  
 - DEAD LOAD D ..... 0.7kPa (15psf)

**INSULATION & WEATHERPROOFING:**

(SEE O.B.C. S8-12)

TABLES 3.1.1.2.A (SI & IP) - COMPLIANCE PACKAGE A1

- CEILING W/ ATTIC ..... RSI 10.56 (R60)  
 - CEILING W/O ATTIC ..... RSI 5.46 (R31)  
 - BASEMENT WALLS ..... RSI 2.11 + 1.76(R12+R10ci)  
 - WALLS ABOVE GRADE ..... RSI 3.87 (R22)  
 - EXPOSED FLOOR ..... RSI 5.46 (R31)  
 - SLABS ON GRADE (UNHEATED) ..... RSI 1.76 (R10)  
 - SLABS ON GRADE (HEATED) ..... RSI 1.76 (R10)

- IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

- SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

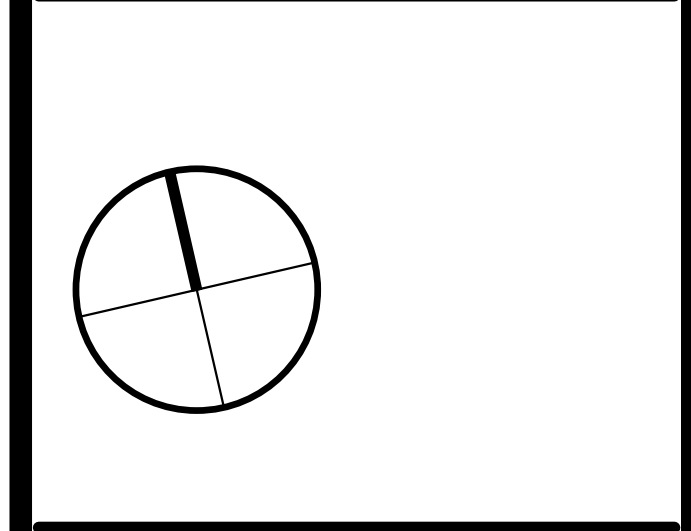
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

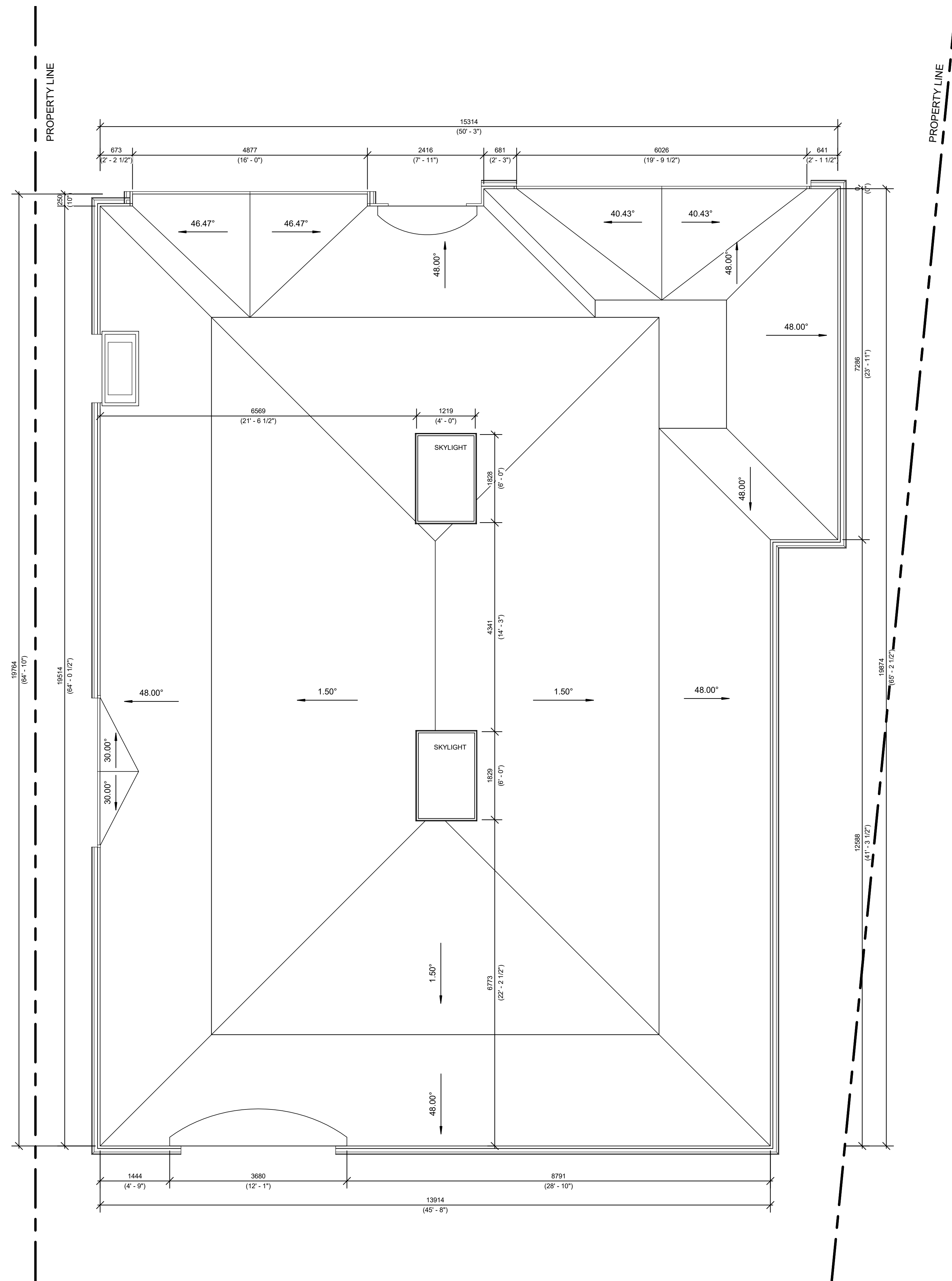


**LAND SEVERANCE AND CONSTRUCT 2 NEW 2-STOREY SINGLE DWELLING**  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

**SECOND FLOOR PLAN**  
**A2.3**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



**NOTE :**

- UNLESS NOTED OTHERWISE, ALL INTERIOR NON-LOAD BEARING WALLS ARE 2x4 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- LOAD BEARING WALLS ARE 2x6 WOOD STUD WITH GYPSUM BOARD ON BOTH SIDES.
- UNLESS NOTED OTHERWISE, ALL DOORS FROM DOOR HINGE TO WALL ARE OFFSET TO 75mm (3"), ALL SLIDING DOORS OF THE CLOSET ARE CENTERED AT BOTH WALL FACES.

**LEGEND**

[EV]	EXHAUST VENT - SEE NOTE 11.1		ELEVATION HEIGHT
[EF]	EXHAUST FAN - SEE NOTE 11.4		EXISTING WALLS/ ELEMENTS
[RV]	ROOF VENT - SEE NOTE 9.7		WALLS/ ELEMENTS TO BE REMOVED
[SA]	SMOKE ALARM - SEE NOTE 12.1		NEW/ PROPOSED WALLS/ ELEMENTS
[CM]	CARBON MONOXIDE DETECTOR - SEE NOTE 12.2		STRUCTURAL BEAM - SEE NOTES 13.3 & 13.4
[HB]	HOSE BIB		SPAN DIRECTION
[FD]	FLOOR DRAIN		SPAN WIDTH
			STRUCTURAL COLUMN

**LOAD INFORMATION :**

(SEE O.B.C. DIV. B C-23)

ROOF LOADS  
 -SNOW LOAD S<sub>s</sub> ..... 2.6kPa  
 -SNOW LOAD S<sub>r</sub> ..... 0.4kPa

-WIND LOAD 1/10 ..... 0.36kPa  
 -WIND LOAD 1/50 ..... 0.46kPa

(SEE O.B.C. DIV. B PART 4)

FLOOR LOADS  
 -LIVE LOAD L ..... 1.9kPa (40psi)  
 -DEAD LOAD D ..... 0.7kPa (15psi)

**INSULATION & WEATHERPROOFING :**

INSULATION & WEATHERPROOFING  
 (SEE O.B.C. SB-12)

TABLES 3.1.1.2 A (SI & IP) - COMPLIANCE PACKAGE A1

-CEILING W/ ATTIC ..... RSI 10.56 (R60)  
 -CEILING W/O UT ATTIC ..... RSI 5.46 (R31)  
 -BASEMENT WALLS ..... RSI 2.11+1.76(R12+R10c)  
 -WALLS ABOVE GRADE ..... RSI 3.87 (R22)  
 -EXPOSED FLOOR ..... RSI 5.46 (R31)  
 -SLABS ON GRADE (UNHEATED) ..... RSI 1.76 (R10)  
 -SLABS ON GRADE (HEATED) ..... RSI 1.76 (R10)

-IN THE CASE OF BASEMENT WALL ASSEMBLIES WHERE RSI 3.52 (R20) IS REQUIRED RSI 2.11 (R12) + 1.76 (R10) CONT. IS PERMITTED OR VICE VERSA

-SEE GENERAL NOTES FOR MORE SPECIFICATIONS

**NOTES:**

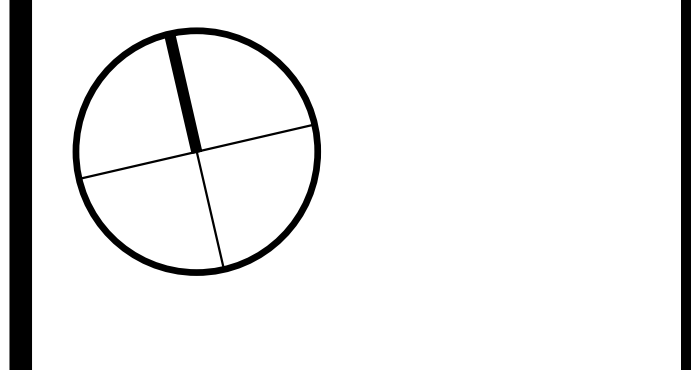
- ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
- ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
- REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
- GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
- MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
- DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com



LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

ROOF PLAN  
**A2.4**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ELEVATION MATERIAL LEGEND	
NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

SIDE ELEVATION (WEST)  
**A3.4**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ELEVATION MATERIAL LEGEND	
NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



- NOTES:**
1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
  2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
  3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
  4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
  5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
  6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
  7. DO NOT SCALE DRAWINGS.

REVISION RECORD		
No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**



**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STORY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

REAR ELEVATION (SOUTH)  
**A3.3**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

① REAR ELEVATION (SOUTH)  
 1:50

3/26/2021 10:37 AM

ELEVATION MATERIAL LEGEND	
NO.	DESCRIPTION
1	CONCRETE
2	METAL CLADDING
3	STONE VENEER COLOUR 1
4	BRICK VENEER COLOUR 1
5	EIFS COLOUR 1
6	DECORATIVE TEMPERED GLASS RAILING
7	DECORATIVE WOOD



**NOTES:**

1. ALL DIMENSIONS AND QUANTITIES OF MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR. AN ACCEPTABLE LEVEL OF FINISH MUST BE ACHIEVED AND APPROVED BY OWNER.
2. ALL TRADES TO VERIFY DIMENSIONS AND DATA HEREIN WITH EXISTING ON SITE.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. GENERAL CONTRACTOR TO PROVIDE ALL BLOCKING REQUIRED IN WALLS TO ACCOMMODATE INSTALLATION OF MILLWORK, ARTWORK, FURNITURE, WASHROOM ACCESSORIES, AND EQUIPMENT.
5. MOULD RESISTANT GYPSUM BOARD IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES WITHIN WASHROOMS & MUDROOMS.
6. TILE BACKER BOARD TO BE USED IN LIEU OF GYPSUM BOARD INDICATED ON WALL TYPES TO EXTENT OF WALLS WHERE CERAMIC WALL TILES ARE INDICATED TO BE INSTALLED.
7. DO NOT SCALE DRAWINGS.

**REVISION RECORD**

No.	Description	Date
1	ISSUED FOR ZONING PRELIMINARY REVIEW	09/14/20
2	ISSUED FOR COA	11/25/20
3	ISSUED FOR ZONING PRELIMINARY REVIEW	02/04/21
4	RESUBMIT TO COA	03/26/21

**ISSUE RECORD**

**Z Square Consulting Inc.**  
 1100 Gordon Baker Road,  
 Toronto, Ontario, M2H 3B3  
 T 647 291 0088  
 E info@zsquareconsulting.com  
 W www.zsquareconsulting.com

LAND SEVERANCE AND  
 CONSTRUCT 2 NEW 2-STOREY  
 SINGLE DWELLING  
 5 LUNAR CRES (PART 2),  
 MARKHAM, ON, L3R 2T9  
 for  
 HONGLIN WANG

20028 1:50 CD MDZ  
 PROJECT SCALE DRAWN REVIEWED

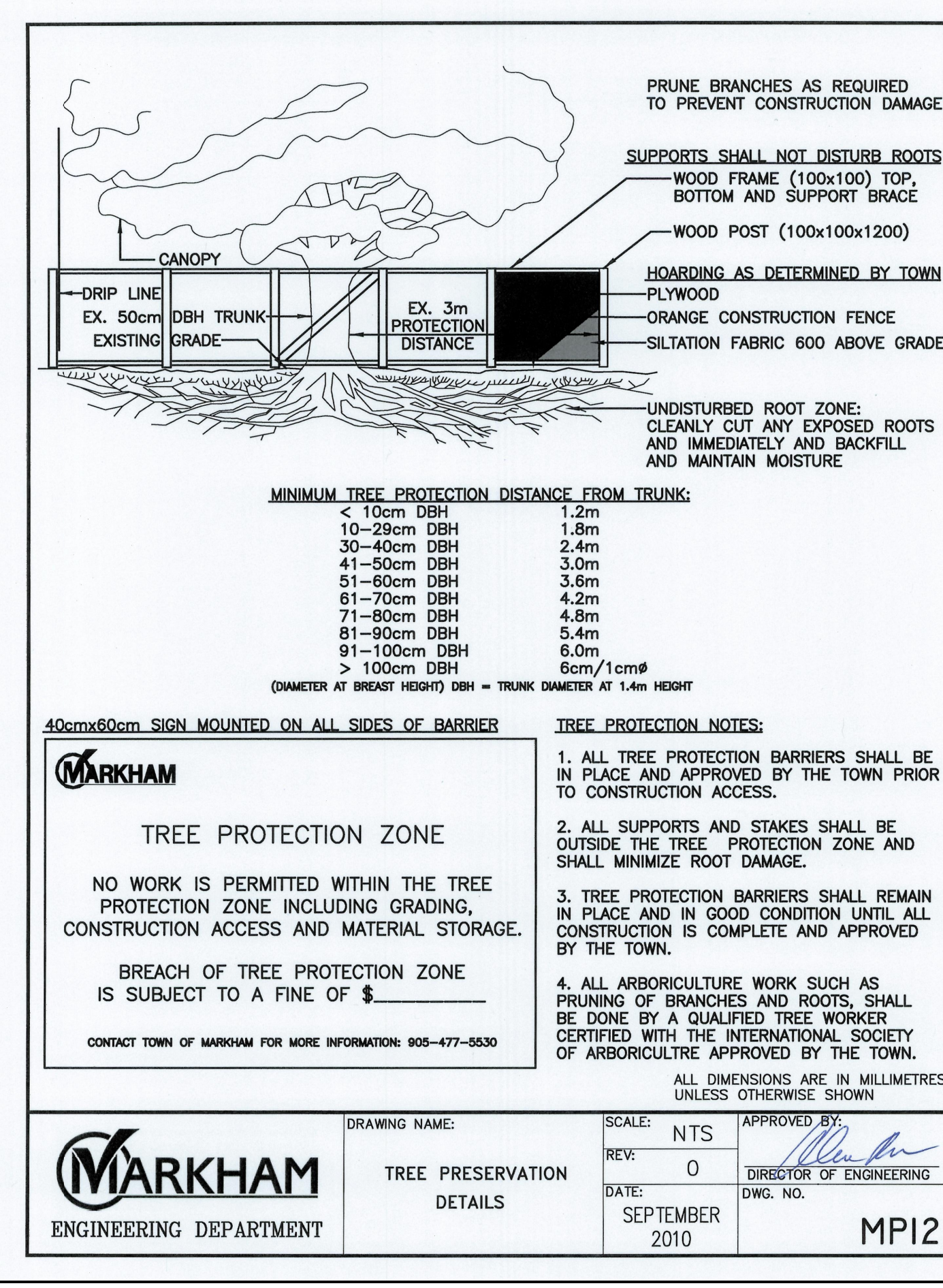
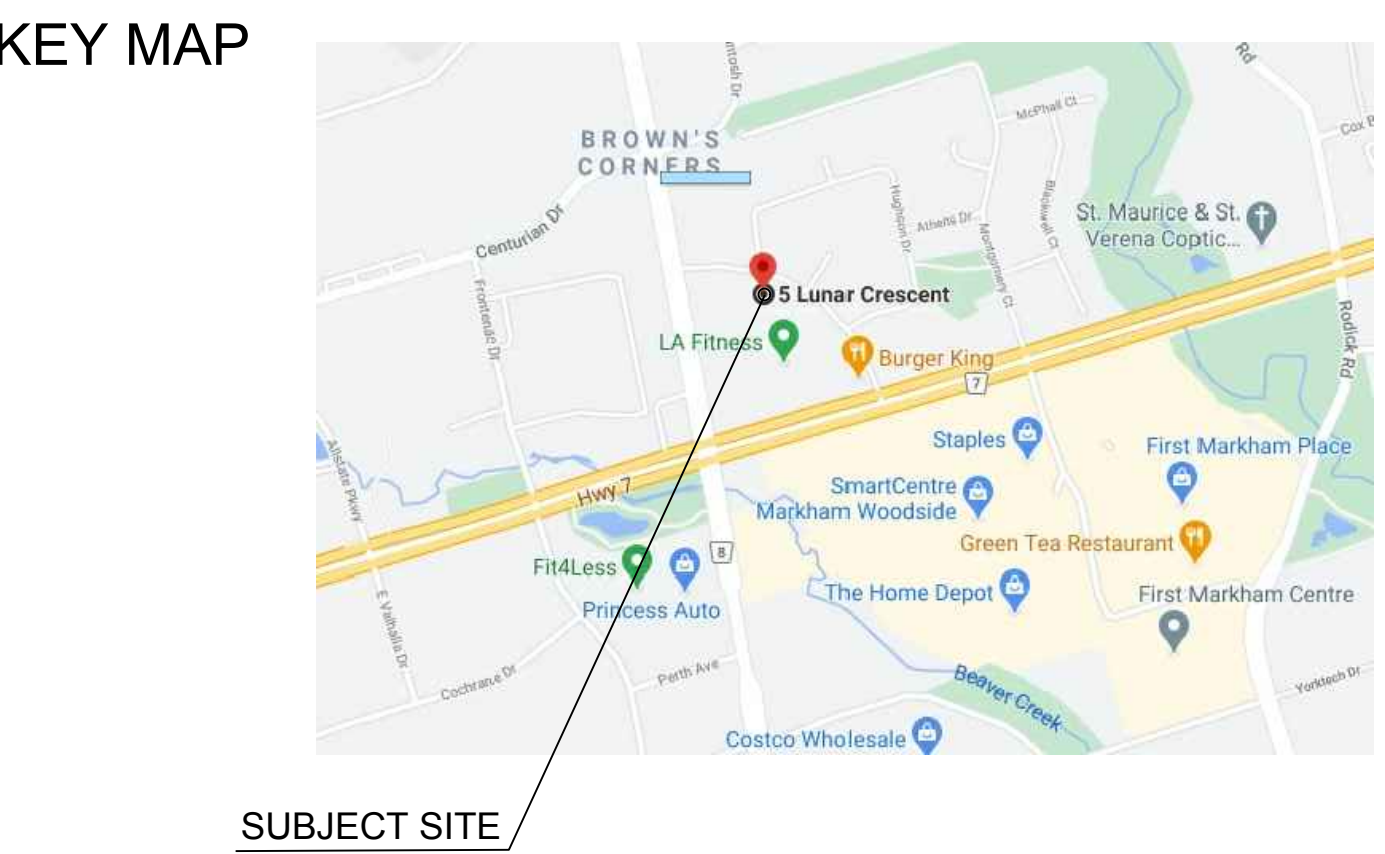
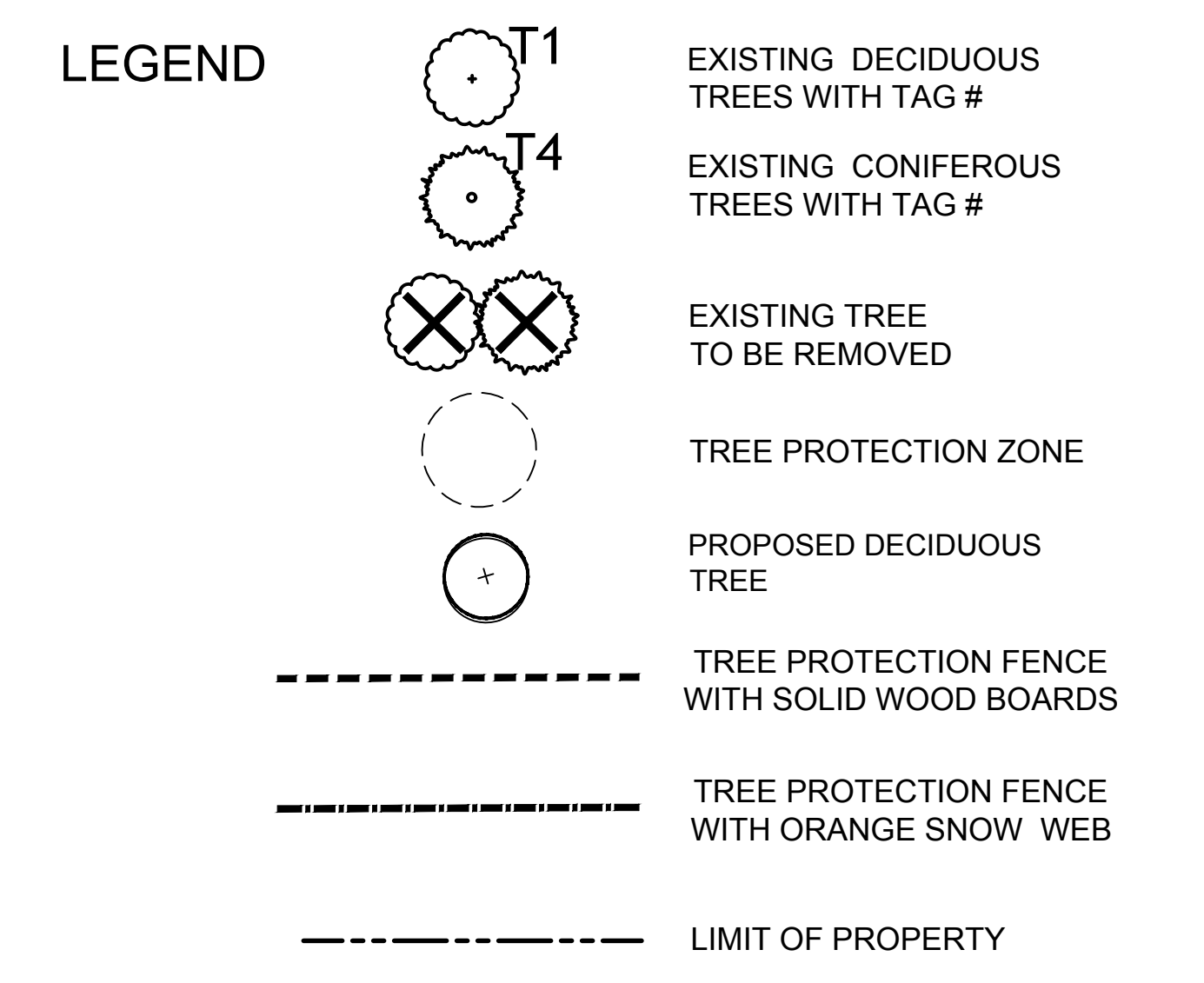
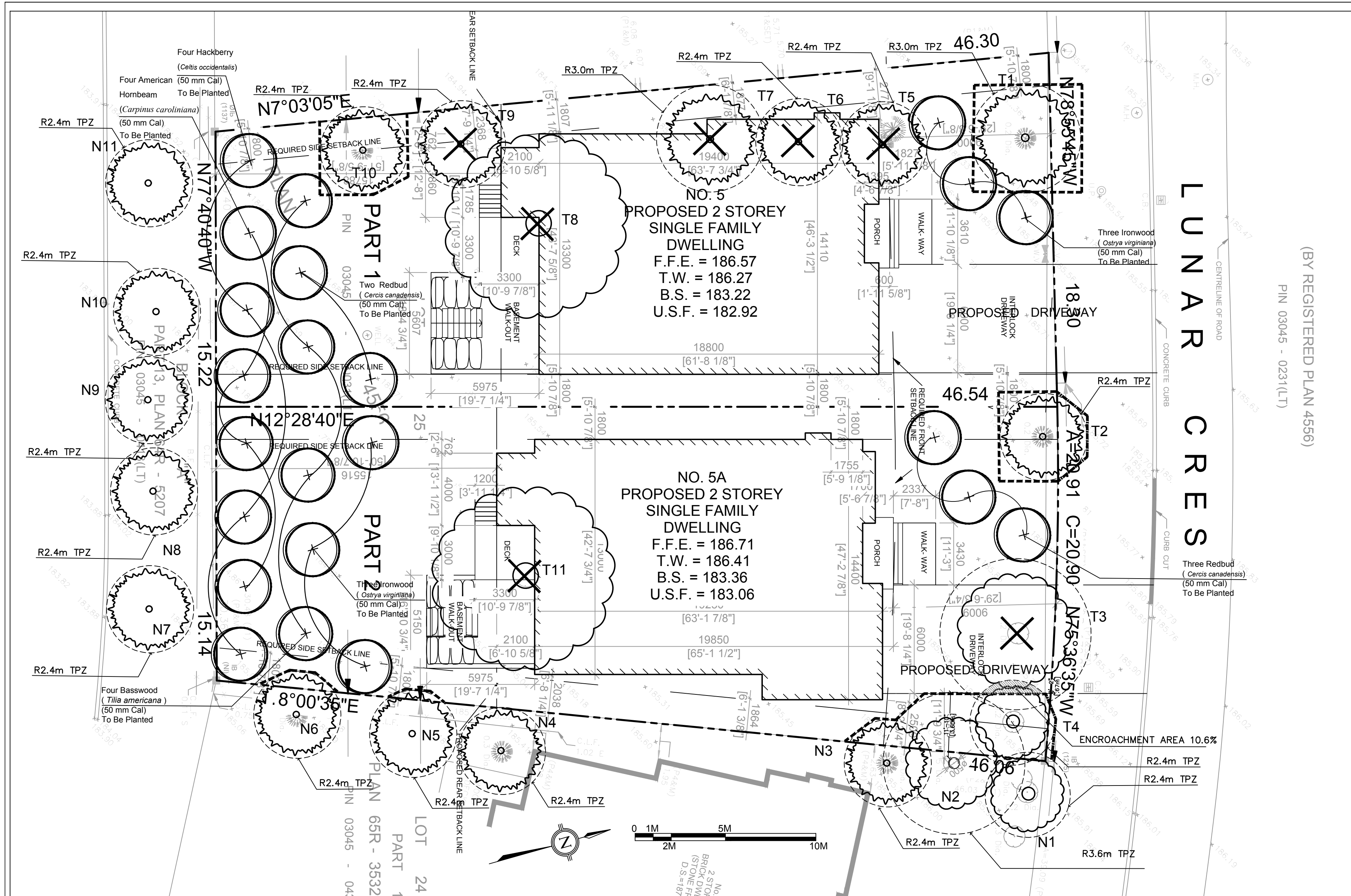
SIDE ELEVATION (EAST)

**A3.2**

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

**APPENDIX "E"**  
**TREE PROTECTION AND REPLANTING PLAN**





TREE INVENTORY CHART

Tree ID #	Botanical Name	Common Name	Quantity	DBH(cm)	Health Condition	Action	Reason For Removal
<b>Private Trees On The Subject Property</b>							
T1	<i>Cupressus nootkatensis</i>	Alaska Cedar	1	28,13	Fair	Protect	
T2	<i>Cupressus nootkatensis</i>	Alaska Cedar	1	24	Fair	Protect	
T3	<i>Sorbus spp.</i>	Mountain Ash	1	23,21,19	Fair	Remove	Building Construction
T4	<i>Malus spp.</i>	Crab Apple	1	25	Fair to Poor	Protect	
T5	<i>Picea pungens</i>	Colorado Spruce	1	34	Fair	Remove	Building Construction
T6	<i>Picea pungens</i>	Colorado Spruce	1	22	Fair	Remove	Building Construction
T7	<i>Picea pungens</i>	Colorado Spruce	1	46	Fair	Remove	Building Construction
T8	<i>Acer platanoides</i>	Norway Maple	1	43,41,38	Poor	Remove	Building Construction
T9	<i>Picea pungens</i>	Colorado Spruce	1	21	Poor	Remove	Building Construction
T10	<i>Picea pungens</i>	Colorado Spruce	1	38	Fair	Protect	
T11	<i>Acer platanoides</i>	Norway Maple	1	38,37,31	Fair to Poor	Remove	Building Construction
<b>Neighbours' Trees</b>							
N1	<i>Betula papyrifera</i>	Paper Birch	1	21	Fair	Protect	
N2	<i>Acer saccharinum</i>	Silver Maple	1	55	Fair	Protect	
N3	<i>Picea pungens</i>	Colorado Spruce	1	21	Fair	Protect	
N4	<i>Picea pungens</i>	Colorado Spruce	1	20	Fair	Remain	
N5	<i>Picea pungens</i>	Colorado Spruce	1	22	Fair	Protect	
N6	<i>Picea abies</i>	Norway Spruce	1	36	Fair	Protect	
N7	<i>Picea pungens</i>	Colorado Spruce	1	29	Fair	Remain	
N8	<i>Picea pungens</i>	Colorado Spruce	1	25	Fair	Remain	
N9	<i>Picea pungens</i>	Colorado Spruce	1	23	Fair	Remain	
N10	<i>Picea glauca</i>	White Spruce	1	21	Fair	Remain	
N11	<i>Picea pungens</i>	Colorado Spruce	1	26	Fair	Remain	

NO.	ISSUE	DATE
1	ISSUED FOR APPROVAL	2020-12-09
2	REVISED PER SITE PLAN CHANGE	2021-02-04
3	Revised Per Client's Request	2021-03-22
4	REVISED PER CITY'S COMMENTS	2021-04-13
5	REVISED PER CITY'S COMMENTS	2021-04-22

GREEN-WHY LANDSCAPE INC.  
 308 SUSSEX AVE. RICHMOND HILL, ON. L4C 2G7  
 T: 416.670.3396

RESIDENCE  
 5 Lunar Crescent,  
 Markham, ON

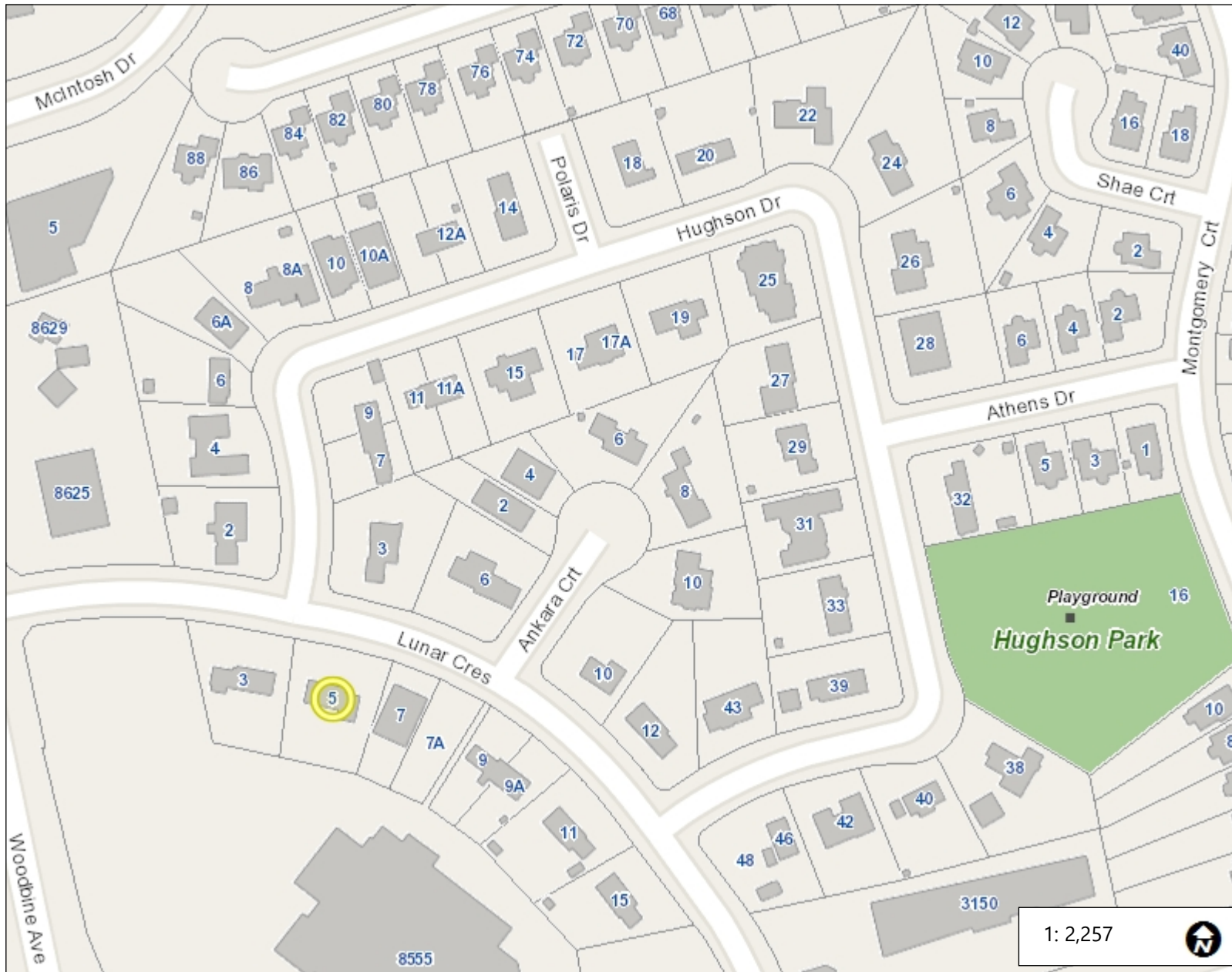
TREE PROTECTION /REPLANTING PLAN

PROJECT NUMBER:  
 DRAWN BY: TJ  
 CHECKED BY: SW  
 DATE: April 22, 2021  
 SCALE: 1:300  
 DRAWING NUMBER:

TPP

MARKHAM ENGINEERING DEPARTMENT  
 TREE PRESERVATION DETAILS  
 DRAWING NAME: TREE PRESERVATION DETAILS  
 SCALE: NTS  
 REV: 0  
 DATE: SEPTEMBER 2010  
 APPROVED BY: [Signature]  
 DIRECTOR OF ENGINEERING  
 DWG. NO. MPI2

**APPENDIX "F"**  
**AERIAL: EXISTING PARCEL FABRIC**



### Legend

- LANDMARKS\_6000
- SLRN\_6000
- PARKS\_6000
- Building Footprints
- Ponds
- Creeks
- Rivers
- Parcel (MPAC)
- Park Facilities
- Parks
  - <all other values>
  - Under Development

1: 2,257



114.7 0 57.33 114.7 Meters

### Notes