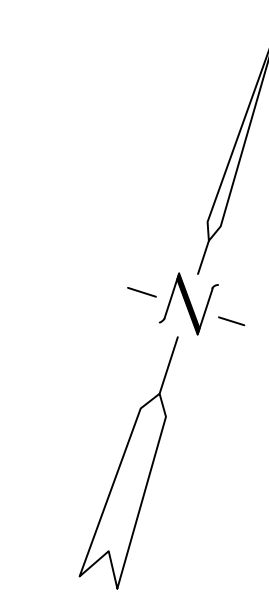
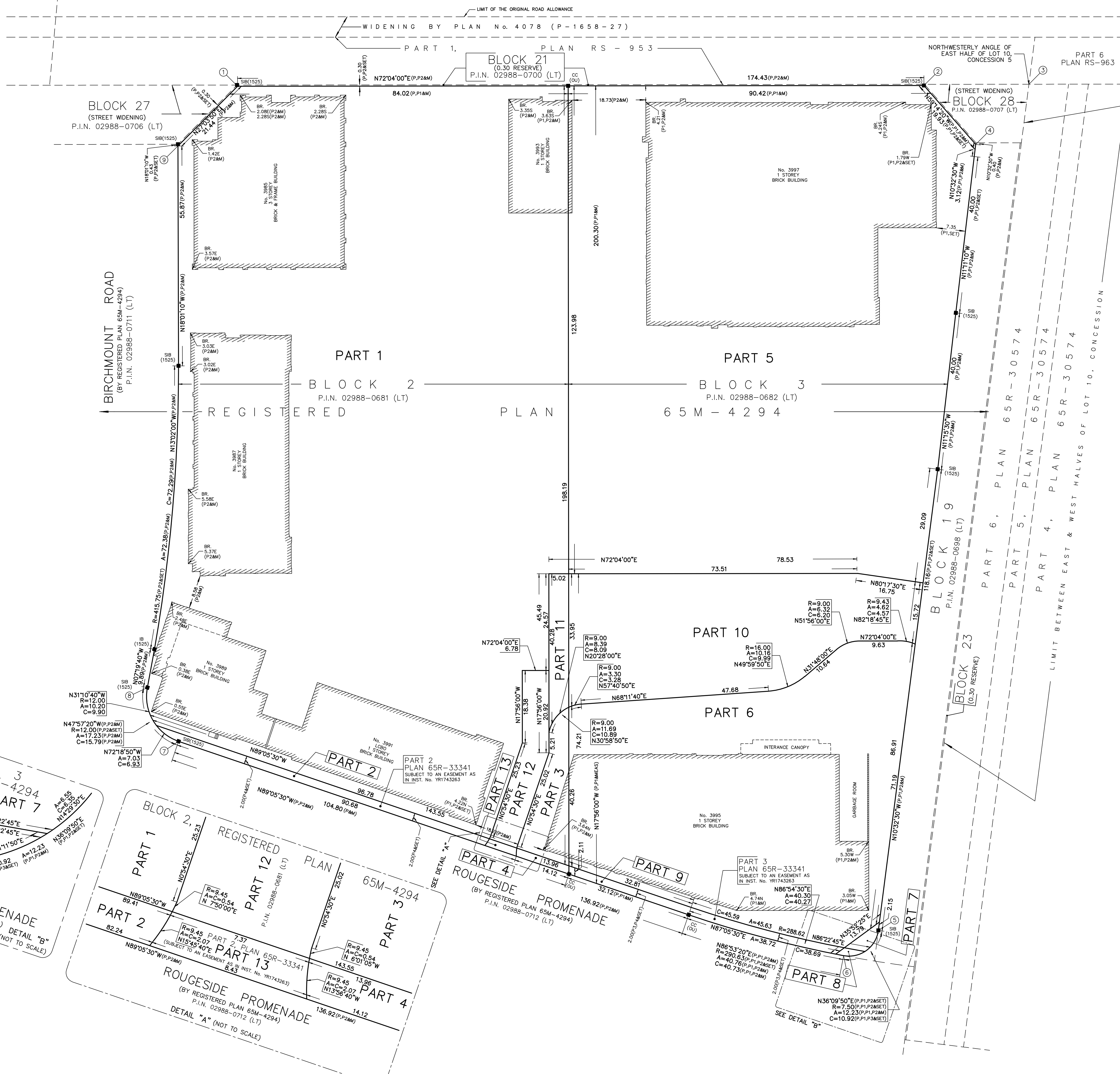


THE KING'S HIGHWAY No. 7
(ROAD ALLOWANCE BETWEEN LOTS 10 AND 11, CONCESSION 5)
P.I.N. 02985-0493 (LT)



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		PLAN 65R-	
DATE		RECEIVED AND DEPOSITED	
DATE		DATE	
PIRATHEEPAN RAMACHANDRAN ONTARIO LAND SURVEYOR		REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION (No. 65)	

SCHEDULE				
PART	BLOCK	REGISTERED PLAN	P.I.N.	AREA (sq. m.)
1				17345.7
2				174.2
3	PART OF BLOCK 2		PART OF PIN 02988-0681 (LT)	298.4
4				28.1
5				12053.8
6				4892.9
7	PART OF BLOCK 3	65M-4294	PART OF PIN 02988-0682 (LT)	27.4
8				9.4
9				144.2
10				2404.8
11				181.2
12	PART OF BLOCK 2		PART OF PIN 02988-0681 (LT)	318.9
13				15.6

PARTS 1, 2, 3, 4, 11, 12 & 13: ALL OF P.I.N. 02988-0681 (LT)
 PARTS 5, 6, 7, 8, 9 & 10: ALL OF P.I.N. 02988-0682 (LT)
 PARTS 2, 4 & 13: SUBJECT TO AN EASEMENT AS IN INST. No. YR1743263
 PARTS 8 & 9: SUBJECT TO AN EASEMENT AS IN INST. No. YR1743263

PLAN OF SURVEY OF
BLOCKS 2 AND 3
 REGISTERED PLAN 65M-4294
 CITY OF MARKHAM
 REGIONAL MUNICIPALITY OF YORK
 SCALE 1 : 500

R. AVIS SURVEYING INC.
 METRIC : DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES AND LEGEND

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM MARKHAM HORIZONTAL CONTROL MONUMENTS No. 092063056 AND No. 09206357, ZONE 10, CENTRAL MERIDIAN 79° 30' WEST LONGITUDE.
 (*3' MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS-1997))

HCM No. 092063056 N 4857428.951 E 318428.531
 HCM No. 092063057 N 4857633.527 E 318429.206

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.9999305.

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT PLANTED
S/SB	DENOTES	STANDARD IRON BAR
S/SB	DENOTES	SHORT STANDARD IRON BAR
IB	DENOTES	IRON BAR
CC	DENOTES	CUT CROSS
WT	DENOTES	WITNESS
MEAS	DENOTES	MEASURED
N,S,E,W	DENOTES	NORTH, SOUTH, EAST, WEST
P	DENOTES	PLAN 65M-4294
P1	DENOTES	PLAN OF SURVEY BY R. AVIS SURVEYING INC., DATED OCTOBER 20, 2021.
P2	DENOTES	SURVEYOR'S REAL PROPERTY REPORT BY R. AVIS SURVEYING INC., DATED AUGUST 28, 2012.
P3	DENOTES	PLAN 65R-33341
(1525)	DENOTES	R.AVIS SURVEYING INC.

3' MTM ZONE 10 COORDINATES
 NAD83(CRS-2010) (CENTRAL MERIDIAN 79°30' WEST LONGITUDE)

DERIVED FROM MONUMENTS No. 092063056 AND No. 092063057

	NORTHING	EASTING
1	4857553.26	318940.25
2	4857606.97	319106.21
3	4857615.47	319131.50
4	4857596.78	319123.33
5	4857399.07	319161.09
6	4857390.26	319154.65
7	4857390.22	318977.08
8	4857400.79	318965.36
9	4857534.17	318930.50

(1) THE MTM COORDINATES LISTED ABOVE ARE TO AN URBAN ACCURACY, PER SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT

(2) THE MTM COORDINATES LISTED ABOVE ARE TO BE USED FOR GEOGRAPHIC INFORMATION SYSTEM INTEGRATION ONLY AND CANNOT BE USED TO RE-ESTABLISH THE PROPERTY CORNERS OR BOUNDARIES SHOWN HEREON

SURVEYOR'S CERTIFICATE

I CERTIFY THAT

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 23th DAY OF JULY, 2024.

AUGUST 21, 2024
 DATE

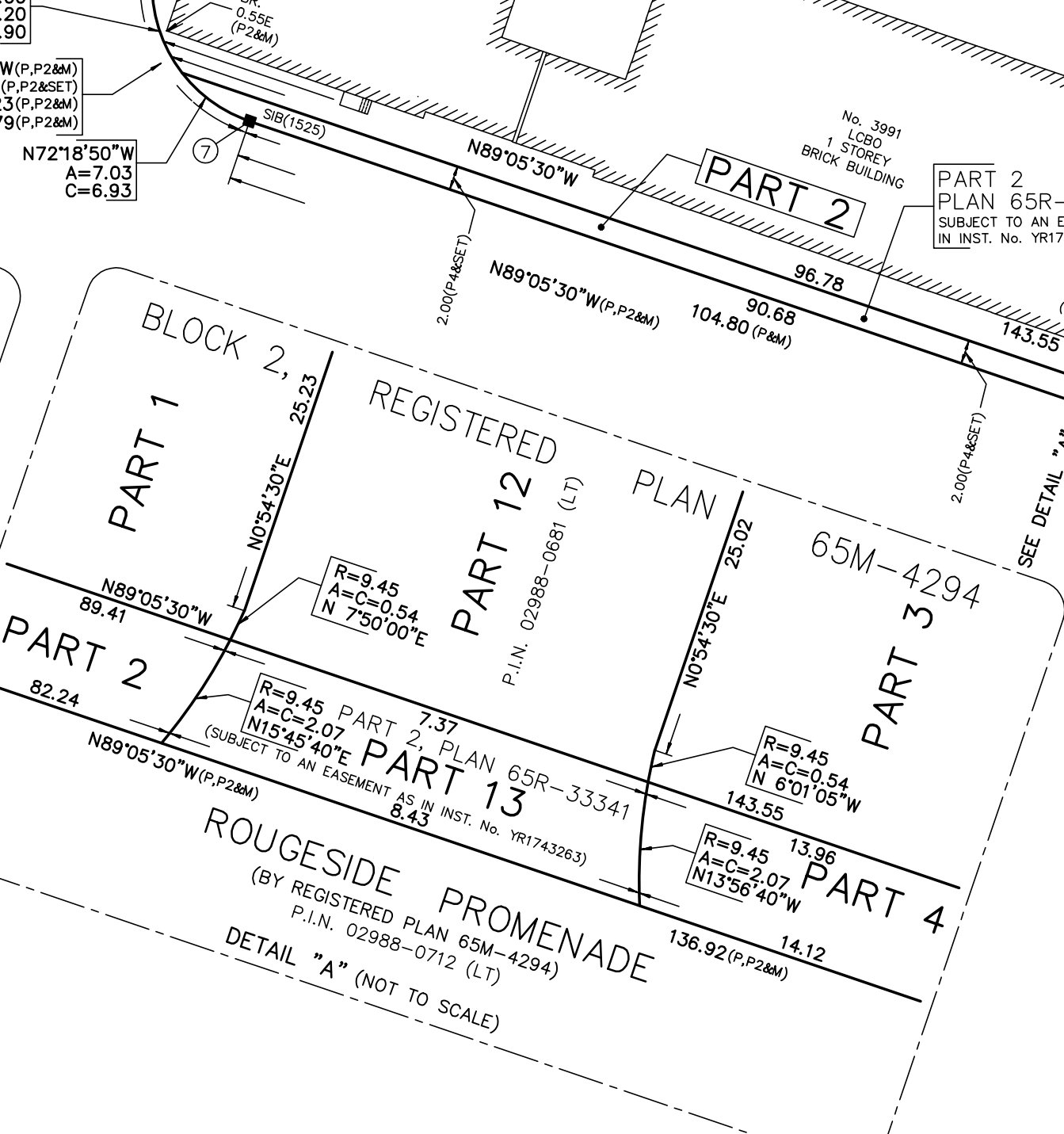
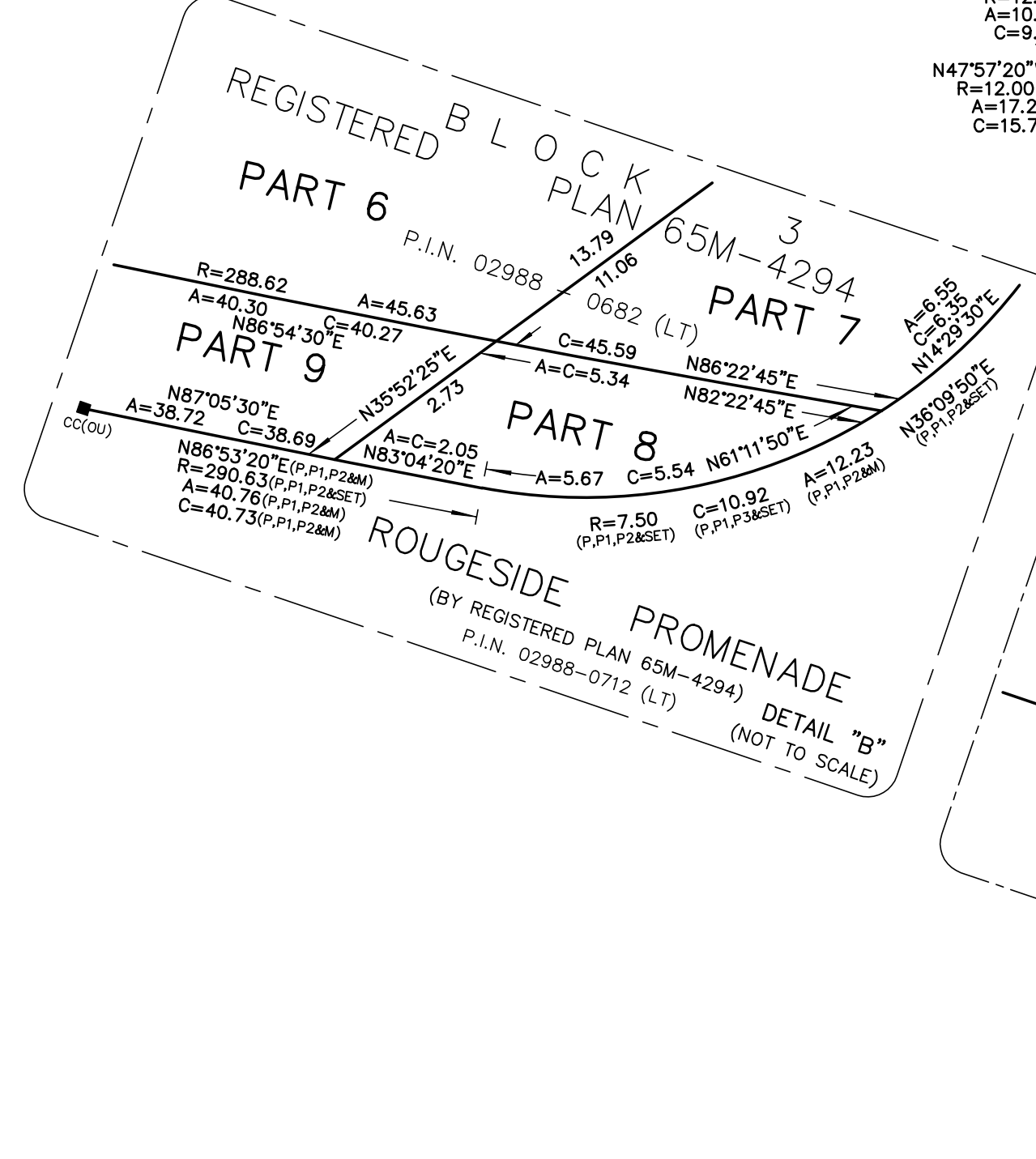
PIRATHEEPAN RAMACHANDRAN
 Ontario Land Surveyor

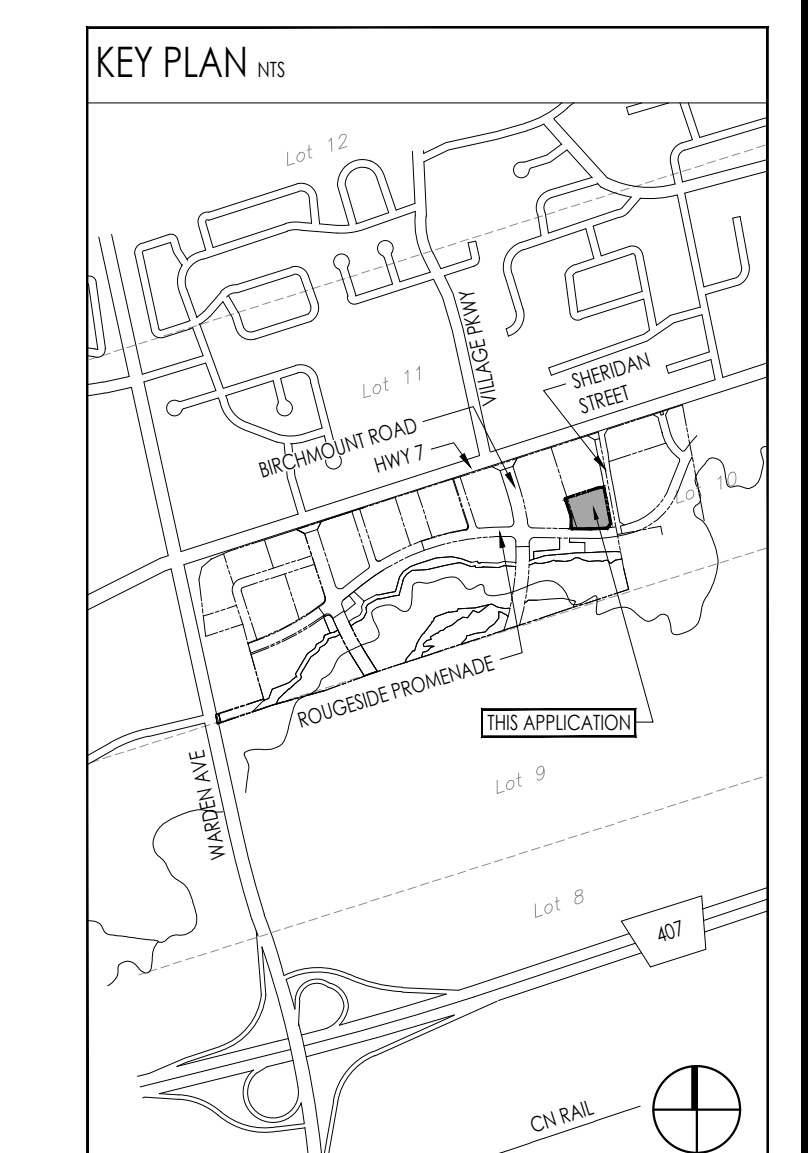
R. AVIS SURVEYING INC.
 SUITE 203
 235 YORKLAND BOULEVARD
 TORONTO, ONTARIO
 M2J 4Y8

TEL: (416) 490-8352 www.ravissurveying.com FAX: (416) 491-6206

CHECKED BY : P.R., O.L.S.
 CALCULATED BY : H.T./F.M.
 DRAWN BY : H.T./F.M.

PROJECT No. : 2566-85
 DRAWING No. : 2566-85R.DWG





SURVEY INFORMATION

PLAN OF SURVEY
BLOCKS 2 AND 3
REGISTERED PLAN 654-424
CITY OF MARKHAM
REGIONAL MUNICIPALITY OF YORK

NOTES
BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM MARKHAM HORIZONTAL CONTROL MONUMENTS NO. 0920356 AND NO. 0920357, ZONE 10, CENTRAL MERIDIAN 79° 32' WEST LONGITUDE.
17 NAD83 TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS 1997)

ADDITIONAL NOTES
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEY DATE
AUGUST 21, 2024

SURVEYOR CONTACT INFORMATION
R. AVIS SURVEYING INC.
235 YORKLAND BOULEVARD, SUITE 303
TORONTO, ONTARIO, M2J 4Y6
TEL: (416) 490-8202
FAX: (416) 491-4006
www.ravisurveying.com

ZONING

RESIDENTIAL

SITE PLAN LEGEND n15

- MAIN ENTRANCE
- SECONDARY ENTRANCE
- EXISTING GRADE DATUM
- FINISH FLOOR ELEVATION
- ESTABLISHED GRADE
- PROPOSED GRADE DATUM
- EXISTING TREE (REFER TO SURVEY) CANNOT NOT TO SCALE
- PROPOSED TREE (REFER TO LANDSCAPE DWG)
- EXISTING HYDRANT (REFER TO SURVEY)
- PROPOSED HYDRANT (REFER TO CIVIL DWG)
- SWANSE CONNECTION (REFER TO MECH/CIVIL DWG)
- SANITARY MANHOLE (REFER TO CIVIL DWG)
- STORM SEWER MANHOLE (REFER TO CIVIL DWG)
- CATCH-BASIN SEDIMENT TRAP (REFER TO CIVIL DWG)
- CATCH-BASIN (REFER TO CIVIL DWG)
- EXISTING STREET LIGHT (REFER TO SURVEY/ELEC)
- PROPOSED STREET LIGHT (REFER TO ELEC DWG)
- TRANSFORMER (REFER TO ELEC DWG)
- GAS METER (REFER TO MECH DWG)
- HYDRO METER (REFER TO ELEC DWG)
- RECEPTACLE (REFER TO ELEC DWG)
- AREA DRAIN
- HOSE BIB (REFER TO MECH/CIVIL DWG)
- POST-MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- WALL/COLUMN MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- BI = BARRIER FREE PARKING STOP = STOP SIGN
- LF = LOADING ZONE IM = TRUCK MANOEUVRING
- HP = NO PARKING CM = CONVEYER HUB
- NS = NO STOPPING FR = FIRE ROUTE
- BL = BOLLARD LIGHTING (REFER TO LANDSCAPE DWG)
- PL = POLE LIGHTING
- WALL/COLUMN/FENCE-MOUNTED OR CEILING-MOUNTED CONVEYER HUBS SUBJECT TO ACTUAL CONDITION
- ELECTRIC VEHICLE CHARGER ROUGH-IN (SEE ELEC DWG)

PARKING LEGEND n15

- PROPOSED PARKING SPACE (2600x5800) ENCLOSED/UG PARKING
- PROPOSED VISITOR PARKING SPACE (2600x5800) ENCLOSED/UG PARKING
- PROPOSED BARREER FREE PARKING SPACE (2600x5800) SURFACE PARKING WITH 1500 WIDE WALKWAY
- PROPOSED COMMERCIAL PARKING SPACE (2600x5800) SURFACE PARKING
- PROPOSED SHORT TERM PARKING SPACE (2700x5800) SURFACE PARKING
- COMPACT PARKING SPACE (2200x5800) NOT INCLUDED IN PARKING COUNT
- MOVING BAY (4000x8000)
- PROPOSED LOADING SPACE (1800X3000)
- PROPOSED HORIZONTAL BICYCLE PARKING (600X1800)

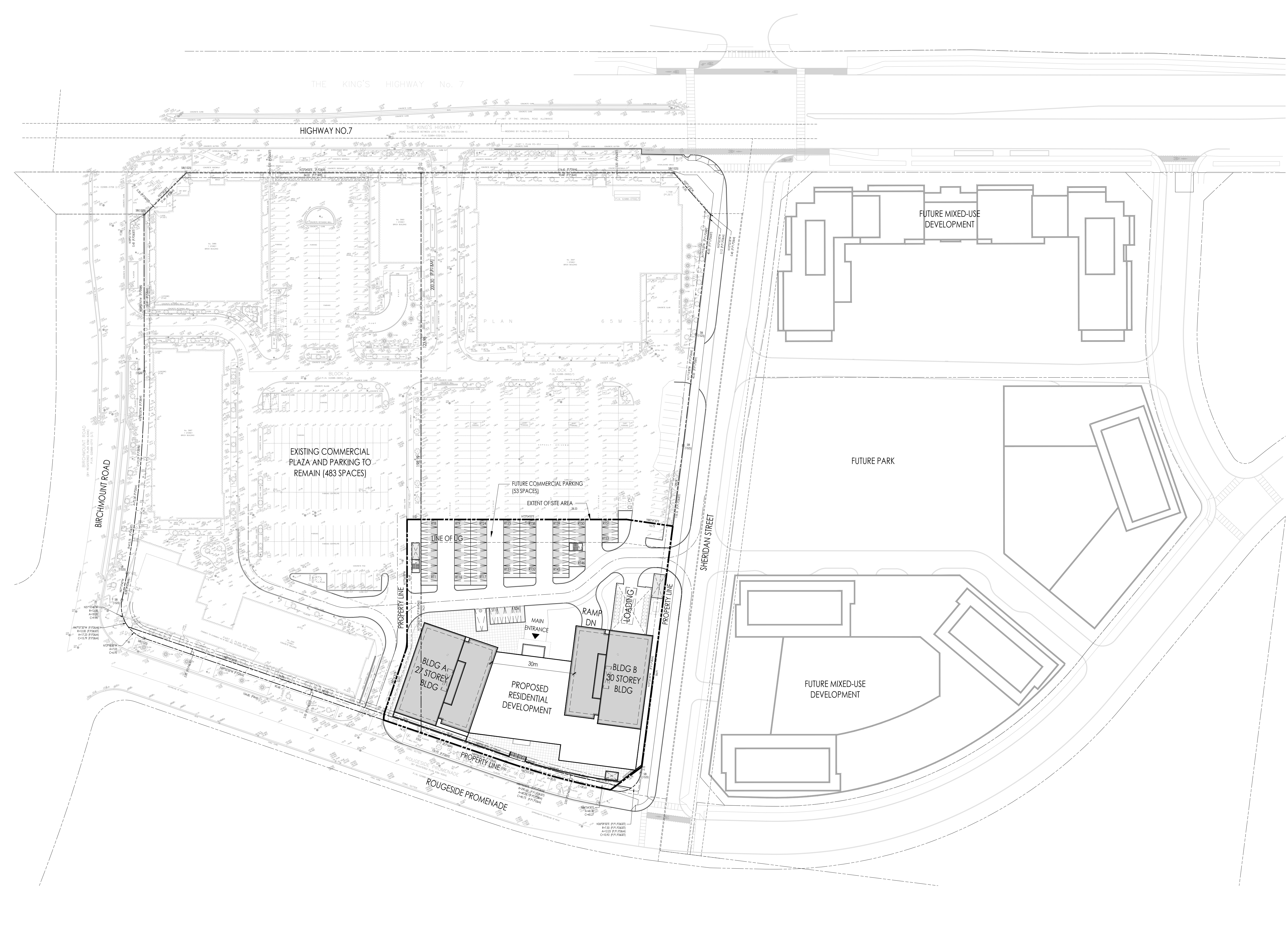
9. BUILDING HEIGHT

(OVERALL HEIGHT MEASURED FROM GROUND FLOOR)

	BUILDING A	BUILDING B
FOOTING	1 STOREY	1 STOREY
TOWER	26 STOREY	29 STOREY
TOTAL	27 STOREY (91.05 m)	30 STOREY (95.10 m)

10. LOADING AREA

	BUILDING A	BUILDING B
LOADING AREAS	SHARED WITH BLDG B	1



1. SITE AREA

	SQ. FEET (ft ²)	SQ. METER (m ²)	ACRES (ac)	HECTARES (ha)
TOTAL	85,548.78	7,949.40	1.96	0.79

2. GROSS FLOOR AREA (GFA)

Gross Floor Area means the aggregate of the area of each floor of a building or structure above or below grade, measured between the exterior walls of the building or structure, or where there are none, with between walls or building or structure, measured to the centerline of a common wall. The calculation of gross floor area excludes the area of each floor level, or designed or intended for the parking of motor vehicles, unless the proposed use of a building or structure is for parking.

BUILDING A	NO. FLS x (m ²)		SQ. METER (m ²)		SQ. FEET (ft ²)		BUILDING B	NO. FLS x (m ²)		SQ. METER (m ²)		SQ. FEET (ft ²)		TOTAL	
	NO. FLS	AREA	NO. FLS	AREA	NO. FLS	AREA		NO. FLS	AREA	NO. FLS	AREA	NO. FLS	AREA		
P2/P4 UNDERGROUND	3	315 x m ²	2,157	m ²	23,218	ft ²	P2/P4 UNDERGROUND	3	315 x m ²	2,157	m ²	23,218	ft ²	46,435	ft ²
P1 UNDERGROUND	7	742 x m ²	7,987	m ²	85,549	ft ²	P1 UNDERGROUND	7	742 x m ²	7,987	m ²	85,549	ft ²	15,974	ft ²
GROUND							GROUND								
RESIDENTIAL	883	m ²	9,305	ft ²	100,375	ft ²	RESIDENTIAL	964	m ²	10,375	ft ²	1,567	ft ²	19,981	ft ²
AMENITY	533	m ²	5,912	ft ²	6,449	ft ²	AMENITY	601	m ²	6,449	ft ²	1,154	ft ²	13,422	ft ²
SUBTOTAL	1,416	m ²	15,437	ft ²	16,844	ft ²	SUBTOTAL	1,565	m ²	16,844	ft ²	3,001	ft ²	30,302	ft ²
2ND FLOOR							2ND FLOOR								
RESIDENTIAL	694	m ²	7,470	ft ²	8,094	ft ²	RESIDENTIAL	694	m ²	7,470	ft ²	1,388	ft ²	14,940	ft ²
AMENITY	49	m ²	527	ft ²	569	ft ²	AMENITY	49	m ²	527	ft ²	98	ft ²	1,055	ft ²
SUBTOTAL	743	m ²	7,998	ft ²	8,663	ft ²	SUBTOTAL	743	m ²	7,998	ft ²	1,486	ft ²	15,995	ft ²
3RD-21ST FLOOR	19	FLRS x 743 m ²	14,117	m ²	151,954	ft ²	3RD-21ST FLOOR	19	FLRS x 743 m ²	14,117	m ²	151,954	ft ²	303,908	ft ²
22ND-27TH FLOOR	6	FLRS x 743 m ²	4,458	m ²	47,985	ft ²	22ND-27TH FLOOR	8	FLRS x 743 m ²	5,944	m ²	63,981	ft ²	113,964	ft ²
	0	m ²	0	ft ²	0	ft ²	30TH FLOOR	1	FLRS x 743 m ²	743	m ²	7,987	ft ²	7,987	ft ²
	0	m ²	0	ft ²	0	ft ²		0	m ²	0	ft ²	0	ft ²	0	ft ²
MECHANICAL PENHOUSE	399	m ²	4,295	ft ²	4,594	ft ²	MECHANICAL PENHOUSE	399	m ²	4,295	ft ²	798	ft ²	8,592	ft ²
TOTAL - BUILDING A	24,052	m ²	258,893	ft ²	2,814,102	ft ²	TOTAL - BUILDING B	26,410	m ²	284,275	ft ²	3,042,622	ft ²	5,431,148	ft ²

*OF WHICH 1,154 ARE BARRIER FREE (5% REQUIRED)
**OF WHICH 4 SPACES ARE BARRIER FREE (5% REQUIRED)
*** SHORT TERM SPACES NOT INCLUDED IN TOTAL

3. DENSITY (F.S./I)

GROSS FLOOR AREA (GFA) / LOT AREA

30,462 m² / 7,949.40 m² = 3.83

4. COVERAGE

MAXIMUM BUILDING COVERAGE:

LANDSCAPED AREAS	AREA (m ²)	PERCENT (%)
LANDSCAPED AREAS	3,197	40
PAVED AREAS (DRIVE AISLES & PARKING AREAS)	2,292	28
TOTAL	5,489	68

5. UNIT MIX

BUILDING A	AFFORDABLE RENTAL			MARKET RENTAL			TOTAL	TOTAL UNITS
	18/18+D	28/28+D	38/38+D	18/18+D	28/28+D	38/38+D		
GROUND FLOOR	5	3	1	9	0	0	9	0
2ND FLOOR	24	12	4	40	0	0	40	0
3RD-4TH FLOOR (RFL)	6	1	1	8	0	2	10	20
7TH FLOOR	1	1	2	4	3	3	10	20
8TH FLOOR	1	1	2	4	3	3	10	20
9TH FLOOR	1	1	2	4	3	3	10	20
10TH-21ST FLOOR (12R)	1	0	4	5	3	3	11	20
22ND-27TH FLOOR (8R)	6	42	18	66	46	24	134	154
30TH FLOOR	0	0	0	0	0	0	0	11
TOTAL - BUILDING A	36	16	8	60	6	125	265	265
TOTAL - BUILDING B	36	16	8	60	9	146	215	215
TOTAL - BUILDING A & B	72	32	16	120	15	271	480	480

6. LOCKER STORAGE

	BUILDING A	BUILDING B	TOTAL
GROUND	0	0	0
P1 UNDERGROUND	110	89	199
P2 UNDERGROUND	110	72	182
P4 UNDERGROUND	110	72	182
TOTAL PROVIDED	225	233	458

7. BICYCLE PARKING

MIN. PARKING REQUIRED	0.10/UNIT SHORT TERM				0.5/UNIT LONG TERM		TOTAL
	BUILDING A (1-REQ)	BUILDING B (1-REQ)	BUILDING A (27 REQ)	BUILDING B (133 REQ)	BUILDING A (147 REQ)	BUILDING B (147 REQ)	
SURFACE							
GROUND			48	13	14	37	102
P1 UNDERGROUND					40	45	85
P2 UNDERGROUND					21	23	44
P3 UNDERGROUND					33	37	70
P4 UNDERGROUND					33	37	70
SUBTOTAL PROVIDED	0	0	48	13	141	142	344
TOTAL PROVIDED					61	283	344

8. PARKING

MIN. PARKING REQUIRED	0.12/UNIT VISITOR				MIN. 0.80 - MAX. 1.00/UNIT RESIDENTIAL		TOTAL
	BUILDING A (32 REQ)	BUILDING B (36 REQ)	BUILDING A (32 REQ)	BUILDING B (36 REQ)	BUILDING A (323 REQ)	BUILDING B (323 REQ)	
SURFACE							
P1 UNDERGROUND			32	36	47	52	167
P2 UNDERGROUND					79	90	169
P3 UNDERGROUND					79	90	169
P4 UNDERGROUND					80	91	171
SUBTOTAL PROVIDED	2	2	32	36	285	323	678
TOTAL PROVIDED	4	4	64	72	570	646	1216

9. BUILDING HEIGHT

(OVERALL HEIGHT MEASURED FROM GROUND FLOOR)

	BUILDING A	BUILDING B
FOOTING	1 STOREY	1 STOREY
TOWER	26 STOREY	29 STOREY
TOTAL	27 STOREY (91.05 m)	30 STOREY (95.10 m)

10. LOADING AREA

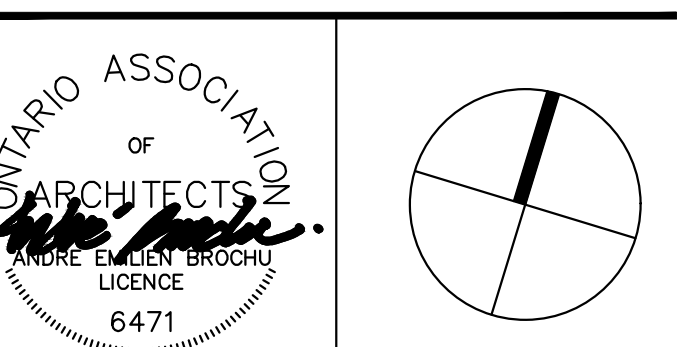
	BUILDING A	BUILDING B
LOADING AREAS	SHARED WITH BLDG B	1

THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF THE ICE BROCHU ARCHITECTS INC. THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE DESIGN ARCHITECT, INC. OF ANY VARIATIONS FROM THE SPECIFIED INFORMATION. ICE BROCHU ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE CONSULTANT INFORMATION. REFER TO ARCHITECTS' SERVICE CONTRACT, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTANT DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONTRACTOR MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE ARCHITECTURAL SYMBOLS ARE FOR GRAPHIC REPRESENTATION ONLY. THIS DRAWING IS NOT TO BE SCALED.

ICE BROCHU ARCHITECTS INC.
DPL, ARCH, DIA, MVAR, DAB

1 SEPT. 19, 2024 ISSUED FOR CONSENT APPLICATION AS

NO. DATE ISSUE BY



TIMES MARKHAM CENTRE BED BATH BEYOND

HIGHWAY 7 & BIRCHMOUNT ROAD MARKHAM, ONTARIO

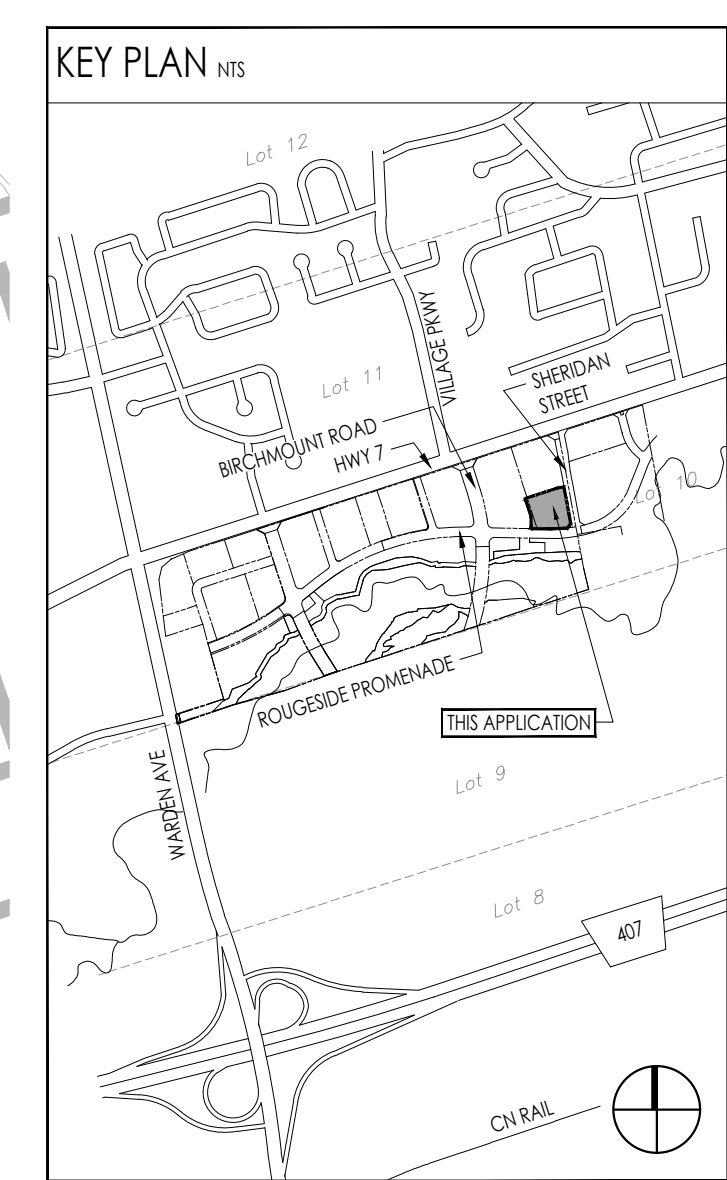
Drawing Title CONTEXT PLAN

Date: NOV. 2021 Drawn By: KK/PL/SG/YL

Scale: 1:600 Reviewed By: AB

Project No.: 19.05 Drawing No.: A101

Plot Date: October 22, 2024



SURVEY INFORMATION

PLAN OF SURVEY: BLOCKS 2 AND 3 REGISTERED PLAN 65M-4294 CITY OF MARKHAM REGIONAL MUNICIPALITY OF YORK

NOTES: BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM MARKHAM HORIZONTAL CONTROL MONUMENT NO. 0920056 AND NO. 0920057, ZONE 10, CENTRAL MERIDIAN 79° 32' WEST LONGITUDE. 17 MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS 1997)

ADDITIONAL NOTES: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR INFORMATION: R. AVIS SURVEYING INC. 235 WYLAND BOULEVARD, SUITE 303 TORONTO, ONTARIO, M2J 4Y8 TEL: (416) 490-8522 FAX: (416) 491-4006 www.ravisurveying.com

ZONING

SITE PLAN LEGEND n15

- MAIN ENTRANCE
- SECONDARY ENTRANCE
- EXISTING GRADE DATUM
- FINISH FLOOR ELEVATION
- ESTABLISHED GRADE
- PROPOSED GRADE DATUM
- EXISTING TREE (REFER TO SURVEY) CANOPY NOT TO SCALE
- PROPOSED TREE (REFER TO LANDSCAPE DWG)
- EXISTING HYDRANT (REFER TO SURVEY)
- PROPOSED HYDRANT (REFER TO CIVIL DWG)
- SHAMSE CONNECTION (REFER TO MECH/CIVIL DWG)
- SANITARY MANHOLE (REFER TO CIVIL DWG)
- STORM SEWER MANHOLE (REFER TO CIVIL DWG)
- CATCH-BASIN/SEDIMENT TRAP (REFER TO CIVIL DWG)
- CATCH-BASIN (REFER TO CIVIL DWG)
- EXISTING STREET LIGHT (REFER TO SURVEY/ELEC)
- PROPOSED STREET LIGHT (REFER TO ELEC DWG)
- TRANSFORMER (REFER TO ELEC DWG)
- GAS METER (REFER TO MECH DWG)
- HYDRO METER (REFER TO ELEC DWG)
- RECEPTACLE (REFER TO ELEC DWG)
- AREA DRAIN
- HOSE BIB (REFER TO MECH/CIVIL DWG)
- POST-MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- WALL/COLUMN MOUNTED SIGN (REFER TO TRAFFIC REPORT)
- BF = BARRIER FREE PARKING STOP = STOP SIGN
- LD = LOADING ZONE TM = TRUCK MANOEUVRING
- NP = NO PARKING CM = CONVEYER HOBOR
- NS = NO STOPPING FR = FIRE ROUTE
- BL = BOLLARD LIGHTING (REFER TO LANDSCAPE DWG)
- PL = POLE LIGHTING
- WALL/COLUMN/FENCE-MOUNTED OR CEILING-MOUNTED CONVEYER HOBOR SUBJECT TO ACTUAL CONDITION
- ELECTRIC VEHICLE CHARGER ROUGH-IN (SEE ELEC DWG)

1. SITE AREA

	SQ. FEET (ft ²)	SQ. METER (m ²)	ACRES (ac)	HECTARES (ha)
TOTAL	85,548.78	7,949.40	1.96	0.79

2. GROSS FLOOR AREA (GFA)

BUILDING	NO. FLS x (HxI)		NO. FLS x (HxI)		TOTAL	
	SQ. METER (m ²)	SQ. FEET (ft ²)	SQ. METER (m ²)	SQ. FEET (ft ²)	SQ. METER (m ²)	SQ. FEET (ft ²)
P2/P4 UNDERGROUND	3,115	2,157	23,218	251,812	26,333	253,969
P1 UNDERGROUND	742	7,987	1,484	15,974	2,226	23,961
GROUND	880	9,505	964	10,375	1,844	19,880
RESIDENTIAL	883	9,512	967	10,382	1,850	19,894
AMENITY	0	0	0	0	0	0
SUBTOTAL	1,425	15,492	1,931	20,756	3,356	36,248
2ND FLOOR	694	7,470	694	7,470	1,388	14,940
RESIDENTIAL	694	7,470	694	7,470	1,388	14,940
AMENITY	0	0	0	0	0	0
SUBTOTAL	743	7,998	743	7,998	1,486	15,996
3RD-21ST FLOOR	19 FLS x 743 m ²	14,117	151,954	1,637,212	166,071	1,789,184
22ND-27TH FLOOR	8 FLS x 743 m ²	4,458	47,985	59,844	646,911	7,016,011
28TH FLOOR	0	0	0	0	0	0
MECHANICAL PENITHOUSE	399	4,295	399	4,295	798	8,590
TOTAL - BUILDING A	24,052	258,893	26,410	284,275	50,462	543,168

3. DENSITY (F.S./I)

GROSS FLOOR AREA (GFA) / LOT AREA: 30,462 m² / 7,949.40 m² = 3.83

4. COVERAGE

MAXIMUM BUILDING COVERAGE: 3,197 m² 40%

LANDSCAPED AREAS (DRIVE AISLES & PARKING AREAS): 2,292 m² 28%

PAVED AREAS (DRIVE AISLES & PARKING AREAS): 31.8 m² 0.4%

TOTAL: 7,920 m² 100%

5. UNIT MIX

BUILDING	AFFORDABLE RENTAL				MARKET RENTAL				TOTAL
	18/18'D	28/28'D	38/38'D	TOTAL	18/18'D	28/28'D	38/38'D	TOTAL	
GROUND FLOOR	5	3	1	9	0	0	0	0	9
2ND FLOOR	5	3	1	9	0	0	0	0	9
3RD-4TH FLOOR (4FL)	24	12	4	40	0	0	0	0	40
7TH FLOOR	6	1	1	8	2	2	1	5	13
8TH FLOOR	1	1	2	4	3	3	3	9	13
9TH FLOOR	1	1	0	2	4	3	3	10	13
10TH-21ST FLOOR (12FL)	1	0	0	1	72	36	12	120	121
22ND-27TH FLOOR (6FL)	6	42	18	66	46	46	24	116	182
30TH FLOOR	0	0	0	0	1	7	3	11	11
TOTAL - BUILDING A	36	16	8	60	6	125	62	205	265
TOTAL - BUILDING B	36	16	8	60	9	146	71	226	286

6. LOCKER STORAGE

	BUILDING A	BUILDING B	TOTAL
GROUND	0	0	0
P1 UNDERGROUND	110	89	199
P2 UNDERGROUND	110	72	182
P4 UNDERGROUND	110	72	182
TOTAL PROVIDED	225	233	458

7. BICYCLE PARKING

SURFACE	0.10 UNIT SHORT TERM		0.50 UNIT LONG TERM		TOTAL
	BUILDING A (1-REQ)	BUILDING B (1-REQ)	BUILDING A (133 REQ)	BUILDING B (147 REQ)	
GROUND	48	13	14	42	117
P1 UNDERGROUND	40	45	85	85	170
P2 UNDERGROUND	21	23	44	44	88
P3 UNDERGROUND	33	37	70	70	140
P4 UNDERGROUND	33	37	70	70	140
SUBTOTAL PROVIDED	0	0	48	13	61
TOTAL PROVIDED	0	0	61	13	74

8. PARKING

SURFACE	0.12 UNIT VISOR		MIN. 0.80 - MAX. 1.00 UNIT RESIDENTIAL		TOTAL
	BUILDING A (32 REQ)	BUILDING B (36 REQ)	BUILDING A (285 REQ)	BUILDING B (323 REQ)	
GROUND	2	2	32	36	42
P1 UNDERGROUND	2	2	47	52	103
P2 UNDERGROUND	2	2	79	90	183
P3 UNDERGROUND	2	2	79	90	183
P4 UNDERGROUND	2	2	80	91	175
SUBTOTAL PROVIDED	2	2	32	36	72
TOTAL PROVIDED	2	2	285	323	612

PARKING LEGEND n15

- PROPOSED PARKING SPACE (2600x5800) ENCLOSED/VEG PARKING
- PROPOSED VISOR PARKING SPACE (2600x5800) ENCLOSED/VEG PARKING
- PROPOSED BARRIER FREE PARKING SPACE (2600x5800) SURFACE PARKING WITH 1500 WIDE WALKWAY
- PROPOSED COMMERCIAL PARKING SPACE (2600x5800) SURFACE PARKING
- PROPOSED SHORT TERM PARKING SPACE (2700x5800) SURFACE PARKING
- COMPACT PARKING SPACE (2500x2800) NOT INCLUDED IN PARKING COUNT
- MOVING BAY (4000x8000)
- PROPOSED LOADING SPACE (1800X1300X)
- PROPOSED HORIZONTAL BICYCLE PARKING (600X1800)

9. BUILDING HEIGHT (OVERALL HEIGHT MEASURED FROM GROUND FLOOR)

	BUILDING A	BUILDING B
FOOTING	1 STOREY	1 STOREY
TOWER	26 STOREY	29 STOREY
TOTAL	27 STOREY (91.05 m)	30 STOREY (95.10 m)

10. LOADING AREA

	BUILDING A	BUILDING B
LOADING AREAS	SHARED WITH BLDG B	1

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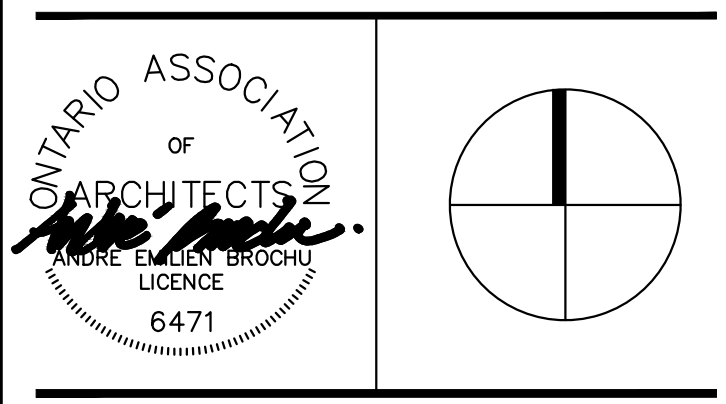
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1 SEPT. 19, 2024 ISSUED FOR CONSENT APPLICATION AS

NO. DATE ISSUE BY



TIMES MARKHAM CENTRE
BED BATH BEYOND

Highway 7 & Birchmount Road, Markham, Ontario

Drawing title: **SITE PLAN**

Date: **NOV. 2021** Drawn by: **KK/PL/SG/YL**

Scale: **1:250** Reviewed by: **AB**

Project No.: **19.05** Drawing No.: **A102**

Plot Date: **October 22, 2024**