

# Memorandum to the City of Markham Committee of Adjustment

March 24, 2025

**File:** A/088/24  
**Address:** 59 Lee Avenue, Markham  
**Agent:** Building Experts Canada Ltd. (Miaoyi Xue)  
**Hearing Date:** Wednesday, April 2, 2025

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the following requirement of the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone under By-law 2024-19, as amended, as it relates to the proposed two-storey garden home (the “Proposed Development”). The variance requested is to permit:

**a) Section 4.9.10 (g):**

a garden home to be located no further than 51 metres from a lot line abutting a street, whereas the By-law permits a garden home to be located no further than 30 metres from a lot line abutting a street.

## **BACKGROUND**

This Application was originally heard at the February 5, 2025 Committee of Adjustment hearing (refer to Appendix “A” – A/088/24 February 5, 2025 Staff Report for additional details). The Application was deferred to give the Applicant the opportunity to scale down the size of the Proposed Development to remove the previously requested variance for permitted maximum gross floor area (“GFA”) for garden homes, and to provide further clarifications on the Plans to address fire safety concerns.

Since the deferral, the Applicant has reduced the GFA of the proposed garden home from 287.20 m<sup>2</sup> (3,091.40 ft<sup>2</sup>) (54.93% of the GFA of the principal dwelling on the same lot) to 260.85 m<sup>2</sup> (2,807.77 ft<sup>2</sup>), as indicated on the Revised Plans in Appendix “B”. This correlates to a garden home that is 49.90% of the GFA of the principal use dwelling on the same lot and thereby removes the variance for [Section 4.9.10 d\) the By-law](#), which requires a garden home to not exceed the greater of 50% of the GFA of the principal dwelling on the same lot (261.40 m<sup>2</sup> or 2,813.63 ft<sup>2</sup>) or 60 m<sup>2</sup> (645.83 ft<sup>2</sup>).

Upon further review, Fire and Emergency Services Department Staff also found the commitment to installing a sprinkler system in accordance with National Fire Protection Association (NFPA) 13 or 13D requirements as indicated on the Revised Plans to be acceptable. Staff’s comments from the initial report (Appendix ‘A’) remains applicable.

**PUBLIC INPUT SUMMARY**

Since the previous deferral of this application on February 5<sup>th</sup>, 2025, no additional written submissions were received as of March 24, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

Please refer to Appendix “C” for conditions to be attached to any approval of this application.

PREPARED BY:



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Barton Leung, Senior Planner, Central District

REVIEWED BY:



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Melissa Leung, RPP MCIP, Senior Planner, Central District

**APPENDICES**

Appendix “A” – A/088/24 February 5, 2025 Staff Report

Appendix “B” – Revised Plans

Appendix “C” – Conditions

## Appendix A

Memorandum to the City of Markham Committee of Adjustment  
January 28, 2024

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

**File:** A/088/24  
**Address:** 59 Lee Avenue, Markham  
**Agent:** Building Experts Canada (Edgar Labuac)  
**Hearing Date:** February 5, 2025

The following comments are provided on behalf of the Central Team:

The Applicant is requesting relief from the following requirements of the “Residential – Established Neighbourhood Low Rise (RES-ENLR)” zone under By-law 2024-19, as amended, as it relates to the proposed two-storey garden home. The variances requested are to permit:

**a) Section 4.9.10 (g):**

a garden home to be located no further than 51 metres from a lot line abutting a street, whereas the By-law permits a garden home to be located no further than 30 metres from a lot line abutting a street; and

**b) Section 4.9.10 (d):**

a gross floor area of 54.93 percent (287.2 square metres) of the principal dwelling for a garden home, whereas the By-law permits a garden home that does not exceed the greater of 50 percent of the gross floor area (261.39 square metres) of the principal dwelling on the same lot or 60 square metres.

## BACKGROUND

### Property Description

The 2,063.93 m<sup>2</sup> (22,216 ft<sup>2</sup>) subject property (“Subject Lands”) is located on the south side of Lee Avenue, west side of Noble Street and generally to the east of Kennedy Road (refer to Appendix “A” – Aerial Photo). The Subject Lands are located within an established residential neighbourhood comprised of predominantly large one and two-storey detached dwellings.

There is an existing one-storey detached dwelling on the Subject Lands, which according to assessment records was constructed in 1986. Mature vegetation exists on the property including several large mature trees in the front and rear yard.

### Proposal

The Applicant is proposing to construct a 287.20 m<sup>2</sup> (3,091.46 ft<sup>2</sup>) two-storey detached garden home with a basement (“Proposed Development”) within the rear yard of the Subject Lands (refer to Appendix “B” – Plans). The proposal also includes a new pathway along the eastern edge of the Subject Lands, from the front yard to the main entrance of the Proposed Development.

## Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025 and updated on April 9, 2025  
MM/DD/YYYY

### **Official Plan and Zoning**

Official Plan 2014 (partially approved on November 24, 2017, and updated on April 9, 2018)

The Official Plan designates the Subject Lands “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Under Section 8.2.3 of the Official Plan, infill development refers to “small-scale development within existing residential areas intended to respect and reflect the existing pattern and character of adjacent development [...]”

The Official Plan also contains policies to ensure that the built form of new residential construction will maintain the character of existing neighbourhoods. Section 8.2.3.5 of the Official Plan specifies criteria for the establishment of infill development within “Residential Low Rise” designations, with respect to lot frontage, lot area, heights, massing, scale, setbacks, relationship with existing buildings, etc.

### Zoning By-Law 2024-19

The Subject Lands are zoned “Residential Established Neighbourhood Low Rise” (“RES-ENLR”) under By-law 2024-19, as amended, which permits detached dwellings. The intent of the RES-ENLR zone is to ensure that such infill development generally respects and reflects the existing pattern and character of adjacent development. Accessory buildings or structure are permitted, subject to specific development standards. The Proposed Development does not comply with the By-law with respect to the garden home and accessory building setback and gross floor area.

### **Zoning Preliminary Review (ZPR) Not Undertaken**

The Applicant has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. However, the Applicant has received comments from the Building Department through their permit process (Permit No. 23 149358 HP) to confirm the variances required for the Proposed Development. Building Department staff have confirmed that the requested variances to Sections 4.8.1 (b) and 4.8.1 (d) of By-law 2024-19, as amended, are no longer required due to conflicting provisions with Sections 4.9.10 (d) and 4.9.10 (f), where the Section 4.9.10 requirements take precedence. It must be noted that there remain to be outstanding comments from Zoning Staff for Permit No. 23 149358 HP that the Applicant needs to address. Consequently, it is the Owner’s responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the Proposed Development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

### **COMMENTS**

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;



## Appendix A

- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

File: 24.185575.000.00.MNV

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### **Increase in Garden Home Setback from the Street Lot Line**

The Applicant is requesting relief to permit a garden home to be located no further than 51 metres from a lot line abutting a street, whereas the By-law permits a garden home to be located no further than 30 metres from a lot line abutting a street. This represents an increase of 21 metres, or an increase of 70% of the permitted distance from the street lot line.

Fire and Emergency Services Department have reviewed the application and provided comments that the Proposed Development must be located within 45 metres from the street to the principal entrance, or be fully sprinklered, and that a detailed sprinkler design shall be submitted with the application for building permit for confirmation of compliance with the National Fire Protection Association (NFPA) 13 or 13D requirements. An unobstructed walkway of 1.2 metres in width extending from the curb to the principal entrance of the garden home is also required, and a fire hydrant shall be located within 45 metres of the walkway. Staff note that the intent of the By-law is to ensure that garden homes meet the requirements of the Building and Fire Code regulations.

Should the Committee of Adjustment approve this variance, the Applicant will be required to fully sprinkler the Proposed Development and obtain a building permit, which ensures that the garden home will be in compliance with Building Code and Fire Code regulations. The Owner will also be required to register their garden home with the Fire Department prior to the occupancy of the unit.

### **Increase in Maximum Accessory Building Gross Floor Area**

The Applicant is requesting relief to permit a garden home with a gross floor area ("GFA") of 287.20 m<sup>2</sup> (3,091.40 ft<sup>2</sup>) (54.93 percent of the GFA of the principal dwelling on the same lot), whereas [Section 4.9.10 d\) the By-law](#) requires that a garden home does not exceed the greater of 50% of the GFA of the principal dwelling on the same lot (261.40 m<sup>2</sup> or 2,813.63 ft<sup>2</sup>) or 60 m<sup>2</sup> (645.83 ft<sup>2</sup>). This represents an increase of 9.86% (25.80 m<sup>2</sup> or 277.77 ft<sup>2</sup>) over the maximum permitted GFA of 261.40 m<sup>2</sup> and a 379% percent increase over the alternate permitted GFA of 60 m<sup>2</sup> for garden homes under the By-law.

While the By-law interpretation for the permitted GFA of a garden home is the greater numerical value of 50% of the GFA of the principal dwelling or 60 m<sup>2</sup>, Staff are of the opinion that the intent of the By-law is to permit modest sized garden homes that do not exceed half the size of an average-sized principal dwelling. Staff note that the size of the Proposed Development is comparable to a typical two-storey (principal) dwelling in Markham, which is not in keeping with the intent of the By-law. Furthermore, records indicate that no other accessory building or garden home within the immediate vicinity have been the subject of an increase in GFA of this scale.

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Staff are concerned that approval of the requested minor variance would set a precedent for similarly sized garden homes to be approved through the approval process. As such, Staff are of the opinion that the Proposed Development does not meet the general intent of the Zoning By-law and that the Proposed Development should be evaluated and dealt with by Council through a Zoning By-law Amendment application.

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of January 28, 2025. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

### **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that variance a) meets the four tests of the *Planning Act*. Staff have no objection to the approval of this variance subject to conditions provided in Appendix "C".

Staff are of the opinion that variance b) related to the proposed GFA of the Proposed Development does not maintain the intent of the By-law. Should this GFA variance be denied, the Applicant will be required to reduce the size of the Proposed Development to be in compliance with the By-law.

The onus is ultimately on the Applicant to demonstrate why they should be granted relief from the requirements of the Zoning By-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

PREPARED BY:



Barton Leung, Senior Planner, Central District

REVIEWED BY:



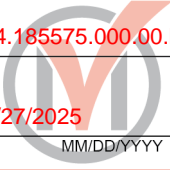
Melissa Leung, RPP, MCIP, Senior Planner, Central District

**LIST OF APPENDICES**  
Appendix "A" – Aerial Photo  
Appendix "B" – Plans  
Appendix "C" – Conditions

**Appendix A**

File: 24.185575.000.00.MNV

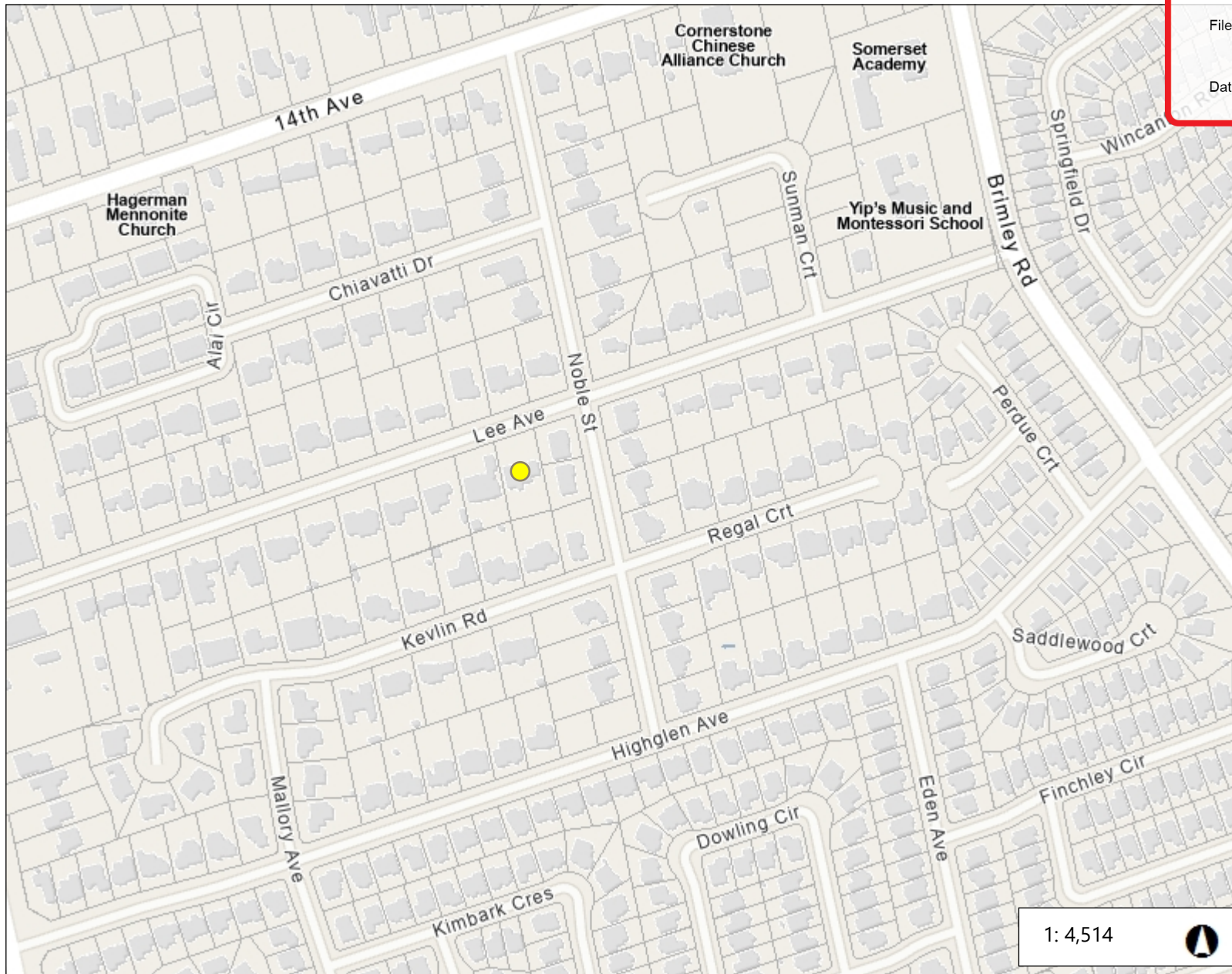
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MM/DD/YYYY



# Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



### Legend

● Subject Lands (59 Lee Avenue)

1:4,514



229.3 0 114.66 229.3 Meters

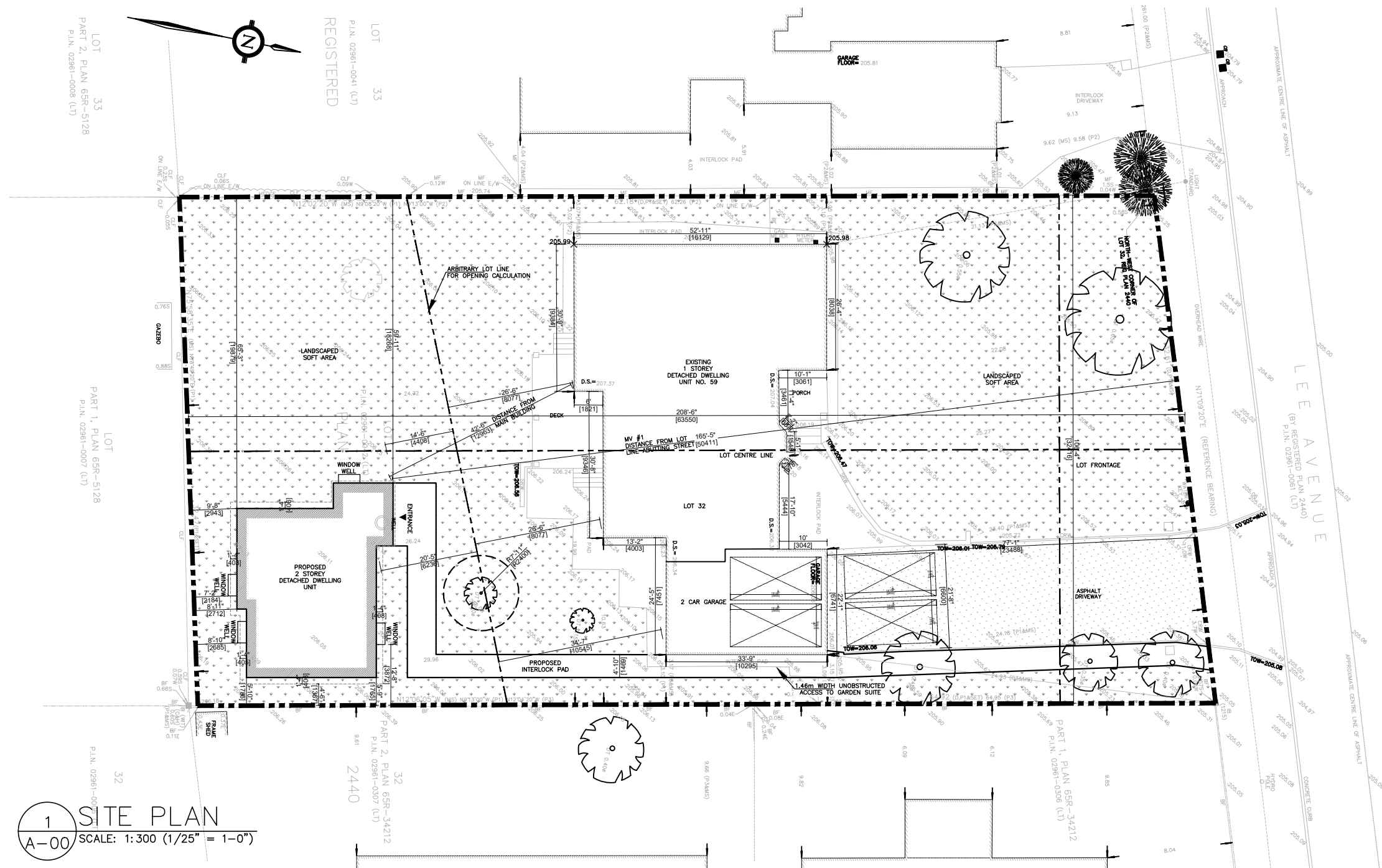
Notes



# Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



**1 SITE PLAN**  
A-00 SCALE: 1:300 (1/25" = 1-0")

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023
NO.	ISSUED FOR	DATE

ZONING BY-LAW MATRIX (GARDEN HOME)			
ADDRESS: 59 LEE AVE, MARKHAM, ON L3R8G4			
ZONING: RESIDENTIAL - ENSTABLISHED NEIGHBOURHOOD LOW RISE (RES-ENLR)			
ZONE STANDARD	REQUIRED	PROPOSED	BY - LAW
LOT AREA(MIN.)	-	2060.05m <sup>2</sup>	-
LOT FRONTAGE(MIN.)	THE GREATER OF 23.0 METERS OR THE AVERAGE LOT FRONTAGE OF THE TWO NEIGHBOURING LOTS	32.41m	BY-LAW 2024-19: 6.3.2.2
LOT DEPTH(MIN.)	THE GREATER OF 30.0 METERS OR THE AVERAGE LOT DEPTH OF THE TWO NEIGHBOURING LOTS	63.55m	BY-LAW 2024-19: 6.3.2.2
LOT COVERAGE(MAX.)	35% (721.01m <sup>2</sup> )	20.84% (429.43m <sup>2</sup> )	BY-LAW 2024-19: 6.3.2.2
ACCESSORY BUILDING COVERAGE(MAX.)	5% (103.00m <sup>2</sup> )	4.94% (101.90m <sup>2</sup> )	BY-LAW 193-81: 6.1.1.i
GROSS FLOOR AREA OF ACCESSORY BUILDING(MAX.)	20m <sup>2</sup>	287.20m <sup>2</sup>	BY-LAW 2024-19: 4.8.1 (b)
GROSS FLOOR AREA OF GARDEN HOME(MAX.)	50% OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	287.20m <sup>2</sup> (54.93%)	BY-LAW 2024-19: 4.9.10 (d)
NUMBER OF ACCESSORY BUILDINGS OR STRUCTURES (MAX.)	2	1	BY-LAW 2024-19: 4.8.1 (c)

SETBACK FOR AN ACCESSORY BUILDING FROM ANY OTHER BUILDING / STRUCTURE (MIN.)	1.8m	12.96m	BY-LAW 2024-19: 4.8.1 (c)
DISTANCE OF GARDEN HOME FROM THE MAIN BUILDING(MIN.)	6m	12.96m	BY-LAW 2024-19: 4.9.10
DISTANCE OF GARDEN HOME FROM THE LOT LINE ABUTTING A STREET(MAX.)	30m	50.41m	BY-LAW 2024-19: 4.9.10 (g)
WIDTH OF THE UNOBSTRUCTED PATH OF TRAVEL FROM THE STREET TO GARDEN HOME	1.2m	1.46m	BY-LAW 2024-19: 4.9.10
EAST SIDE YARD SETBACK	1.2m	1.76m	BY-LAW 2024-19: 4.9.10
WEST SIDE YARD SETBACK	1.2m	18.26m	BY-LAW 2024-19: 4.9.10
REAR YARD SETBACK	1.2m	2.71m	BY-LAW 2024-19: 4.9.10
ACCESSORY BUILDING /STRUCTURE HEIGHT (MAX.) MEASURE FROM AVERAGE GRADE	3.0m	4.09m	BY-LAW 2024-19: 4.8.1 (d)
ACCESSORY BUILDING /STRUCTURE HEIGHT (MAX.) MEASURE FROM ESTABLISHED GRADE	4.5m	4.71m	BY-LAW 193-81, SECTION 6.1(iv)
GARDEN HOME HEIGHT (MAX.) MEASURE FROM AVERAGE GRADE	4.5m	4.09m	BY-LAW 2024-19: 4.9.10 (f)
PARKING SPACES (MIN.)	3	4	BY-LAW 2024-19: 5.3.7

MINOR VARIANCE					
	ZONE STANDARD	REQUIRED	PROPOSED	BY - LAW	M.V. REQUIRED
1	FRONT YARD SETBACK - DISTANCE OF GARDEN HOME FROM THE LOT LINE ABUTTING A STREET	30m MAX.	50.41m	BY-LAW 2024-19: 4.9.10 (g)	YES
2	GFA - 20m <sup>2</sup> IF THE LOT AREA IS GREATER THAN 500m <sup>2</sup> AND LESS THAN 4000m <sup>2</sup>	20m <sup>2</sup> MAX.	287.20m <sup>2</sup> (54.93%)	BY-LAW 2024-19: 4.8.1 (b)	YES
3	GFA - 50% OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	50% @ 522.79m <sup>2</sup> = 261.39m <sup>2</sup> MAX.	287.20m <sup>2</sup> (54.93%)	BY-LAW 2024-19: 4.9.10 (d)	YES
4	HEIGHT - ACCESSORY BUILDING / STRUCTURE HEIGHT MEASURE FROM AVERAGE GRADE	3.0m MAX.	4.09m	BY-LAW 2024-19: 4.8.1 (d)	YES
5	HEIGHT - ACCESSORY BUILDING / STRUCTURE HEIGHT MEASURE FROM ESTABLISHED GRADE	4.5m MAX.	4.71m	BY-LAW 193-81, SECTION 6.1(iv)	YES

FLOOR AREA CALCULATION (MAIN BUILDING)		FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	253.15m <sup>2</sup> (2724.94ft <sup>2</sup> )	BASEMENT FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
FIRST FLOOR AREA	327.54m <sup>2</sup> (3525.67ft <sup>2</sup> )	FIRST FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
GARAGE	-57.90m <sup>2</sup> (-623.25ft <sup>2</sup> )	SECOND FLOOR AREA	83.39m <sup>2</sup> (897.62ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	522.79m <sup>2</sup> (5627.36ft <sup>2</sup> )	TOTAL GFA (GROSS FLOOR AREA)	287.20m <sup>2</sup> (3091.46ft <sup>2</sup> )

LEGEND	
	PROPERTY LINE
	ASPHALT DRIVEWAY
	LANDSCAPED SOFT AREA
	BUILDING ENTRANCE/EXIT

**DO NOT SCALE DRAWINGS.**  
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts. and must not be reproduced with out written consent.

PREPARED BY:

**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:

**59 LEE AVE, MARKHAM, ON L3R 8G4**

PROJECT NAME:

**PROPOSED 2 STOREY GARDEN HOME**

DRAWING TITLE:

**SITE PLAN**

SCALE AS INDICATED  
DRAWN BY:  
CHECKED BY: S.K.

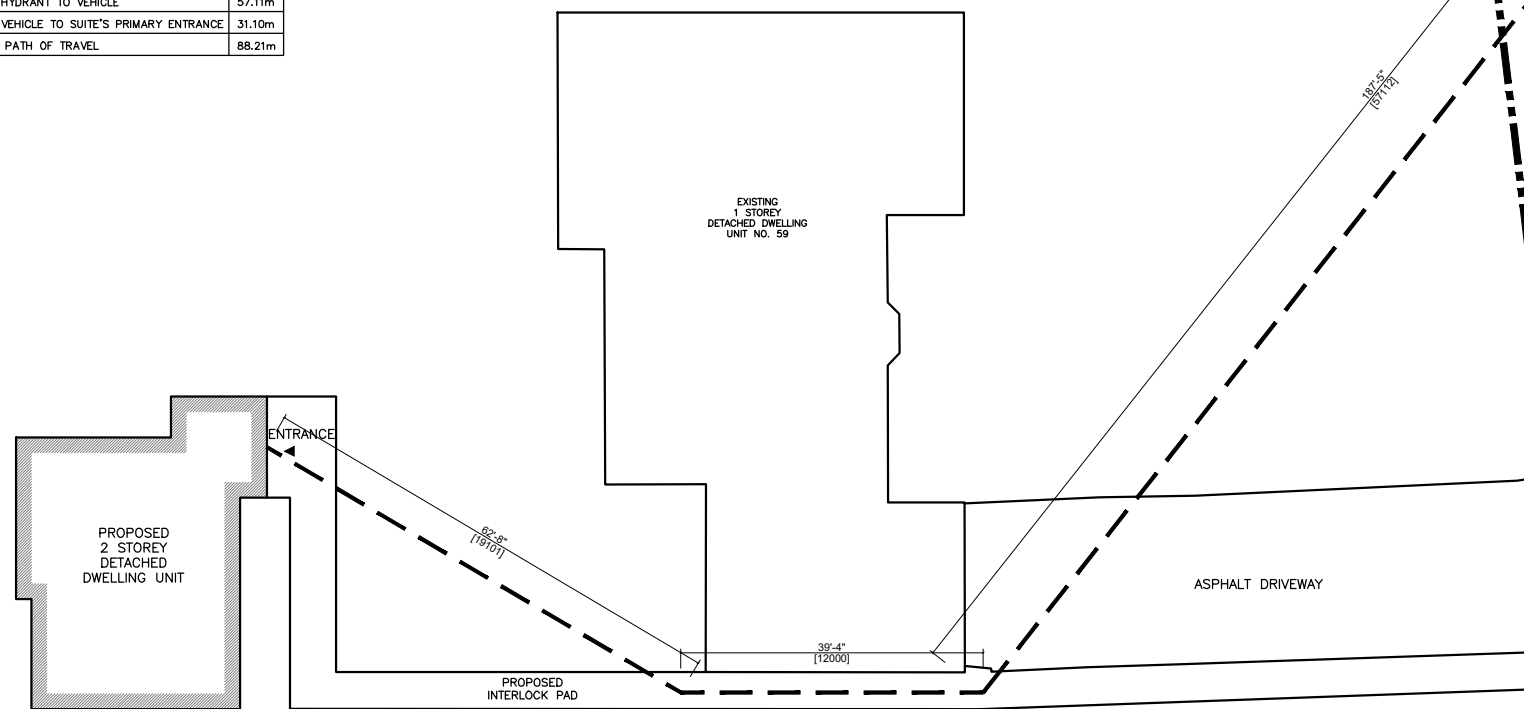
DWG. NO.  
**A-00**

# Appendix A

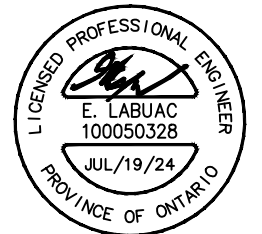
File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

PATH OF TRAVEL	
FROM HYDRANT TO VEHICLE	57.11m
FROM VEHICLE TO SUITE'S PRIMARY ENTRANCE	31.10m
TOTAL PATH OF TRAVEL	88.21m



NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023



PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**CONCEPT PLAN -  
PATH OF TRAVEL**

SCALE AS INDICATED  
DRAWN BY:  
CHECKED BY: S.K.

DWG. NO.  
**A-00b**

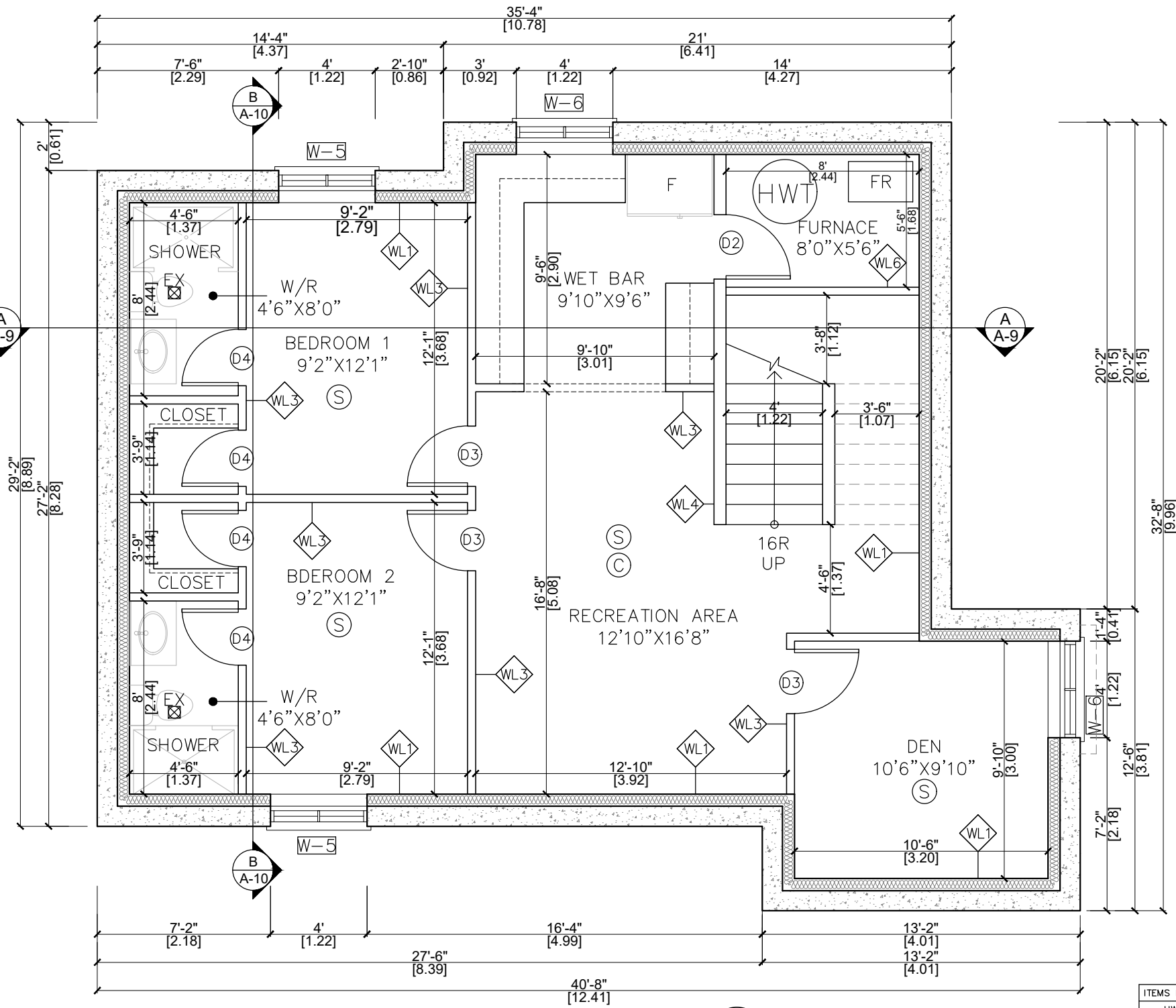
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The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.  
All drawings are the property of Land & Building Experts. and must not be reproduced with out written consent.

WALL SCHEDULE	
FW	<b>FOUNDATION WALL (TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
WL1	<b>FOUNDATION WALL (TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"x4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
WL2	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY
WL3	<b>INTERIOR WALL 1 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"x4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
WL4	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
WL5	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
WL6	<b>45 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"x4")WOOD STUDS @ 400mm O.C.

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
FIRST FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
SECOND FLOOR AREA	83.39m <sup>2</sup> (897.62ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	287.20m <sup>2</sup> (3091.46ft <sup>2</sup> )

ROOM SIZES OBC (SECTION 9) 9.5.4.1 TO 9.5.7.4			
	AREA REQ.		
	SEPARATE ROOMS	COMBINATION WITH OTHER SPACES	PROPOSED
BEDROOM 1 7.1	7 m <sup>2</sup>	6 m <sup>2</sup> w/ closet	10.28 m <sup>2</sup> (110.74 ft <sup>2</sup> )
BEDROOM 2 7.1	7 m <sup>2</sup>	6 m <sup>2</sup> w/ closet	10.28 m <sup>2</sup> (110.74 ft <sup>2</sup> )

WINDOW SIZES OBC (SECTION 9) 9.7.2.3.			
	ROOM AREA	WINDOW AREA REQ.	AREA PROPOSED
BEDROOM 1	10.28 m <sup>2</sup> (110.74 ft <sup>2</sup> )	5% (5.53 ft <sup>2</sup> )	12 ft <sup>2</sup>
BEDROOM 2	10.28 m <sup>2</sup> (110.74 ft <sup>2</sup> )	5% (5.53 ft <sup>2</sup> )	12 ft <sup>2</sup>



**1 BASEMENT FLOOR PLAN**  
 A-01 SCALE - 3/16" = 1'-0" (1:64)

DOOR SCHEDULE			
NO.	SIZE	NOs.	REMARKS
D1	40" X 84"	1	EXTERIOR
D2	32" X 84"	1	INTERIOR (45min FRR)
D3	30" X 84"	5	INTERIOR
D4	28" X 84"	7	INTERIOR
D5	2 X 26" X 84"	2	INTERIOR - DOUBLE DOOR
D6	30" X 80"	3	INTERIOR
D7	28" X 80"	4	INTERIOR

WINDOW SCHEDULE			
NO.	SIZE	NOs.	REMARKS
W1	70" X 179"	1	INSULATED GLASS
W2	60" X 72"	1	INSULATED GLASS
W3	48" X 60"	1	INSULATED GLASS
W4	48" X 50"	2	INSULATED GLASS
W5	48" X 36"	3	INSULATED GLASS
W6	48" X 24"	2	INSULATED GLASS
W7	40" X 55"	1	INSULATED GLASS

ITEMS LEGEND:	
HWT	HOT WATER TANK
FR	FURNACE
EX	EXHAUST FAN
(S)	SMOKE ALARM *INTERCONNECTED ON ALL FLOORS
(C)	CARBON MONOXIDE DETECTOR *INTERCONNECTED ON ALL FLOORS
(SUMP)	SUMP

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Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023
NO.	ISSUED FOR	DATE



PREPARED BY:  
**LAND & BUILDING EXPERTS**  
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
 (647) 340-8649 landbuildexp@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
 MARKHAM, ON L3R 8G4**

DRAWING TITLE:  
**PROPOSED  
 2 STOREY GARDEN HOME**

DRAWING TITLE:	<b>BASEMENT FLOOR PLAN</b>
SCALE AS INDICATED	DWG. NO. <b>A-01</b>
DRAWN BY:	
CHECKED BY: S.K.	

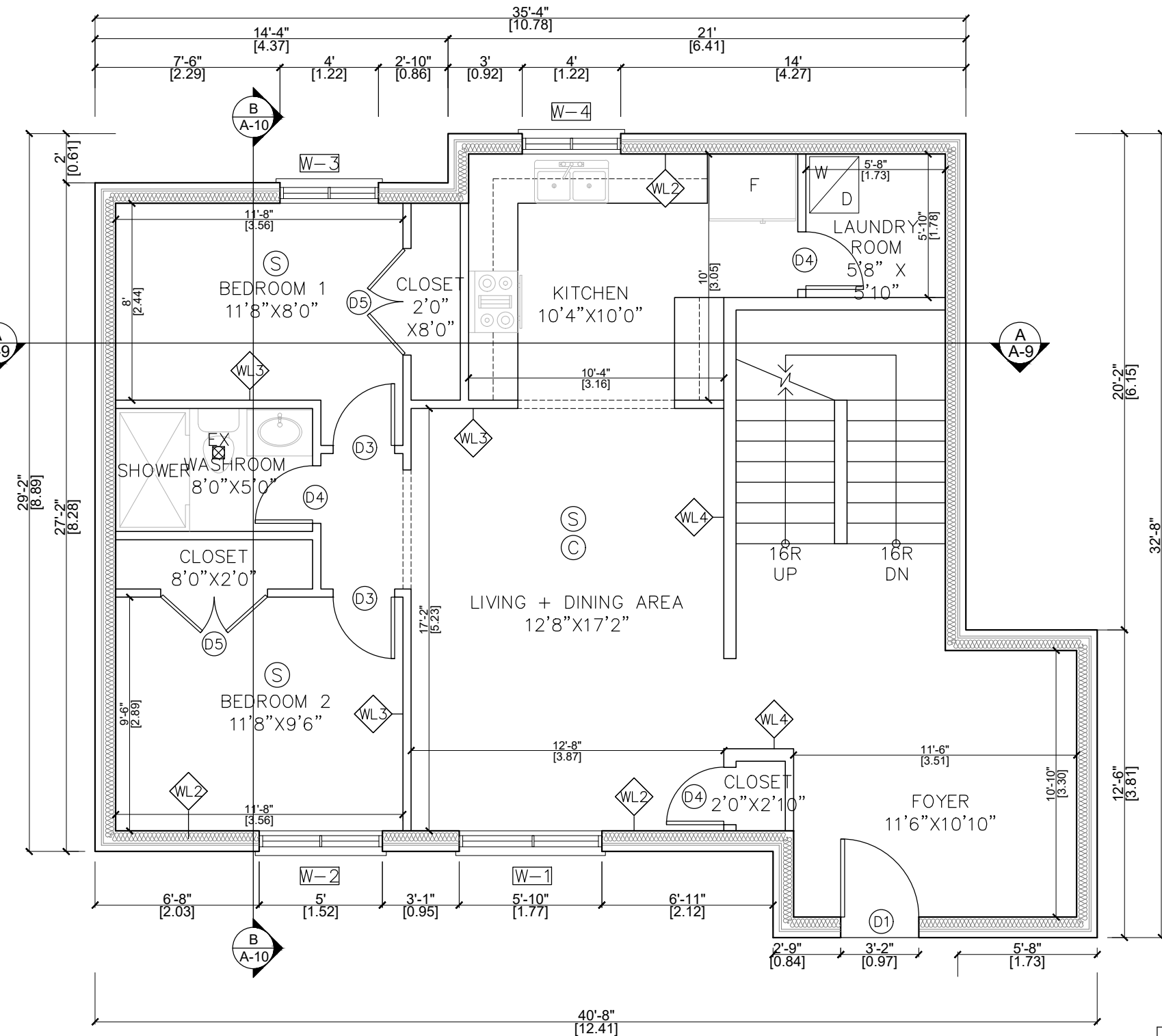


WALL SCHEDULE	
<b>FW</b>	<b>FOUNDATION WALL(TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
<b>WL1</b>	<b>FOUNDATION WALL(TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"X4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
<b>WL2</b>	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY
<b>WL3</b>	<b>INTERIOR WALL 1 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"X4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
<b>WL4</b>	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
<b>WL5</b>	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
<b>WL6</b>	<b>45 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"X4")WOOD STUDS @ 400mm O.C.

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
FIRST FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
SECOND FLOOR AREA	83.39m <sup>2</sup> (897.62ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	287.20m <sup>2</sup> (3091.46ft <sup>2</sup> )

ROOM SIZES OBC (SECTION 9) 9.5.4.1 TO 9.5.7.4				
	AREA REQ.			PROPOSED
	SEPARATE ROOMS	COMBINATION WITH OTHER SPACES		
LIVING ROOM 4.1	13.5 m <sup>2</sup>	13.5 m <sup>2</sup>	16.75 m <sup>2</sup> (180.29 ft <sup>2</sup> )	20.25 m <sup>2</sup> (218.03 ft <sup>2</sup> )
DINNING ROOM 5.1	7 m <sup>2</sup>	3.25 m <sup>2</sup>		
KITCHEN AREA 6.1	4.2 m <sup>2</sup>	4.2 m <sup>2</sup>		11.25 m <sup>2</sup> (121.19 ft <sup>2</sup> )
BEDROOM 1 7.1	7 m <sup>2</sup>	6 m <sup>2</sup> w/ closet		9.23 m <sup>2</sup> (99.43 ft <sup>2</sup> )
BEDROOM 2 7.1	7 m <sup>2</sup>	6 m <sup>2</sup> w/ closet		10.29 m <sup>2</sup> (110.79 ft <sup>2</sup> )

WINDOW SIZES OBC (SECTION 9) 9.7.2.3.			
	ROOM AREA	WINDOW AREA REQ.	AREA PROPOSED
LIVING ROOM	20.25 m <sup>2</sup> (218.03 ft <sup>2</sup> )	10% (21.80 ft <sup>2</sup> )	43.46 ft <sup>2</sup>
DINNING ROOM	7 m <sup>2</sup>		
BEDROOM 1	9.23 m <sup>2</sup> (99.43 ft <sup>2</sup> )	5% (4.97 ft <sup>2</sup> )	20 ft <sup>2</sup>
BEDROOM 2	10.29 m <sup>2</sup> (110.79 ft <sup>2</sup> )	5% (5.53 ft <sup>2</sup> )	30 ft <sup>2</sup>



**1 FIRST FLOOR PLAN**  
SCALE - 3/16" = 1'-0" (1:64)

DOOR SCHEDULE			
NO.	SIZE	NOs.	REMARKS
D1	40" X 84"	1	EXTERIOR
D2	32" X 84"	1	INTERIOR (45min FRR)
D3	30" X 84"	5	INTERIOR
D4	28" X 84"	7	INTERIOR
D5	2 X 26" X 84"	2	INTERIOR - DOUBLE DOOR
D6	30" X 80"	3	INTERIOR
D7	28" X 80"	4	INTERIOR

WINDOW SCHEDULE			
NO.	SIZE	NOs.	REMARKS
W1	70" X 179"	1	INSULATED GLASS
W2	60" X 72"	1	INSULATED GLASS
W3	48" X 60"	1	INSULATED GLASS
W4	48" X 50"	2	INSULATED GLASS
W5	48" X 36"	3	INSULATED GLASS
W6	48" X 24"	2	INSULATED GLASS
W7	40" X 55"	1	INSULATED GLASS

ITEMS LEGEND:	
HWT	HOT WATER TANK
FR	FURNACE
EX	EXHAUST FAN
(S)	SMOKE ALARM *INTERCONNECTED ON ALL FLOORS
(C)	CARBON MONOXIDE DETECTOR *INTERCONNECTED ON ALL FLOORS
(SUMP)	SUMP

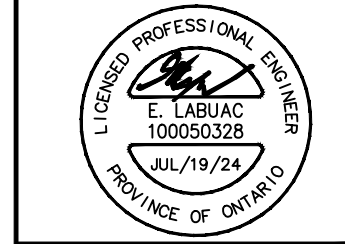
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## Appendix A

File: **24.185575.000.00.MNV**

Date: **3/27/2025**  
MM/DD/YYYY

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
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3	FOR BUILDING PERMIT	02/09/2024
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1	CLIENT REVIEW	09/20/2023
NO.	ISSUED FOR	DATE



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570 Alden Rd., Unit 6, Markham, ON L3R 8N5  
(647) 340-8649 landbuildexp@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**FIRST FLOOR PLAN**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A-02</b>
CHECKED BY: S.K.	

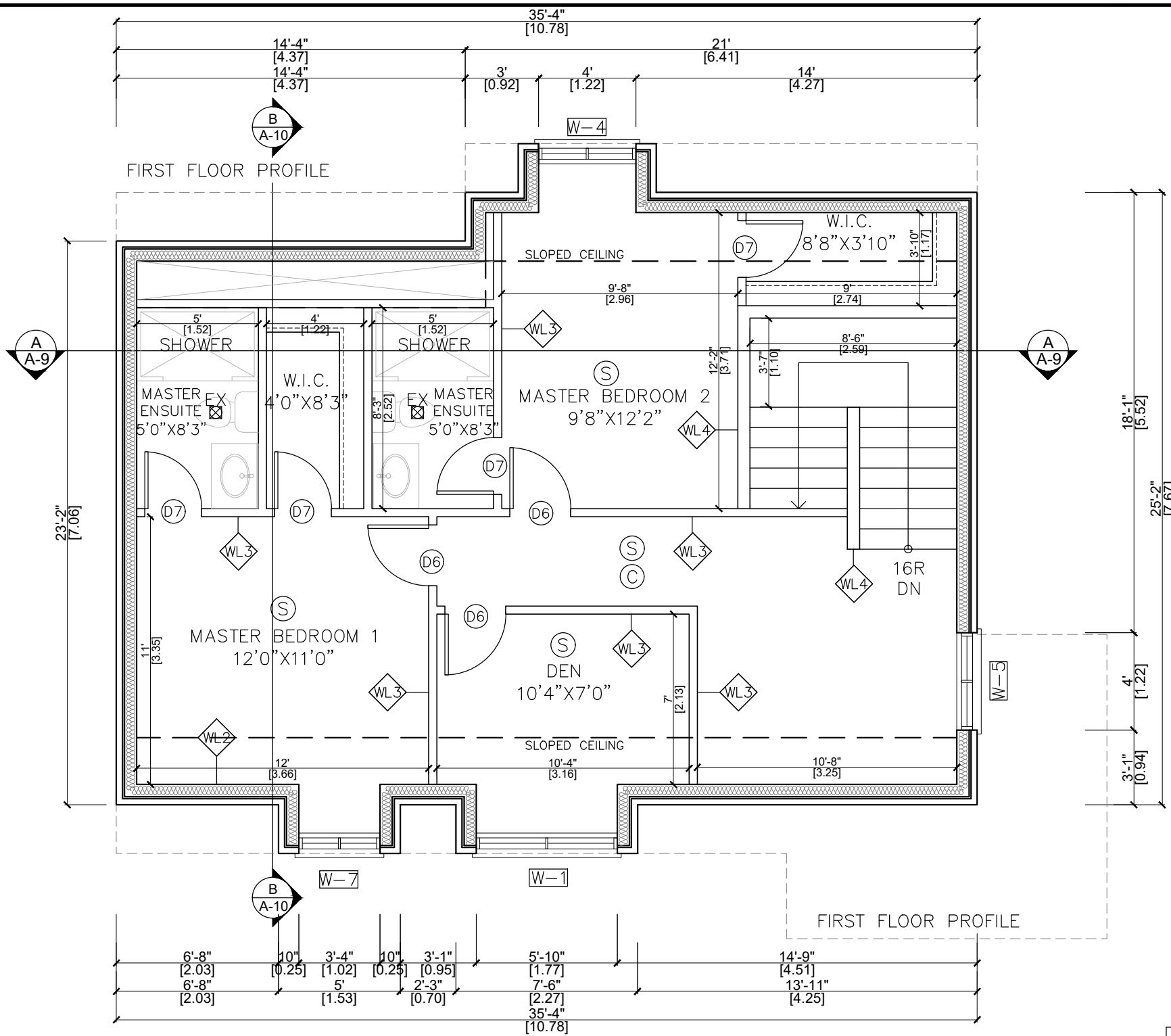


WALL SCHEDULE	
FW	<b>FOUNDATION WALL (TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
WL1	<b>FOUNDATION WALL (TYP)</b> -BITUMINOUS DAMP PROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"X4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
WL2	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) - $\frac{3}{8}$ " DENS GLASS SHEATHING -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER - $\frac{5}{8}$ " TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY
WL3	<b>INTERIOR WALL 1 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"X4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
WL4	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
WL5	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
WL6	<b>45 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"X4")WOOD STUDS @ 400mm O.C.

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
FIRST FLOOR AREA	101.90m <sup>2</sup> (1096.92ft <sup>2</sup> )
SECOND FLOOR AREA	83.39m <sup>2</sup> (897.62ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	287.20m <sup>2</sup> (3091.46ft <sup>2</sup> )

ROOM SIZES OBC (SECTION 9) 9.5.4.1 TO 9.5.7.4			
	AREA REQ.		PROPOSED
	SEPARATE ROOMS	COMBINATION WITH OTHER SPACES	
MASTER BEDROOM 1 7.2	9.8 m <sup>2</sup>	8.8 m <sup>2</sup> w/ closet	12.88 m <sup>2</sup> (138.67 ft <sup>2</sup> )
MASTER BEDROOM 2 7.2	9.8 m <sup>2</sup>	8.8 m <sup>2</sup> w/ closet	11.71 m <sup>2</sup> (126.02 ft <sup>2</sup> )

WINDOW SIZES OBC (SECTION 9) 9.7.2.3.			
	ROOM AREA	WINDOW AREA REQ.	AREA PROPOSED
MASTER BEDROOM 1	12.88 m <sup>2</sup> (138.67 ft <sup>2</sup> )	5% (6.93 ft <sup>2</sup> )	15.27 ft <sup>2</sup>
MASTER BEDROOM 2	11.71 m <sup>2</sup> (126.02 ft <sup>2</sup> )	5% (6.30 ft <sup>2</sup> )	16.66 ft <sup>2</sup>



1 SECOND FLOOR PLAN  
A-03 SCALE - 3/16" = 1'-0" (1:64)

DOOR SCHEDULE			
NO.	SIZE	NOs.	REMARKS
D1	40" X 84"	1	EXTERIOR
D2	32" X 84"	1	INTERIOR (45min FRR)
D3	30" X 84"	5	INTERIOR
D4	28" X 84"	7	INTERIOR
D5	2 X 26" X 84"	2	INTERIOR - DOUBLE DOOR
D6	30" X 80"	3	INTERIOR
D7	28" X 80"	4	INTERIOR

WINDOW SCHEDULE			
NO.	SIZE	NOs.	REMARKS
W1	70" X 179"	1	INSULATED GLASS
W2	60" X 72"	1	INSULATED GLASS
W3	48" X 60"	1	INSULATED GLASS
W4	48" X 50"	2	INSULATED GLASS
W5	48" X 36"	3	INSULATED GLASS
W6	48" X 24"	2	INSULATED GLASS
W7	40" X 55"	1	INSULATED GLASS

ITEMS LEGEND:	
HWT	HOT WATER TANK
FR	FURNACE
EX	EXHAUST FAN
(S)	SMOKE ALARM *INTERCONNECTED ON ALL FLOORS
(C)	CARBON MONOXIDE DETECTOR *INTERCONNECTED ON ALL FLOORS
(SUMP)	SUMP

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## Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023
NO.	ISSUED FOR	DATE



PREPARED BY:  
**LAND & BUILDING EXPERTS**  
 570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
 (647) 340-8649 landbuildexp@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
 MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
 2 STOREY GARDEN HOME**

DRAWING TITLE:  
**SECOND FLOOR PLAN**

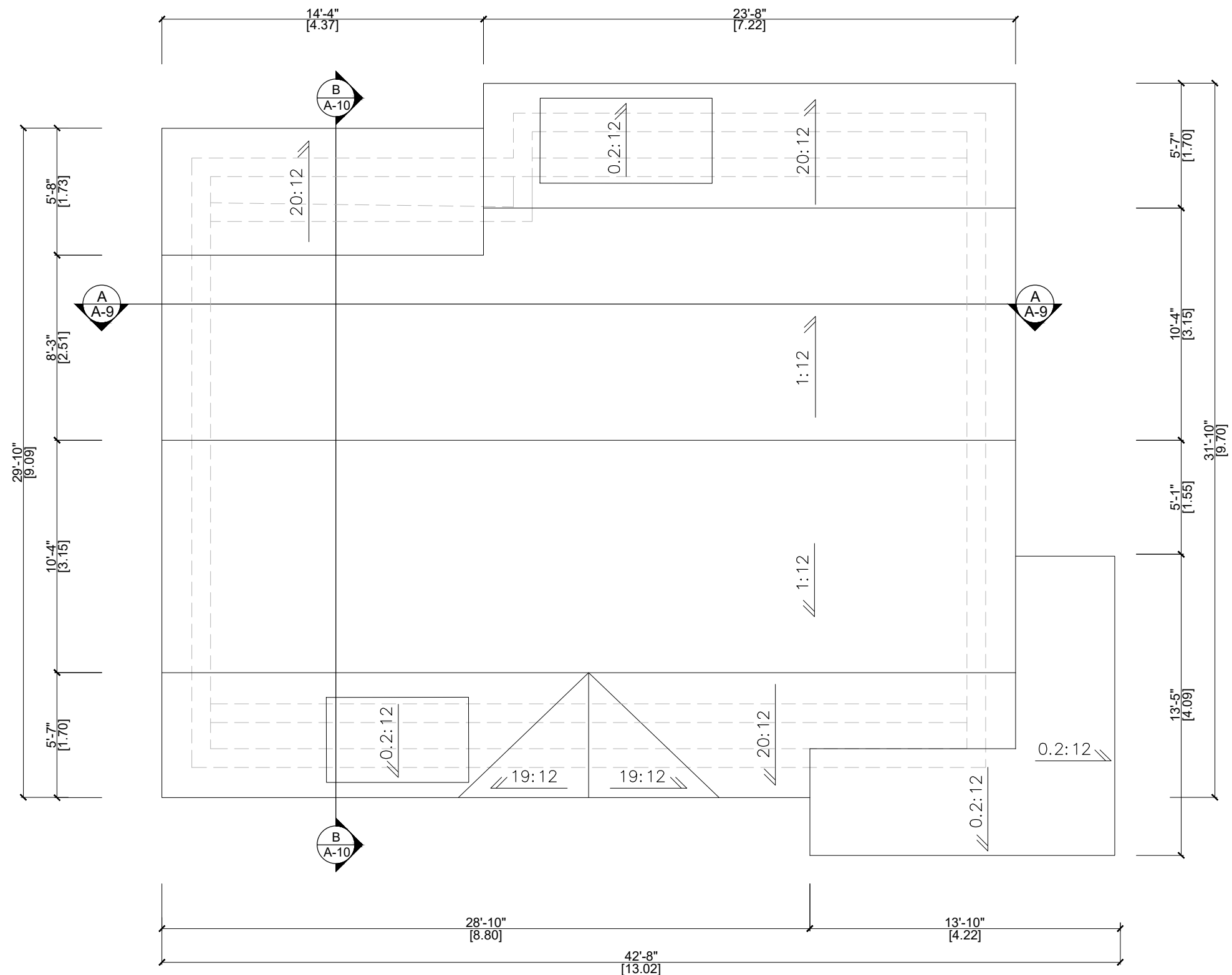
SCALE AS INDICATED  
 DRAWN BY:  
 CHECKED BY: S.K.

DWG. NO.  
**A-03**

# Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 ROOF PLAN  
A-04 SCALE - 3/16" = 1'-0" (1:64)

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NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023



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PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**ROOF PLAN**

SCALE AS INDICATED  
DRAWN BY:  
CHECKED BY: S.K.

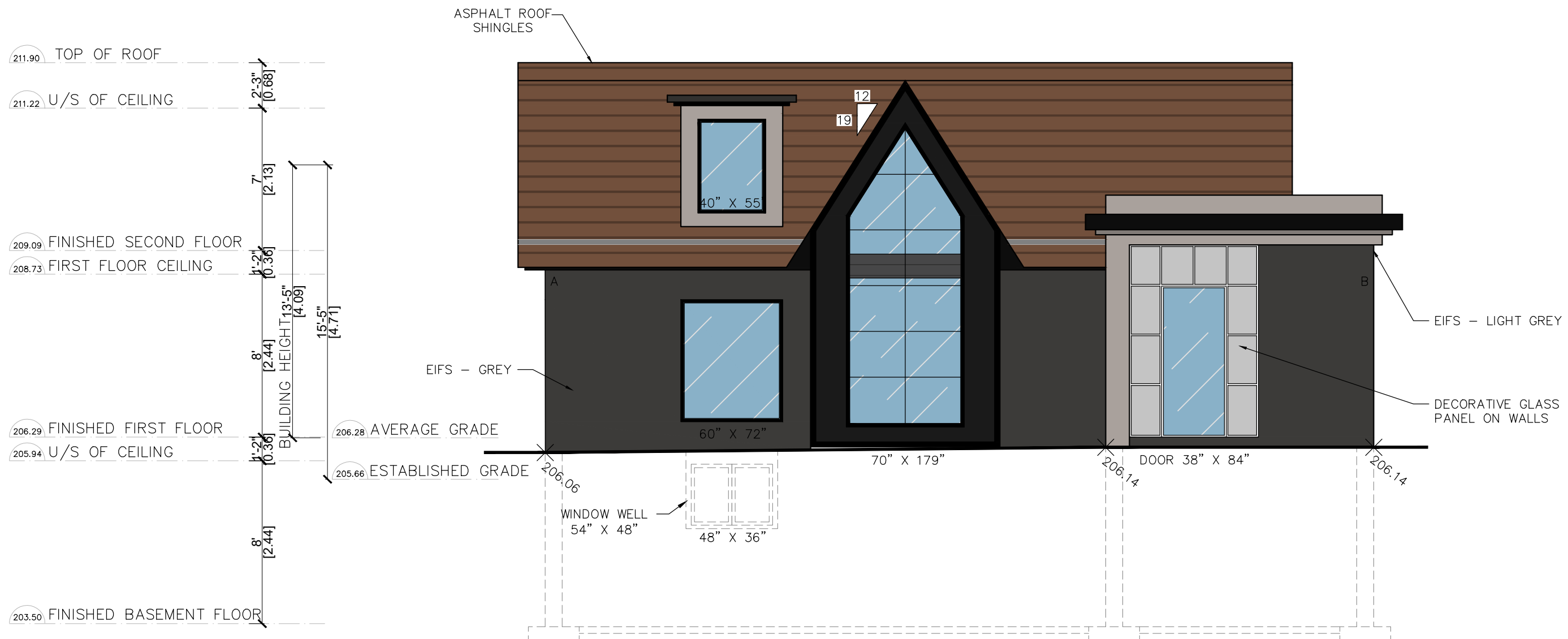
DWG. NO.  
**A-04**

# Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4				
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED
FRONT (NORTH SIDE) FACE A	48.82 m <sup>2</sup> (525.53 ft <sup>2</sup> )	6.23 m	34% (16.59m <sup>2</sup> )	22.59% (11.03m <sup>2</sup> )
FRONT (NORTH SIDE) FACE B	60.98 m <sup>2</sup> (656.42 ft <sup>2</sup> )	4.40 m	18% (2.18m <sup>2</sup> )	16.85% (2.05m <sup>2</sup> )



1 FRONT ELEVATION (NORTH)  
A-05 SCALE - 3/16" = 1'-0" (1:64)

NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023



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PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**FRONT ELEVATION**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-05
CHECKED BY: S.K.	

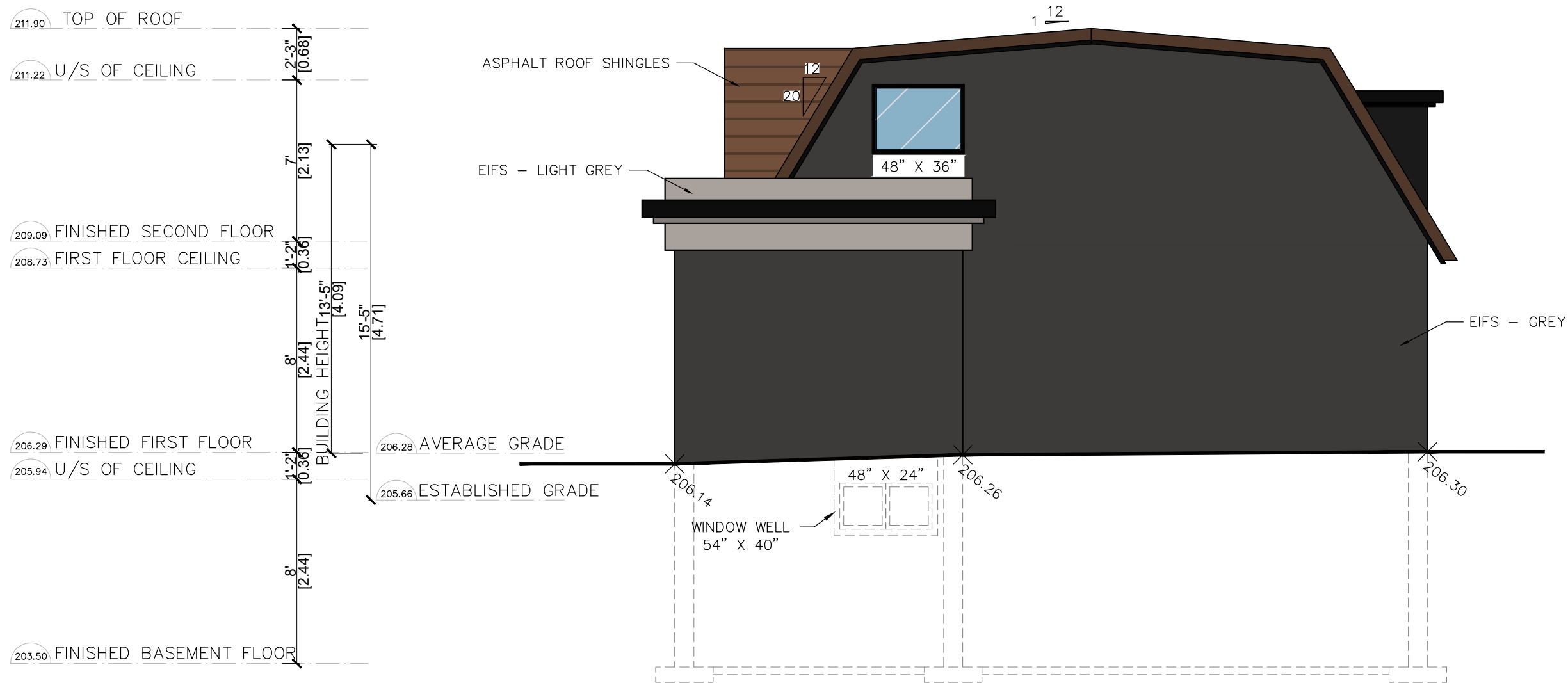
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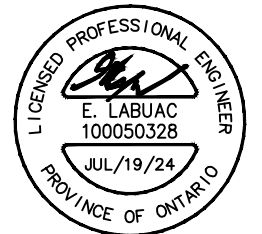
Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4				
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED
SIDE (WEST SIDE)	44.36 m <sup>2</sup> (477.58 ft <sup>2</sup> )	18.26 m	100% (44.36m <sup>2</sup> )	2.50% (1.11m <sup>2</sup> )



1 SIDE ELEVATION (WEST)  
A-06 SCALE - 3/16" = 1'-0" (1:64)

NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023



PREPARED BY:  
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(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**WEST ELEVATION**

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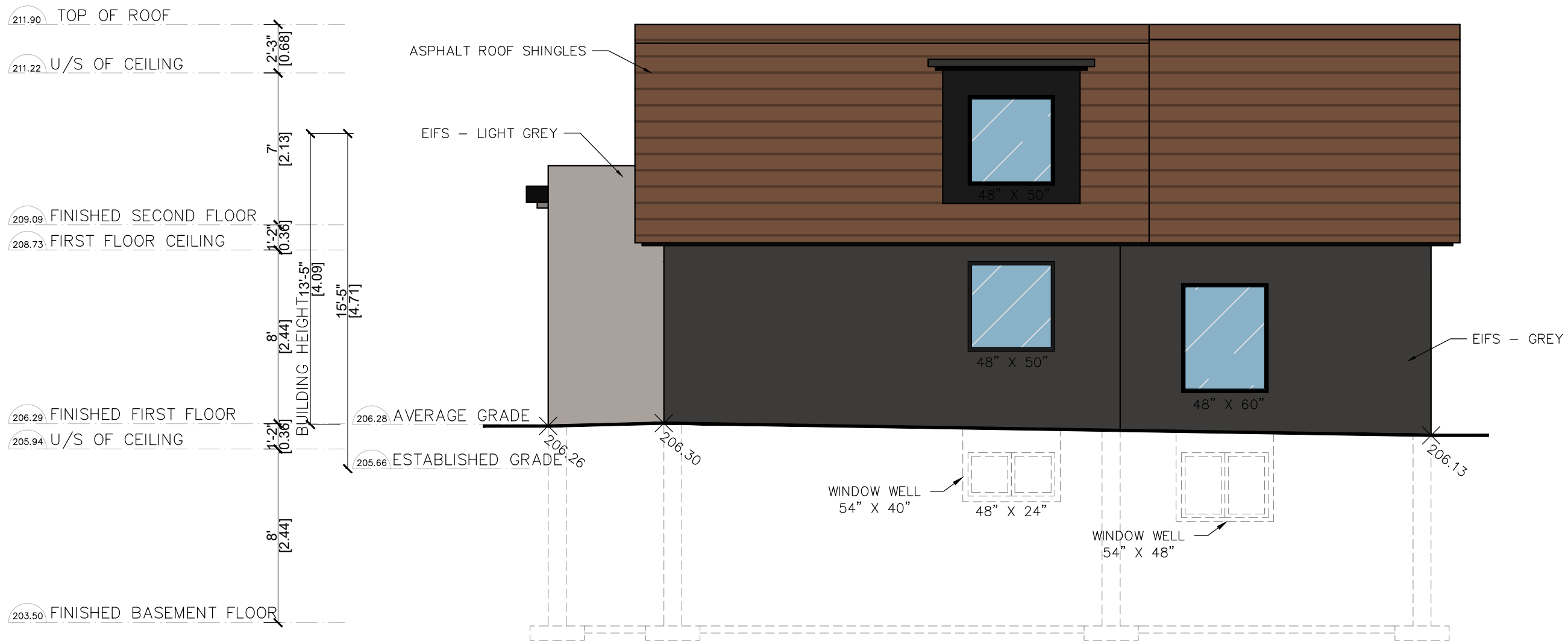
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-06
CHECKED BY: S.K.	

# Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4				
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED
REAR (SOUTH SIDE)	53.93 m <sup>2</sup> (580.55 ft <sup>2</sup> )	2.71 m	11% (5.93m <sup>2</sup> )	9.17% (4.95m <sup>2</sup> )



1 REAR ELEVATION (SOUTH)  
A-07 SCALE - 3/16" = 1'-0" (1:64)

NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023



PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**REAR ELEVATION**

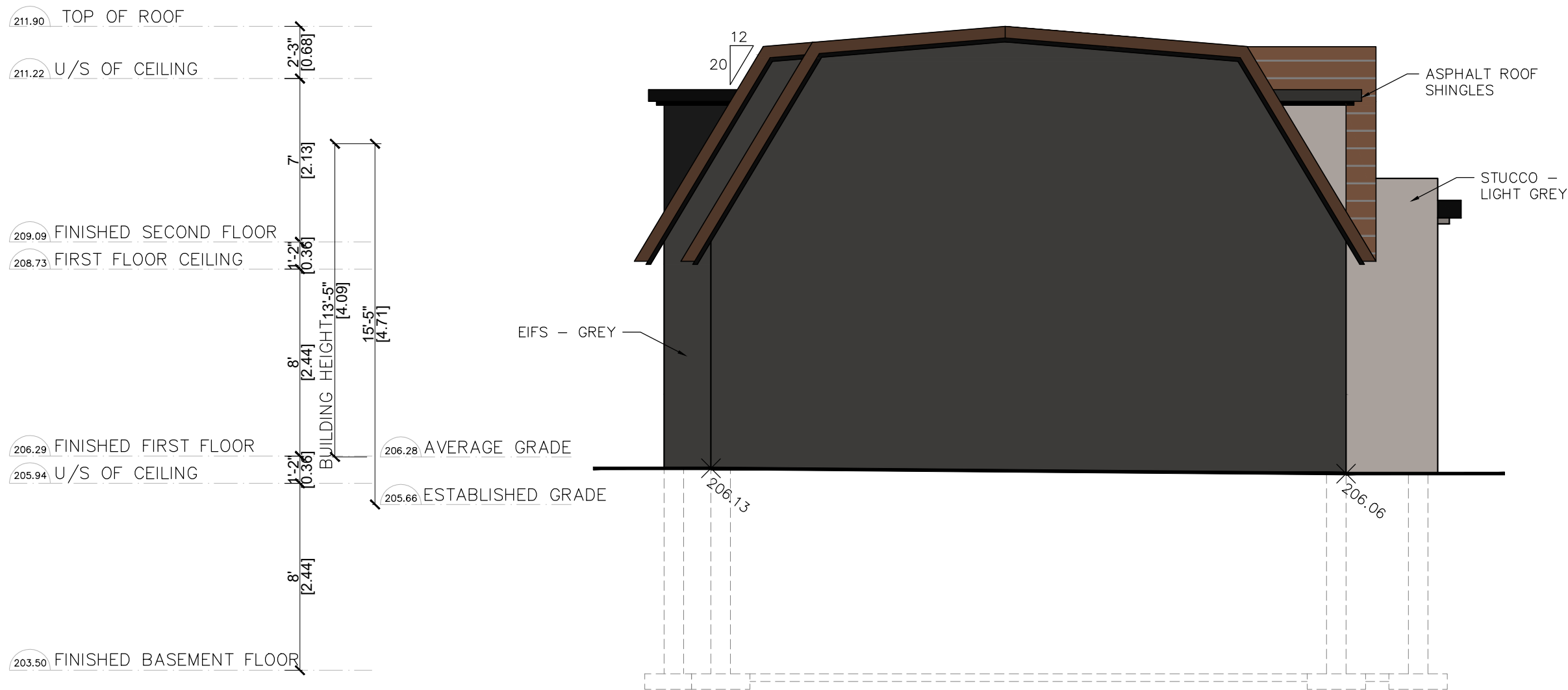
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-07
CHECKED BY: S.K.	

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# Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 EAST ELEVATION  
A-08 SCALE - 3/16" = 1'-0" (1:64)

NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
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DRAWING TITLE:  
**EAST ELEVATION**

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CHECKED BY: S.K.	



# Appendix A

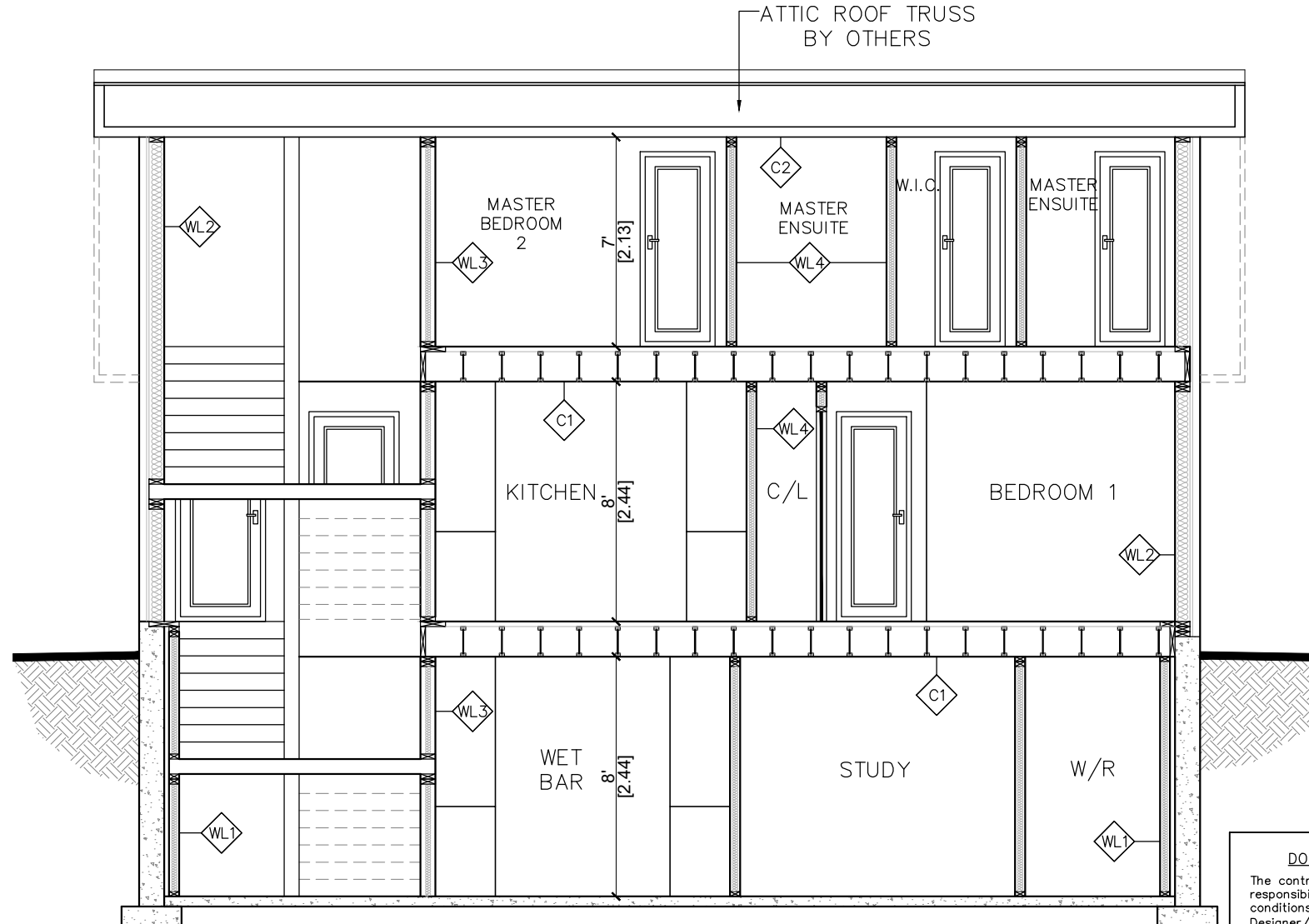
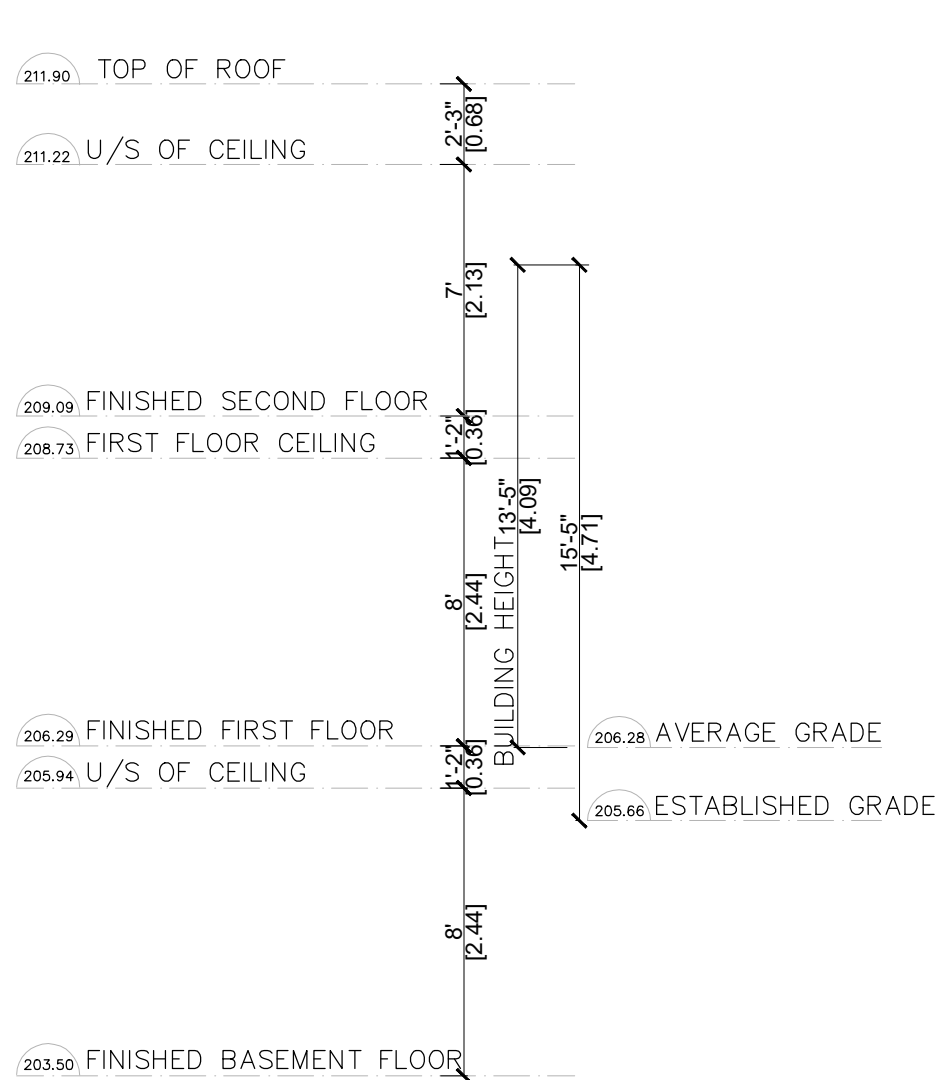
File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

WALL SCHEDULE	
FW	<b>FOUNDATION WALL (TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
WL1	<b>FOUNDATION WALL (TYP)</b> -BITUMINOUS DAMP PROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"x4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
WL2	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY

WALL SCHEDULE	
WL3	<b>INTERIOR WALL 1 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"x4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
WL4	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
WLS	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
WLG	<b>30 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"x4")WOOD STUDS @ 400mm O.C.

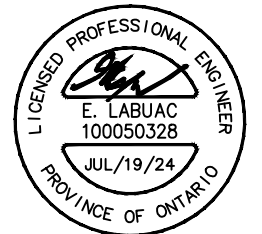
CEILING SCHEDULE	
C1	<b>BASEMENT AND FIRST FLOOR CEILING</b> -FLOOR FINISH -15.5mm T&G PLYWOOD SUBFLOOR -FLOOR JOIST @ 400mm O.C. 12.7mm GYPSUM WALLBOARD
C2	<b>SECOND FLOOR CEILING</b> -12.7mm EXT. TYPE PLYWOOD ON APPROVED ROOF TRUSSES @ 610mm O.C. R60 FIBER GLASS INSULATION -12.7mm GYPSUM WALLBOARD



1 SECTION A-A  
SCALE - 3/16" = 1'-0" (1:64)

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PROJECT NAME:  
**PROPOSED  
 2 STOREY GARDEN HOME**

DRAWING TITLE:  
**SECTION A - A**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A-09
CHECKED BY: S.K.	

# Appendix A

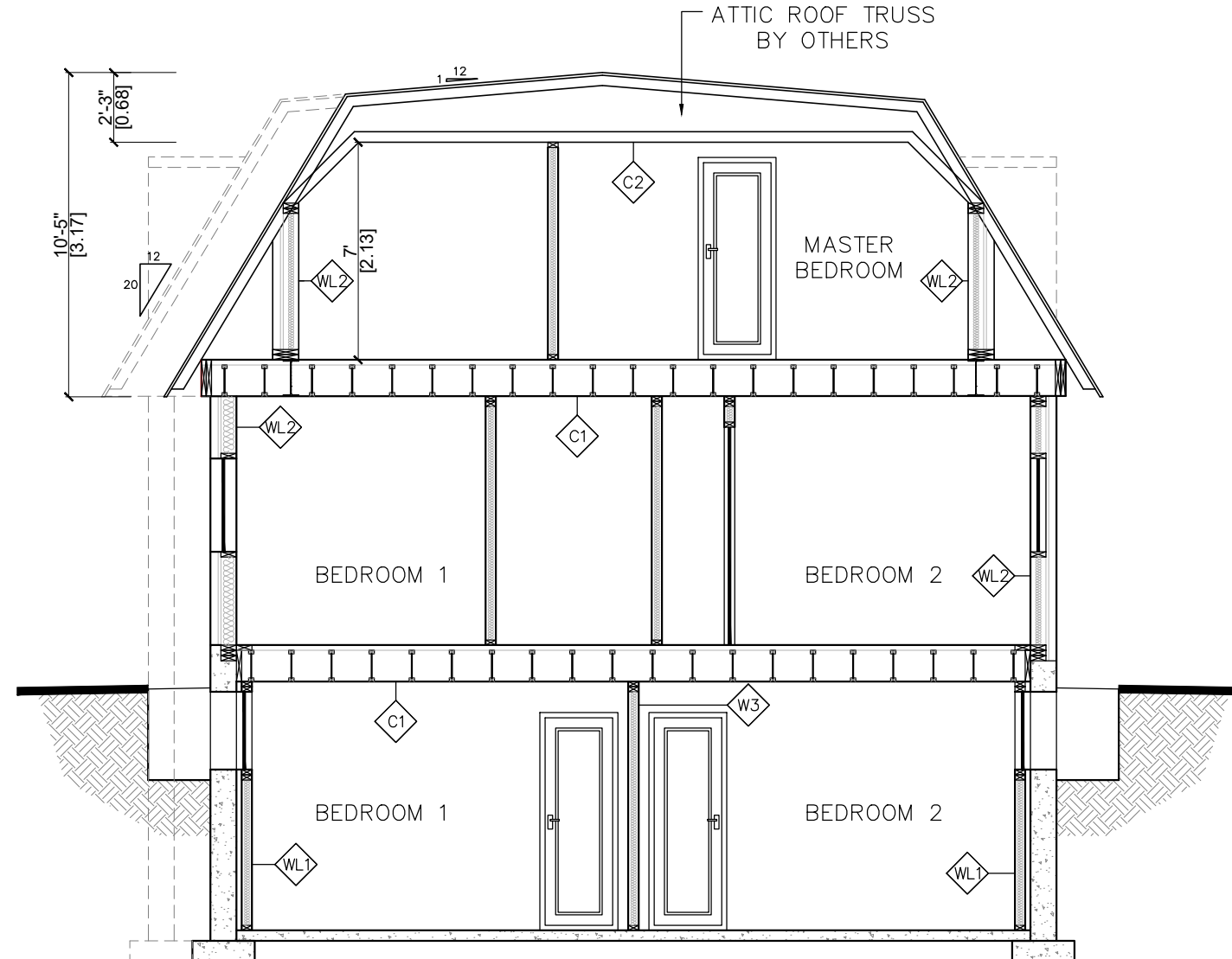
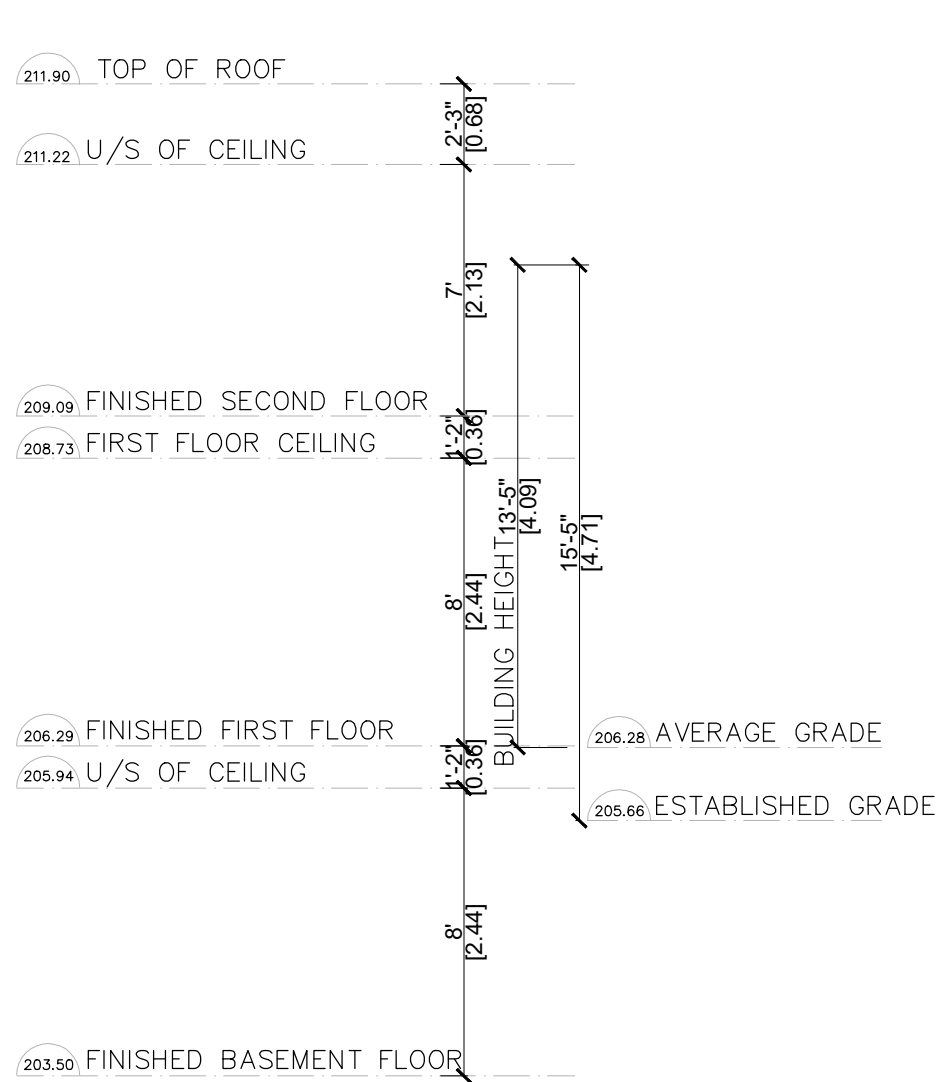
File: **24.185575.000.00.MNV**

Date: **3/27/2025**  
MM/DD/YYYY

WALL SCHEDULE	
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WL2	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY

WALL SCHEDULE	
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WL4	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
WL5	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"x6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
WL6	<b>30 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"x4")WOOD STUDS @ 400mm O.C.

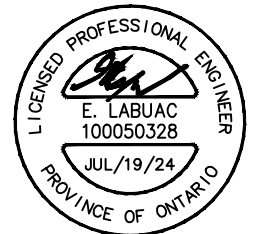
CEILING SCHEDULE	
C1	<b>BASEMENT AND FIRST FLOOR CEILING</b> -FLOOR FINISH -15.5mm T&G PLYWOOD SUBFLOOR -FLOOR JOIST @ 400mm O.C. 12.7mm GYPSUM WALLBOARD
C2	<b>SECOND FLOOR CEILING</b> -12.7mm EXT. TYPE PLYWOOD ON APPROVED ROOF TRUSSES @ 610mm O.C. R60 FIBER GLASS INSULATION -12.7mm GYPSUM WALLBOARD



**1 SECTION B-B**  
SCALE - 3/16" = 1'-0" (1:64)

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PROJECT NAME:  
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2 STOREY GARDEN HOME**

DRAWING TITLE:  
**SECTION B - B**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A-10</b>
CHECKED BY: S.K.	



# Appendix A

File: **24.185575.000.00.MNV**

Date: **3/27/2025**  
MM/DD/YYYY

ASPHALT SHINGLES ON MIN. 9.5mm PLYWOOD SHEATHING ON APPROVED ROOF TRUSSES OR WOOD RAFTERS (SEE PLANS) USE 'H'-CLIPS IF 600mm O.C. SPACING

EAVE PROTECTION TO EXTEND FROM THE EDGE OF THE ROOF 900mm UP THE SLOPE BUT NOT LESS THAN 300mm BEYOND THE INT. FACE OF THE EXTERIOR WALL

EAVESTROUGH, RWL FASCIA BOARD & VENTED SOFFIT FINISH AS PER ELEVATIONS

**FRAME WALL CONSTRUCTION (TYP.)**  
 -FINISH AS PER ELEVATIONS SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER  
 -R10 RIGID INSULATION FOR EXTERIOR TYPE SHEATHING  
 -38mmX140mm WOOD STUDS @400 O.C.  
 -R22 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING &CONTINUOUS VAPOUR/AIR BARRIER  
 -DOUBLE PLATE @ TOP  
 -SOLE PLATE @ BOTTOM  
 -INTERIOR WALL FINISH

WOOD SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 12.7mm DIA. ANCHOR BOLTS EMBEDDED MIN. 100mm IN CONC. @ 2400mm O.C. MAX & PROVIDE CONTINUOUS AIR BARRIER BETWEEN PLATE & FOUNDATION WALL

0.5mm POLY FLASHING MINIMUM 150mm UP BEHIND SHEATHING PAPER PROVIDE WEEP HOLES @ MAX. 800mm APART

SLOPE GRADE AWAY FROM BUILDING FACE

**FOUNDATION WALL (TYP.)**  
 -255mm POURED CONC. WALL WITH 15M NOMINAL BAR (TYP) 25MPA  
 -MOISTURE BARRIER  
 -CONTINUOUS R20 RIGID INSULATION ALONG FDN. WALL  
 -38mmX89mm WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE  
 -R13 BATT INSULATION WITH 0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING  
 -12.7mm GYPSUM WALLBOARD

BITUMINOUS DAMPPROOFING ON MIN. 6MM PARING ON CONCRETE BLOCK FDN. WALL W/ PARING COVERED OVER POURED CONCRETE FOOTING

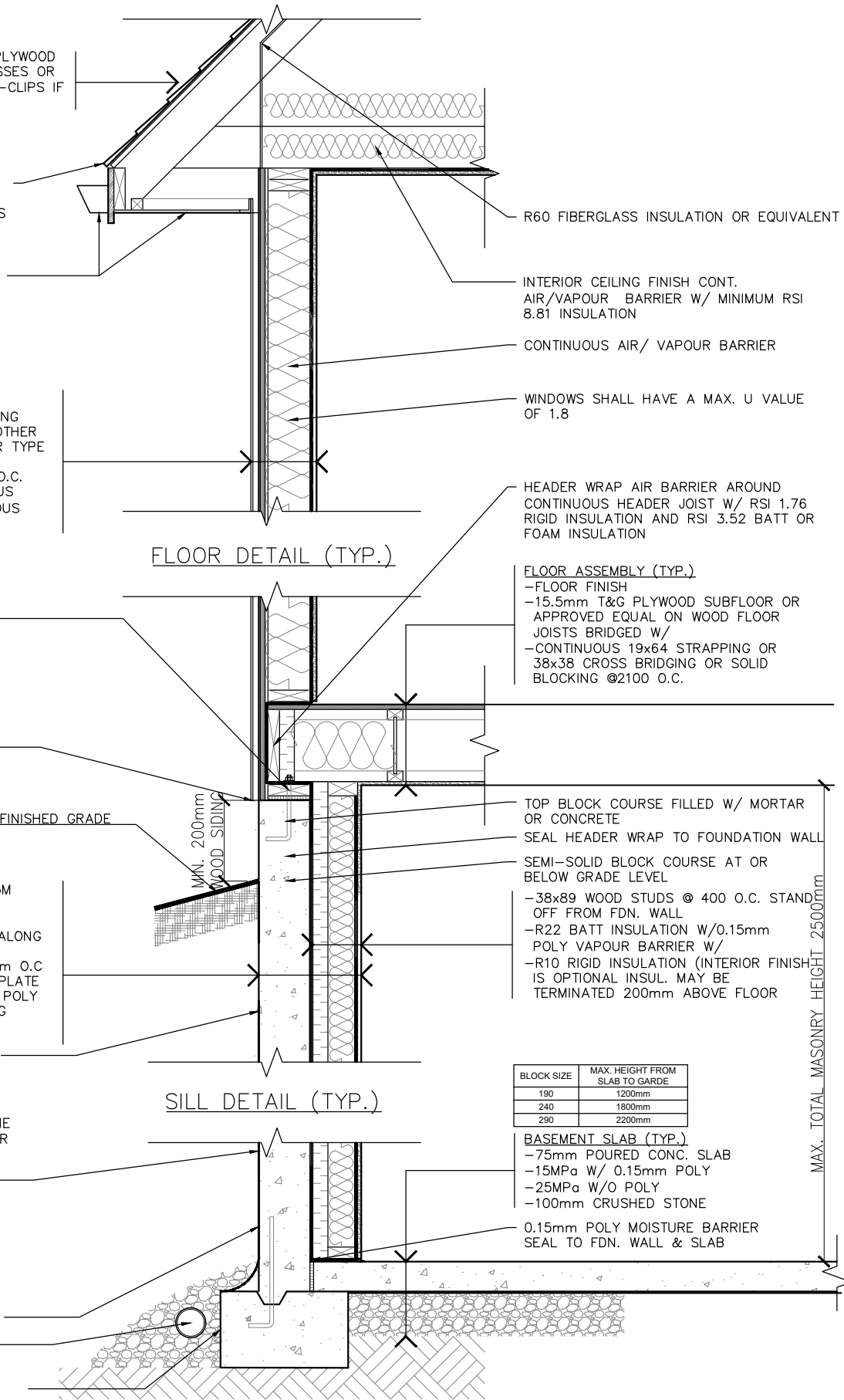
(POURED CONCRETE WALLS TO HAVE TIE HOLES FILLED WITH CEMENT MORTAR OR DAMPPROOFING)

**DRAINAGE LAYER**  
 - MIN. 19mm MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 57 KG/M3, OR  
 - MIN. 100mm OF FREE DRAINING GRANULAR MATERIAL, OR  
 - A B.M.E.C. APPROVED DRAINAGE LAYER MATERIAL

BACKFILL W/FREE DRAINING MATERIAL

100mm DIA. WEEPING TILE WITH 150mm CRUSHED STONE COVER

610mmX200mm DEEP POURED CONCRETE FOOTING (TYP.) FOOTING TO BEAR ON UNDISTURBED SOIL



1 TYPICAL DETAILS  
A-11 N.T.S.

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DRAWING TITLE:  
**TYPICAL DETAILS**

SCALE AS INDICATED  
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## GENERAL NOTES:

–ALL CONSTRUCTION SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. UNLESS NOTED OTHERWISE, THE CODE REFERENCES ARE FROM 2012 OBC, O.REG. 332/12 DIVISION–B,PART 9.

### SOIL REPORT:

–SOIL BEARING CAPACITY TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.

### CONCRETE:

–UNLESS SPECIFIED ELSEWHERE, THE COMPRESSIVE STRENGTH OF UN–REINFORCED CONCRETE SHALL BE NOT LESS THAN 15MPa AFTER 28 DAYS. GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK INCLUDING FOOTING SHALL BE NOT LESS THAN 32MPa CONCRETE WITH 5%–8% AIR ENTRAINMENT AS PER SENTENCE 9.3.1.6.(1).  
–PROVIDE BOND–BREAKING MATERIAL BETWEEN CONCRETE FLOOR SLAB AND FOOTINGS AS PER SENTENCE 9.16.4.4.(1).  
–WHERE DAMP–PROOFING IS NOT PROVIDED THE CONCRETE USED FOR FLOORS ON GROUND SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 25MPa AFTER 28 DAYS AS PER SENTENCE 9.16.4.5.(1).  
–CONCRETE SLABS IN ATTACHED OR BUILT–IN GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR AS PER SENTENCE 9.35.2.2.(1).

### FOOTINGS AND FOUNDATIONS:

–FOOTING AND FOUNDATIONS SHALL CONFORM TO SECTION 9.15.  
–ALL FOOTINGS SHALL REST ON UNDISTURBED SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 120KPa OR GREATER FOR BUILDINGS OF WOOD FRAME OR MASONRY CONSTRUCTION (SEE SOILS REPORT WHERE APPLICABLE).  
–FOOTING SIZE SHALL BE ADJUSTED AS PER SUBSECTION 9.15.3., WHERE APPLICABLE.  
–WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE SHALL NOT EXCEED 600mm, AND THE HORIZONTAL RUN SHALL NOT BE LESS THAN 600mm AS PER ARTICLE 9.15.3.9.  
–MAXIMUM HEIGHT OF BACKFILL FOR FOUNDATION WALLS SHALL CONFORM TO SUBSECTION 9.15.4.  
–EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL AS PER SENTENCE 9.15.4.6.(1) AND THE SUITABLE FINISHED AS PER ARTICLE 9.15.6.2.  
–EXTERIOR SURFACES OF CONCRETE BLOCK FOUNDATION WALLS SHALL BE PARGED WITH NOT LESS THAN 6mm OF MORTAR AND FINISHED AS PER ARTICLE 9.13.2.1. ALL WATERPROOFING TO CONFORM TO ARTICLE 9.13.3.  
–INSTALL ASPHALT COATED BUILDING PAPER BETWEEN FOUNDATION WALLS AND BASEMENT WOOD STUDS ON INTERIOR FACE.  
–WATERPROOFING OF FOUNDATION WALLS AS PER ARTICLE 9.13.3.5.

### FLOORS AND WALLS:

–ALL FLOORS IN RESIDENTIAL OCCUPANCIES TO BE FINISHED AND OR WATER RESISTANT AS PER ARTICLES 9.30.1.1 AND 9.30.1.2 AND ALL WALL TILE FINISH TO COMPLY TO SUBSECTION 9.29.10.  
–ALL GYPSUM WALL BOARD AND INSTALLATION TO COMPLY WITH SUBSECTION 9.29.5. GYPSUM BOARD FINISH (TAPED JOINTS). INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH SUBSECTION 9.29.

### STUD WALL REINFORCEMENT:

–PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO ARTICLE 9.5.2.3 FOR THE INSTALLATION OF GRAB BARS.

### MASONRY:

–WHERE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO INSTALL MASONRY EXTERIOR FACING, FILL VOIDS BETWEEN WALL AND FACING WITH MORTAR AS PER ARTICLE 9.15.4.7.  
–MASONRY SUPPORTING BEAMS COLUMNS SHALL CONFORM TO ARTICLE 9.20.8.4.  
–CORBELLING OF SOLID MASONRY UNITS SHALL CONFORM TO SUBSECTION 9.20.12.  
–PROVIDE WEEPHOLES SPACED NOT MORE THAN 800mm APART IN MASONRY VENEER WALLS AS REQUIRED IN ARTICLE 9.20.13.8.  
–EXPOSED FLASHING MATERIALS SHALL CONFORM TO ARTICLE 9.20.13.1. PROVIDE FLASHING FOR WEEPHOLES IN MASONRY VENEER/MASONRY WALLS AS PER ARTICLES 9.20.13.5.  
–FLASHING BENEATH WEEPHOLES IN MASONRY VENEER OVER WOOD FRAME WALL SHALL BE INSTALLED SO THAT IT EXTENDS FROM NOT LESS THAN 5mm BEYOND THE FRONT EDGE OF THE MASONRY TO 150mm UP BEHIND THE SHEATHING PAPER AS PER SENTENCE 9.20.13.6.(2).  
–PROVIDE DRIP EDGE AT WINDOW SILLS AS PER ARTICLE 9.20.13.12.  
–MASONRY AND CONCRETE CHIMNEYS AND FLUES SHALL CONFORM TO SECTION 9.21.  
–PROVIDE LATERAL STABILITY FOR CHIMNEYS AS PER ARTICLE 9.21.4.5. CHIMNEY CAPS SHALL CONFORM TO ARTICLE 9.21.4.6. BRICK THICKNESS FOR CHIMNEYS SHALL CONFORM TO ARTICLE 9.22.  
–INTERSECTIONS OF ROOFS AND MASONRY WALLS SHALL CONFORM TO ARTICLES 9.26.4.4. AND 9.26.4.6.

### BUILDING STRUCTURE:

–UNLESS NOTED OTHERWISE, LUMBER AND WOOD PRODUCTS SHALL CONFORM TO SUBSECTION 9.3.2.  
–BUILT–UP WOOD COLUMNS SHALL CONFORM TO SENTENCE 9.17.4.2.(2).  
–ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED SO AS TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. SEE ARTICLE 9.23.2.1.  
–STEEL BEAMS SHALL AT LEAST MEET THE REQUIREMENTS FOR GRADE 350 W STEEL IN CAN/CSA–G40.21–04, "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL." SEE ARTICLE 9.23.4.3.  
–PROVIDE LATERAL SUPPORT FOR STEEL BEAMS AS PER SENTENCE 9.23.4.3.(3).  
–BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION BY FASTENING

THE SILL PLATE WITH 12.7mm DIA. ANCHOR BOLTS MAX. 2.4m O.C. AND EMBEDDED MINIMUM 100mm IN FOUNDATION. SEE ARTICLE 9.23.6.1.  
–COLUMNS SHALL BE SECURELY FASTENED TO THE BEAM TO PREVENT LATERAL MOVEMENT. ANCHORAGE OF EXTERIOR COLUMNS AND POSTS SHALL CONFORM TO ARTICLE 9.23.6.2.  
–PROVIDE ADEQUATE LEVEL BEARING FOR ALL BEAMS AT THE END SUPPORTS AS PER ARTICLE 9.23.8.1.  
–POSTS SUPPORTING BEAMS SHALL BE PROVIDED WITH CONTINUOUS SOLID SUPPORT TO THE TOP OF FOUNDATION WALL OR FOOTING.  
–NAILING/BOLTING PATTERNS FOR BUILT–UP WOOD BEAMS SHALL CONFORM TO SENTENCES 9.23.8.3.(7) AND (8).

–JOISTS FRAMED INTO THE SIDE OF A STEEL BEAM SHALL CONFORM TO SENTENCES 9.23.9.2.(3),(4), AND (5).  
–PROVIDE JOIST TWISTING RESTRAINT AS PER ARTICLE 9.23.9.3.  
–NON–LOADBEARING WALLS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS AS PER ARTICLE 9.23.9.8.  
–THE SIZE AND SPACING OF WALL STUDS SHALL CONFORM TO TABLE 9.23.10.1. STUDS FOR WALLS NOT LISTED IN TABLE 9.23.10.1 AND SUPPORTING ROOF LOADS SHALL CONFORM TO TABLES A–30 TO A–33.  
–PROVIDE CONTINUITY OF STUDS AS PER ARTICLE 9.23.10.4.  
–PROVIDE EDGE SUPPORT FOR SUBFLOOR AS PER ARTICLE 9.23.14.3.  
–ROOF SHEATHING MEMBRANE SHALL CONFORM TO CAN/CGSB–51.32–M, "SHEATHING MEMBRANE BREATHER TYPE" AS PER ARTICLE 9.27.3.2.  
–INSTALLATION OF ROOF TRUSSES AND/OR ENGINEERED FLOOR FRAMING SYSTEMS SHALL CONFORM TO THE MANUFACTURERS CERTIFIED SPECIFICATIONS AND THE OBC.  
–ALL CONVENTIONAL ROOF FRAMING MEMBERS THAT MEET OR CROSS OVER TRUSSES SHALL DISTRIBUTE THE ROOF LOADS UNIFORMLY TO THE ROOF BELOW AND SHALL BE SPACED AT MAXIMUM 600mm O.C.  
–PROVIDE EAVES PROTECTION ON SHINGLE, SHAKE OR TILE ROOFS AS PER SUBSECTION 9.26.5.

### ELECTRICAL:

–ELECTRICAL FACILITIES SHALL CONFORM TO SECTION 9.34.  
–ELECTRICAL OUTLETS IN DWELLING UNITS TO CONFORM TO ARTICLE 9.34.2.2.

### FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES:

–ALL FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES TO CONFORM TO ARTICLE 9.10.22.

### DOORS, WINDOWS, SKYLIGHTS AND INTERIOR FINISHES:

–ROOMS AND SPACES SHALL CONFORM TO SECTIONS 9.5.  
–FOR NEW DOORS SIDELIGHTS AND WINDOW RESISTANCE TO FORCE ENTRY, SEE SUBSECTIONS 9.7.5.2.  
–FLAME SPREAD RATING SHALL NOT EXCEED 150 ON WALLS AND CEILINGS.  
–DOORS BETWEEN GARAGES AND DWELLING UNITS SHALL BE TIGHT FITTING, WEATHERSTRIPPED AND HAVE A SELF–CLOSING DEVICE CONFORMING TO SENTENCES 9.10.13.15.(1) AND (2).  
–WATERPROOF FINISH SHALL BE PROVIDED ON WATER RESISTANT BACKING, AROUND SHOWERS AND BATHTUBS AS PER ARTICLES 9.29.2 AND 9.29.10.4.  
–CONCEALED FLASHING BENEATH WINDOW SILLS OR SILLS TO BE PROVIDES WITH AN OUTWARD SLOPE – 9.27.3.8.  
–ALL CAULKING TO COMPLY WITH SUBSECTION 9.27.4.  
–ALL SKYLIGHTS TO CONFORM TO STANDARDS REFERENCE UNDER SUBSECTION 9.7.4.2.  
–WHEN CERAMIC TILE IS SET IN A MORTAR BED, THE BED SHALL BE NOT LESS THAN 32mm THICK A 50mmX50mm GALVANIZED WIRE MESH SHALL BE PLACED IN THE MORTAR BED AND ASPHALT SHEATHING PAPER, FELT OR POLYETHYLENE FILM SHALL BE APPLIED UNDER MORTAR BED WHEN THE MORTAR IS APPLIED OVER WOODEN SUBFLOORS. SEE ARTICLE 9.30.6. AND 9.23.14.  
–EXCEPT FOR BATHROOMS OR WATER CLOSET ROOMS, FINISHED ROOMS SHALL BE PROVIDED WITH A MINIMUM 0.28m<sup>2</sup> UNOBSTRUCTED OPENABLE VENTILATION AREA TO THE OUTDOORS WHERE SUCH ROOMS ARE NOT VENTILATED MECHANICALLY. SEE SUBSECTION 9.32.2 AND TABLE 9.32.2.1.  
–ALL GLASS SHOWER STALLS WILL CONFORM TO ARTICLE 9.6.1. – SAFETY GLASS FOR SHOWER STALLS.  
–WALLS WITH TILE FINISHES SHALL CONFORM TO SUBSECTION 9.29.10 "WALL TILE FINISH" AND ALL DRYWALL FINISH SHALL COMPLY WITH SUBSECTION 9.29.5. FOR GYPSUM BOARD FINISH (TAPED JOINTS).

### BEDROOM WINDOWS:

–BEDROOM SHALL HAVE A MINIMUM UNOBSTRUCTED WINDOW GLASS AREA OF 5% OF AREA SERVED AS PER SENTENCE 9.7.2.3.(1).  
–EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST ONE OUTSIDE WINDOW WHICH IS OPENABLE FROM INSIDE WITH AN UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35m<sup>2</sup> WITH NO DIMENSION LESS THAN 380mm, AND CAPABLE OF MAINTAINING THE REQUIRED OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. SEE ARTICLES 9.9.10.1  
–PROVIDE A 1000mm HIGH X 550mm WIDE WINDOW OPENING WITH A SILL AT THE MAXIMUM 1000mm ABOVE THE FLOOR AND MAXIMUM 7.0m ABOVE THE GROUND WHERE IT IS NECESSARY TO TRAVEL DOWN MORE THAN ONE STOREY TO REACH AN EXIT DOOR FROM THAT STOREY. SEE SENTENCE 9.9.9.1.(2).

### GUARDS:

–GUARDS SHALL CONFORM TO SUBSECTION 9.8.8.  
–GUARDS SHALL BE DESIGNED TO RESIST THE LOADS SPECIFIED IN TABLE 9.8.8.2. SEE SENTENCE 9.8.8.2.(1).  
–GLASS IN GUARDS TO CONFORM TO MMAH SUPPLEMENTARY STANDARD SB–13.

### STAIRS (INTERIOR/EXTERIOR):

–AT LEAST 1 STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS SERVING A SINGLE DWELLING UNIT EXCEPT REQUIRED

EXIT STAIRS, SHALL HAVE A WIDTH OF NOT LESS THAN 860mm. SEE SENTENCE 9.8.2.1.(2).  
–MINIMUM HEIGHT OVER STAIRS AND LANDINGS WITHIN DWELLING UNITS SHALL BE 1.95m. SEE SENTENCES 9.8.2.2.(1) AND 9.8.6.4.(1).  
–ALL STAIRS SERVING A SINGLE DWELLING UNIT MUST MEET UNIFORM LOADING DESIGN REQUIREMENTS OF 1.9KPa.  
–INTERIOR/EXTERIOR STAIRS IN SINGLE DWELLING UNITS

	MAX	MIN.
RISE	200mm	125mm
RUN	355mm	255mm
TREAD DEPTH	355mm	285mm

–CURVED STAIRS SHALL HAVE AN AVERAGE RUN OF NOT LESS THAN 200mm AND A MINIMUM RUN OF 150mm AS PER SENTENCE 9.8.4.4.(2).  
–HEIGHT OF HANDRAILS ON STAIR/RAMPS SHALL BE 865mm MINIMUM AND 965mm MAXIMUM AS PER SENTENCE 9.8.7.4.(2).  
–HEIGHT OF HANDRAILS ON LANDINGS (WHERE GUARDS ARE REQUIRED) SHALL BE 1070mm MAXIMUM AS PER SENTENCE 9.8.7.4.(3).

–GUARDS FOR FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXIT STAIRS, SHALL NOT BE LESS THAN 900mm HIGH AS PER SENTENCE 9.8.8.3.(4).

### SMOKE ALARMS AND CARBON MONOXIDE ALARMS:

–SMOKE ALARMS CONFORMING TO CAN/ULC–S531, "SMOKE ALARMS" SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM. SMOKE ALARMS SHALL BE INSTALLED AS PER 9.10.19. THE LOCATIONS SHALL COMPLY WITH 9.10.19.3.  
–SMOKE ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND AS PER 9.10.19.5. CARBON MONOXIDE DETECTION CONFORMING TO SUBSECTION 6.2.12. AND/OR SUBSECTION 9.3.4 SHALL BE INSTALLED.

### ROOFS, ROOF SPACES, VENTILATION AND DRAINAGE:

–EXCEPT WHERE IT CAN BE SHOWN TO BE UNNECESSARY, WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR. THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/300 OF THE INSULATED CEILING AREA. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/150 OF THE INSULATED CEILING AREA. NOT LESS THAN 25% OF THE VENTS SHALL BE LOCATED NEAR THE ROOF RIDGE. SEE ARTICLES 9.19.1.1 AND 9.19.1.2.  
–PROVIDE A NATURAL VENTILATION AREA OF 0.1m<sup>2</sup> PER 50m<sup>2</sup> OF UNHEATED CRAWL SPACE AREA AS PER SENTENCE 9.18.3.1.(2).  
–PROVIDE MINIMUM 0.2% OF UNFINISHED BASEMENT FLOOR AREA, AS UNOBSTRUCTED NATURAL VENTILATION TO THE OUTDOORS AS PER TABLE 9.32.2.1.  
–ATTIC ACCESS HATCH SHALL BE MINIMUM 0.32m<sup>2</sup> IN AREA WITH NO DIMENSION LESS THAN 545mm AS PER ARTICLE 9.19.2.1.  
–ROOF DRAINS, DOWN SPOUTS (ROOF GUTTERS) SHALL CONFORM TO SUBSECTION 9.26.18.(SEE ALSO DEFINITION IN ARTICLE 1.4.1.2 OF DIVISION A).  
–SURFACE AND SUBSURFACE DRAINAGE SHALL CONFORM TO SECTION 9.14.  
–DRAINAGE TILES OR PIPES SHALL BE INSTALLED AS PER ARTICLE 9.14.3.3.

### BASEMENT WALKOUT AND LOOKOUT CONDITIONS:

–WHERE BACKFILL HEIGHT EXCEEDS 1.2m, PROVIDE LATERAL STABILITY TO FOUNDATION WALLS AS PER ARTICLES 9.15.4.2 AND 9.15.4.3.  
–BRICK VENEER SHALL NOT BE LOADBEARING.  
–PROVIDE A 1070mm HIGH GUARD.  
–AT WALKOUTS, PROVIDE A THREE WAY SWITCH AT THE BOTTOM OF THE BASEMENT STAIRS AND AT EXTERIOR DOORS.  
–STRIP FOOTINGS SHALL CONFORM TO TABLE 9.15.3.4. AND ARTICLES 9.15.3.4 AND 9.15.3.5.  
–PROVIDE ADEQUATE SIZE OF STEEL COLUMNS ON TOP OF THE FOUNDATION WALL IN ORDER TO SUPPORT THE STEEL BEAMS. PROVIDE WOOD AND STEEL LINTELS OVER BASEMENT WINDOWS AS PER ARTICLES 9.23.12.3 AND TABLE 9.20.5.2.B.

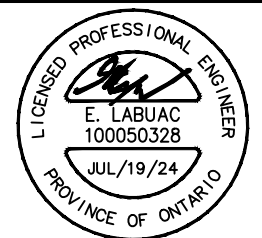
### MISC.

–ALL GLASS SHOWER AND BATH ENCLOSURES TO MEET REQUIREMENTS OF ARTICLE 9.6.1. –STUD WALL REINFORCING REQUIRED IN ALL BATHROOMS AS PER OBC 9.5.2.3.

## Appendix A

File: 24.185575.000.00.MNV  
Date: 3/27/2025  
MM/DD/YYYY

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023
NO.	ISSUED FOR	DATE



PREPARED BY:

**LAND & BUILDING EXPERTS**

570 Alden Rd., Unit 6, Markham, ON L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:

**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:

**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:

**GENERAL NOTES**

SCALE AS INDICATED

DRAWN BY:

CHECKED BY: S.K.

DWG. NO.

**A-12**

**DO NOT SCALE DRAWINGS.**  
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## Appendix A

File: 24.185575.000.00.MNV

Date: 3/27/2025

MM/DD/YYYY

### APPENDIX "C"

#### CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/088/24

1. The variances apply only to the proposed development as long as it remains, and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on August 13, 2024, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction.

CONDITIONS PREPARED BY:



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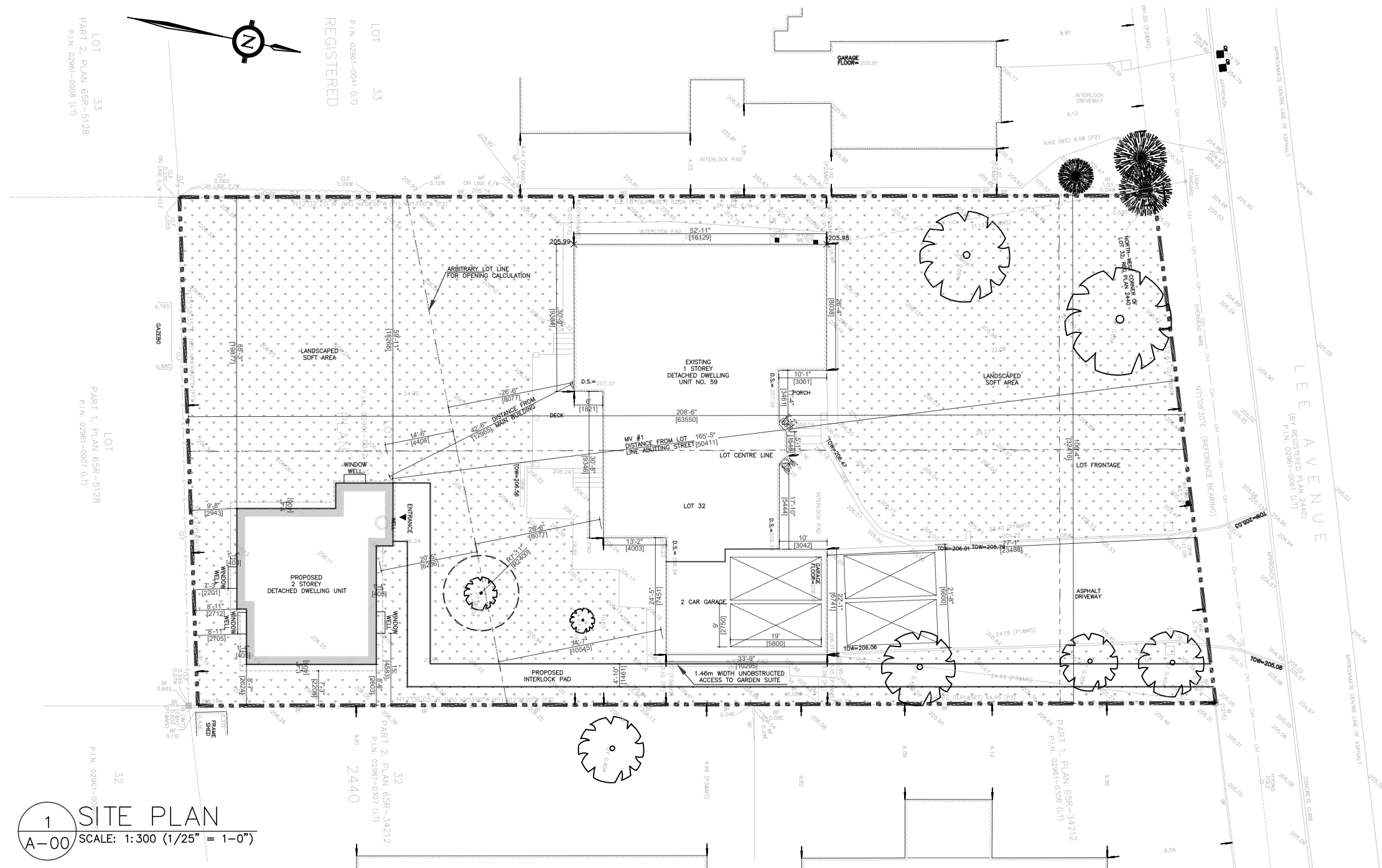
Barton Leung, Senior Planner, Central District, Planning and Urban Design Department



# Appendix B

File: **24.185575.000.00.MNV**

Date: **3/27/2025**  
MM/DD/YYYY



**1 SITE PLAN**  
A-00 SCALE: 1:300 (1/25" = 1-0")

ZONING BY-LAW MATRIX (GARDEN HOME)			
ADDRESS: 59 LEE AVE, MARKHAM, ON L3R8G4			
ZONING: RESIDENTIAL - ESTABLISHED NEIGHBOURHOOD LOW RISE (RES-ENLR)			
ZONE STANDARD	REQUIRED	PROPOSED	BY - LAW
LOT AREA(MIN.)	-	2060.05m <sup>2</sup>	-
LOT FRONTAGE(MIN.)	THE GREATER OF 23.0 METERS OR THE AVERAGE LOT FRONTAGE OF THE TWO NEIGHBOURING LOTS	32.41m	BY-LAW 2024-19: 6.3.2.2
LOT DEPTH(MIN.)	THE GREATER OF 30.0 METERS OR THE AVERAGE LOT DEPTH OF THE TWO NEIGHBOURING LOTS	63.55m	BY-LAW 2024-19: 6.3.2.2
LOT COVERAGE(MAX.)	35% (721.01m <sup>2</sup> )	20.50% (422.26m <sup>2</sup> )	BY-LAW 2024-19: 6.3.2.2
GROSS FLOOR AREA OF GARDEN HOME (MAX.)	50% OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	260.85m <sup>2</sup> (49.90%)	BY-LAW 2024-19: 4.9.10 (d)
NUMBER OF ACCESSORY BUILDINGS OR STRUCTURES (MAX.)	2 (IF THE LOT AREA IS LESS THAN OR EQUAL TO 4000m <sup>2</sup> )	1	BY-LAW 2024-19: 4.8.1 (c)
SETBACK FOR AN ACCESSORY BUILDING / STRUCTURE (MIN.)	1.8m	12.96m	BY-LAW 2024-19: 4.8.1 (c)

DISTANCE OF GARDEN HOME FROM THE MAIN BUILDING(MIN.)	6m	12.96m	BY-LAW 2024-19: 4.9.10
DISTANCE OF GARDEN HOME FROM THE LOT LINE ABUTTING A STREET(MAX.)	30m	50.41m	BY-LAW 2024-19: 4.9.10 (g)
WIDTH OF THE UNOBSTRUCTED PATH OF TRAVEL FROM THE STREET TO GARDEN HOME	1.2m	1.46m	BY-LAW 2024-19: 4.9.10
EAST SIDE YARD SETBACK	1.2m	2.60m	BY-LAW 2024-19: 4.9.10
WEST SIDE YARD SETBACK	1.2m	18.26m	BY-LAW 2024-19: 4.9.10
REAR YARD SETBACK	1.2m	2.71m	BY-LAW 2024-19: 4.9.10
GARDEN HOME HEIGHT (MAX.) MEASURE FROM AVERAGE GRADE	4.5m	4.09m	BY-LAW 2024-19: 4.9.10 (f)
PARKING SPACES (MIN.)	3	4	BY-LAW 2024-19: 5.3.7

PROPOSED GARDEN SUITE TO BE FULLY SPRINKLERED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13 OR 13D REQUIREMENTS

MINOR VARIANCE					
ZONE STANDARD	REQUIRED	PROPOSED	BY - LAW	M.V. REQUIRED	
1 FRONT YARD SETBACK - DISTANCE OF GARDEN HOME FROM THE LOT LINE ABUTTING A STREET	30m MAX.	50.41m	BY-LAW 2024-19: 4.9.10 (g)	YES	

FLOOR AREA CALCULATION (MAIN BUILDING)	
BASEMENT FLOOR AREA	253.15m <sup>2</sup> (2724.94ft <sup>2</sup> )
FIRST FLOOR AREA	327.54m <sup>2</sup> (3525.67ft <sup>2</sup> )
GARAGE	-57.90m <sup>2</sup> (-623.25ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	522.79m <sup>2</sup> (5627.36ft <sup>2</sup> )

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
FIRST FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
SECOND FLOOR AREA	71.41m <sup>2</sup> (768.64ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	260.85m <sup>2</sup> (2807.78ft <sup>2</sup> )
PERCENTAGE OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	49.90% (260.85m <sup>2</sup> /522.79m <sup>2</sup> )

LEGEND	
	PROPERTY LINE
	ASPHALT DRIVEWAY
	LANDSCAPED SOFT AREA
	BUILDING ENTRANCE/EXIT

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**SITE PLAN**

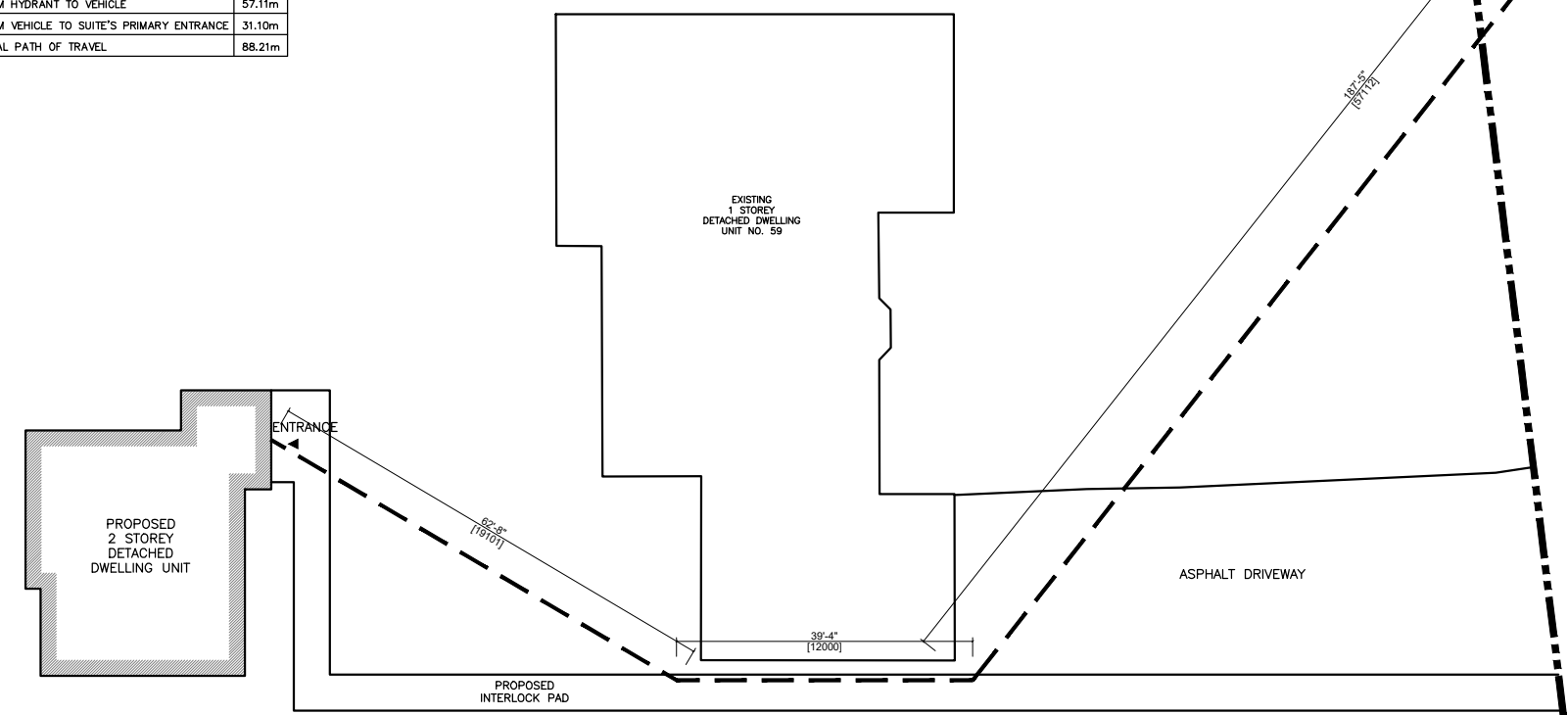
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A0</b>
CHECKED BY: S.K.	

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

PATH OF TRAVEL	
FROM HYDRANT TO VEHICLE	57.11m
FROM VEHICLE TO SUITE'S PRIMARY ENTRANCE	31.10m
TOTAL PATH OF TRAVEL	88.21m



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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
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570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**CONCEPT PLAN -  
PATH OF TRAVEL**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A0b</b>
CHECKED BY: S.K.	

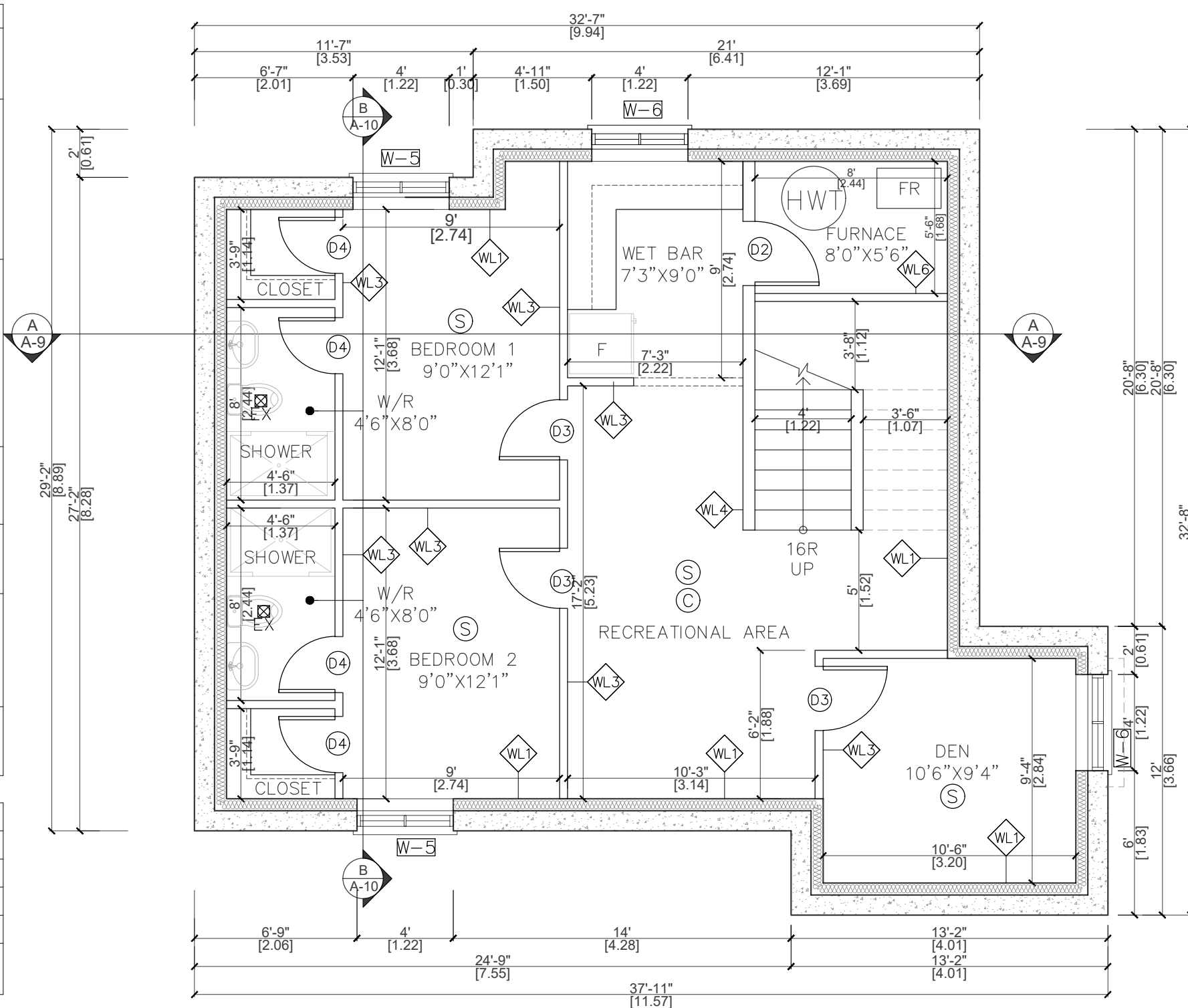
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WALL SCHEDULE	
<b>FW</b>	<b>FOUNDATION WALL(TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
<b>WL1</b>	<b>FOUNDATION WALL(TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"X4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
<b>WL2</b>	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY
<b>WL3</b>	<b>INTERIOR WALL 1 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"X4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
<b>WL4</b>	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
<b>WL5</b>	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
<b>WL6</b>	<b>45 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"X4")WOOD STUDS @ 400mm O.C.

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
FIRST FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
SECOND FLOOR AREA	71.41m <sup>2</sup> (768.64ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	260.85m <sup>2</sup> (2807.78ft <sup>2</sup> )
PERCENTAGE OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	49.90% (260.85m <sup>2</sup> /522.79m <sup>2</sup> )

ROOM SIZES OBC (SECTION 9) 9.5.3A TO 9.5.3E		
	AREA REQ.	PROPOSED
BEDROOM 1 (WITH CLOSET)	6 m <sup>2</sup>	10.51 m <sup>2</sup> (113.23 ft <sup>2</sup> )
BEDROOM 2 (WITH CLOSET)	6 m <sup>2</sup>	10.10 m <sup>2</sup> (108.73 ft <sup>2</sup> )

WINDOW SIZES OBC (SECTION 9) 9.7.2.3.			
	ROOM AREA	WINDOW AREA REQ.	AREA PROPOSED
BEDROOM 1	10.51 m <sup>2</sup> (113.23 ft <sup>2</sup> )	5% (5.25 ft <sup>2</sup> )	12 ft <sup>2</sup>
BEDROOM 2	10.10 m <sup>2</sup> (108.73 ft <sup>2</sup> )	5% (5.44 ft <sup>2</sup> )	12 ft <sup>2</sup>



**1 BASEMENT FLOOR PLAN**  
SCALE - 3/16" = 1'-0" (1:64)

DOOR SCHEDULE			
NO.	SIZE	NOs.	REMARKS
D2	32" X 84"	1	INTERIOR (45min FRR)
D3	30" X 84"	3	INTERIOR
D4	28" X 84"	4	INTERIOR

WINDOW SCHEDULE			
NO.	SIZE	NOs.	REMARKS
W5	48" X 36"	2	INSULATED GLASS
W6	48" X 24"	2	INSULATED GLASS

ITEMS LEGEND:	
HWT	HOT WATER TANK
FR	FURNACE
EX	EXHAUST FAN
(S)	SMOKE ALARM *INTERCONNECTED ON ALL FLOORS
(C)	CARBON MONOXIDE DETECTOR *INTERCONNECTED ON ALL FLOORS
(SUMP)	SUMP

PROPOSED GARDEN SUITE TO BE FULLY SPRINKLERED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13 OR 13D REQUIREMENTS

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## Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025

MM/DD/YYYY

6		
5		
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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
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PREPARED BY:  
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**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**BASEMENT FLOOR PLAN**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A1</b>
CHECKED BY: S.K.	

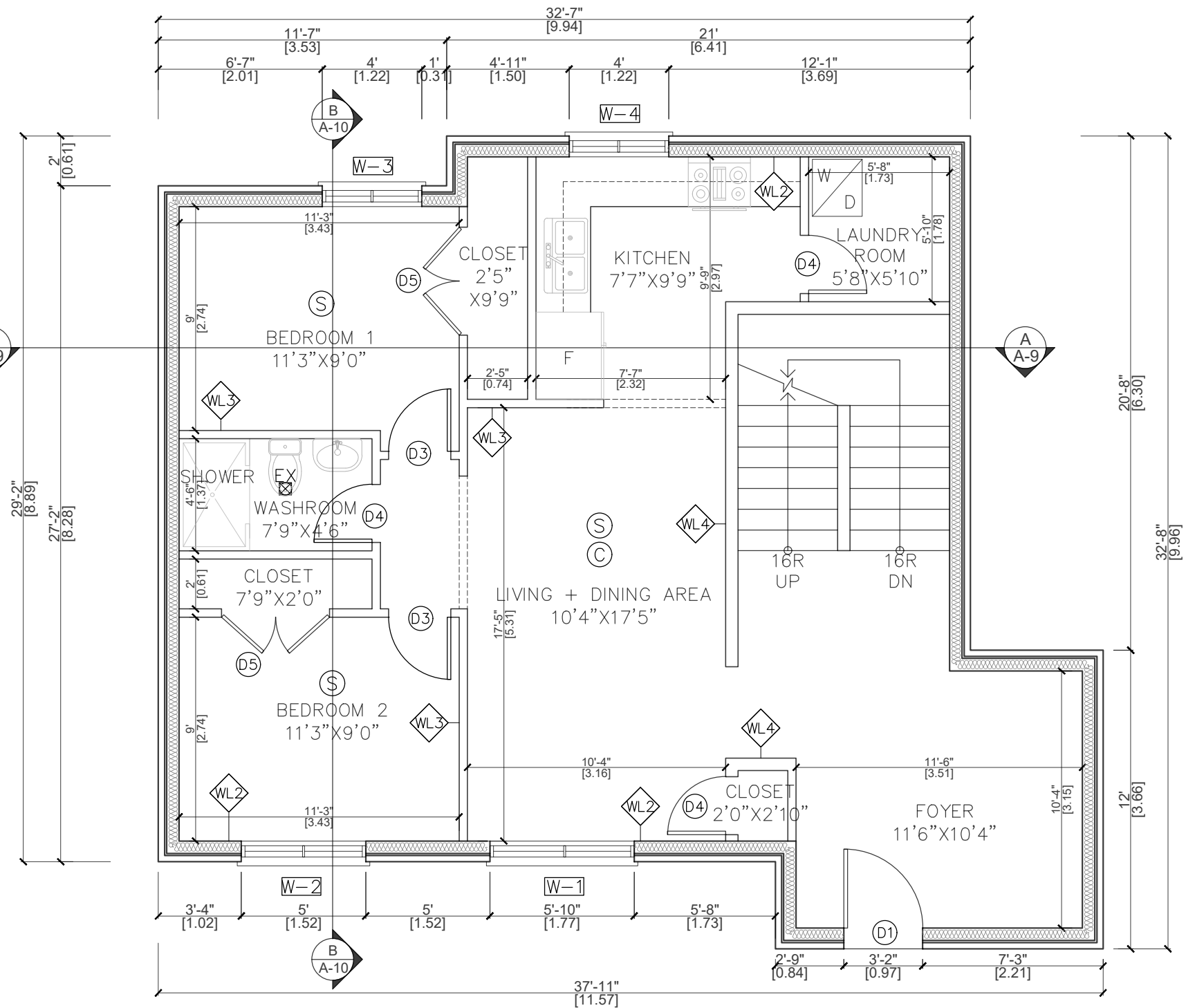


WALL SCHEDULE	
<b>FW</b>	FOUNDATION WALL(TYP) -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
<b>WL1</b>	FOUNDATION WALL(TYP) -BITUMINOUS DAM PROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"X4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
<b>WL2</b>	EIFS WALL (OBC SB-3 W4A (STC 51)) -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY
<b>WL3</b>	INTERIOR WALL 1 (TYP) -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"X4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
<b>WL4</b>	INTERIOR WALL 2 (TYP) -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
<b>WL5</b>	GARAGE WALL CONSTRUCTION: -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
<b>WL6</b>	45 MIN. FIRE RATED WALL CONSTRUCTION: -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"X4")WOOD STUDS @ 400mm O.C.

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
FIRST FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
SECOND FLOOR AREA	74.41m <sup>2</sup> (768.64ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	260.85m <sup>2</sup> (2807.78ft <sup>2</sup> )
PERCENTAGE OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	49.90% (260.85m <sup>2</sup> /522.79m <sup>2</sup> )

ROOM SIZES OBC (SECTION 9) 9.5.3A TO 9.5.3E			
	AREA REQ.		PROPOSED
	SEPARATE ROOMS	COMBINATION WITH OTHER SPACES	
LIVING ROOM	13.5 m <sup>2</sup>	13.5 m <sup>2</sup> 16.75 m <sup>2</sup> (180.29 ft <sup>2</sup> )	16.77 m <sup>2</sup> (180.58 ft <sup>2</sup> )
DINNING ROOM	7 m <sup>2</sup>	3.25 m <sup>2</sup>	
KITCHEN AREA	4.2 m <sup>2</sup>	4.2 m <sup>2</sup>	8.53 m <sup>2</sup> (91.78 ft <sup>2</sup> )
BEDROOM 1 (WITH CLOSET)		6 m <sup>2</sup>	9.65 m <sup>2</sup> (103.88 ft <sup>2</sup> )
BEDROOM 2 (WITH CLOSET)		6 m <sup>2</sup>	9.4 m <sup>2</sup> (101.21 ft <sup>2</sup> )

WINDOW SIZES OBC (SECTION 9) 9.7.2.3.			
	ROOM AREA	WINDOW AREA REQ.	AREA PROPOSED
LIVING ROOM	16.77 m <sup>2</sup> (180.58 ft <sup>2</sup> )	10% (18.058 ft <sup>2</sup> )	43.46 ft <sup>2</sup>
DINNING ROOM			
BEDROOM 1	9.65 m <sup>2</sup> (103.88 ft <sup>2</sup> )	5% (5.19 ft <sup>2</sup> )	20 ft <sup>2</sup>
BEDROOM 2	9.4 m <sup>2</sup> (101.21 ft <sup>2</sup> )	5% (5.06 ft <sup>2</sup> )	30 ft <sup>2</sup>



1 FIRST FLOOR PLAN  
A-02 SCALE - 3/16" = 1'-0" (1:64)

DOOR SCHEDULE			
NO.	SIZE	NOs.	REMARKS
D1	40" X 84"	1	EXTERIOR
D3	30" X 84"	2	INTERIOR
D4	28" X 84"	3	INTERIOR
D5	2 X 26" X 84"	2	INTERIOR - DOUBLE DOOR

WINDOW SCHEDULE			
NO.	SIZE	NOs.	REMARKS
W1	70" X 179"	1	INSULATED GLASS
W2	60" X 72"	1	INSULATED GLASS
W3	48" X 60"	1	INSULATED GLASS
W4	48" X 50"	1	INSULATED GLASS

ITEMS LEGEND:	
HWT	HOT WATER TANK
FR	FURNACE
EX	EXHAUST FAN
S	SMOKE ALARM *INTERCONNECTED ON ALL FLOORS
C	CARBON MONOXIDE DETECTOR *INTERCONNECTED ON ALL FLOORS
SUMP	SUMP

PROPOSED GARDEN SUITE TO BE FULLY SPRINKLERED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 13 OR 13D REQUIREMENTS

**DO NOT SCALE DRAWINGS.**  
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## Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

6		
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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:

## LAND & BUILDING EXPERTS

570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:

59 LEE AVE,  
MARKHAM, ON L3R 8G4

PROJECT NAME:

PROPOSED  
2 STOREY GARDEN HOME

DRAWING TITLE:

FIRST FLOOR PLAN

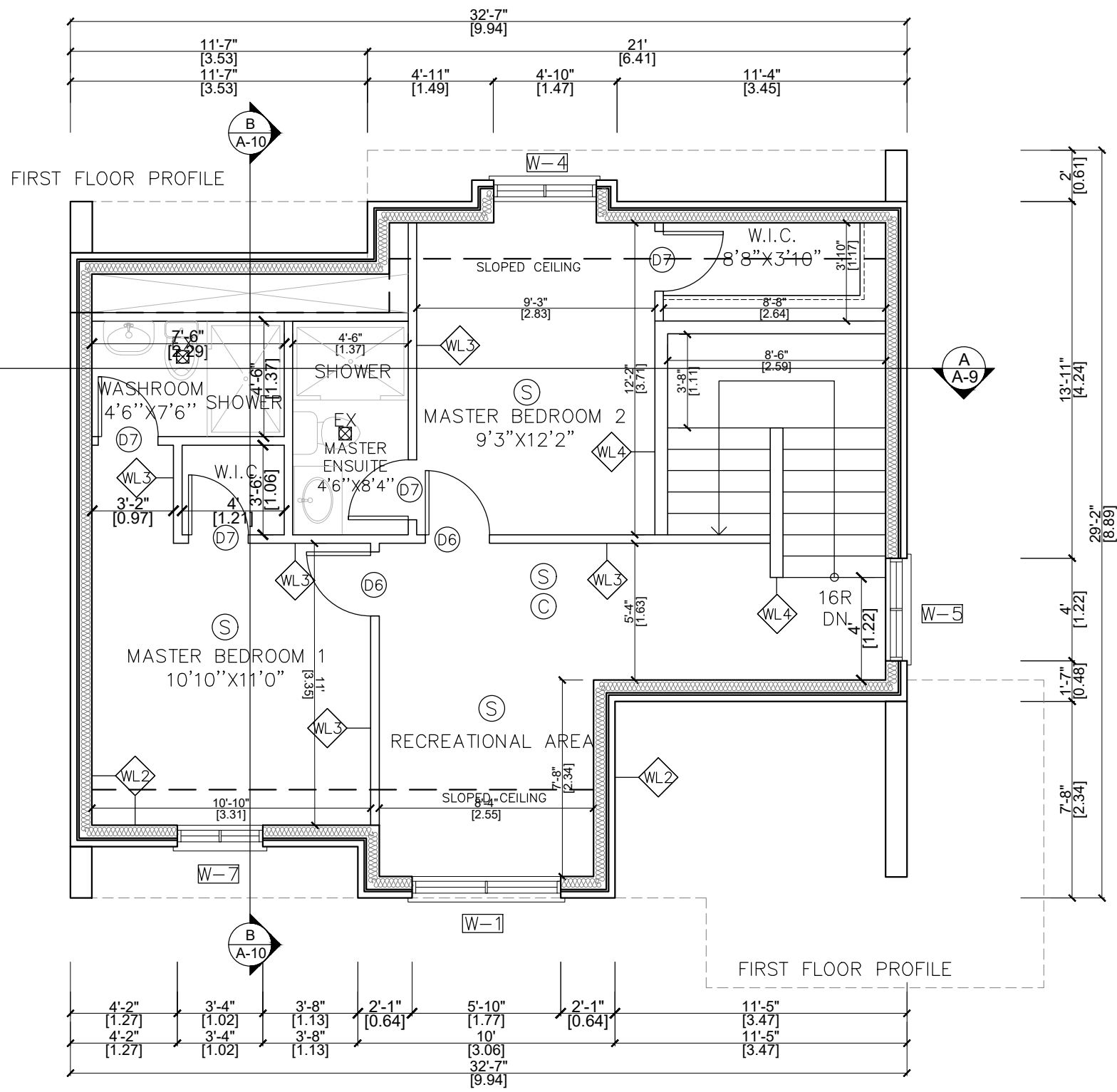
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A2
CHECKED BY: S.K.	

WALL SCHEDULE	
<b>FW</b>	<b>FOUNDATION WALL(TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT
<b>WL1</b>	<b>FOUNDATION WALL(TYP)</b> -BITUMINOUS DAMPPROOFING -255mm POURED CONC.WALL (25MPa) WITH -1-15M @ 400mm O.C. VERTICAL AND 1-15M @ 400mm O.C. HORIZONTAL REINFORCEMENT -MOISTURE BARRIER -CONTINUOUS R10 RIGID INSULATION ALONG FOUNDATION WALL -38mmX89mm (2"X4")WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -R15 BATT INSULATION WITH -0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING -12.7mm GYPSUM WALLBOARD
<b>WL2</b>	<b>EIFS WALL (OBC SB-3 W4A (STC 51))</b> -EIFS 2.5" / R10 MIN. (NON-COMBUSTIBLE TYPE) -3/8" DENS GLASS SHEATHING -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -R22 MIN. BATT INSULATION C/W 6 MIL POLY V.B. -VAPOUR PERMEABLE AIR BARRIER -3/8" TYPE 'X' GYPSUM WALLBOARD  CARRY WALL TYPE FROM FLOOR TO U/S OF STRUCT. / F.R.R. ASSEMBLY ABOVE. PROVIDE F.R.R. FIRESTOP SEALANT TO TOP & BOTT OF WALL ASSEMBLY
<b>WL3</b>	<b>INTERIOR WALL 1 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX89mm (2"X4") WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE -12.7mm GYPSUM WALLBOARD
<b>WL4</b>	<b>INTERIOR WALL 2 (TYP)</b> -12.7mm GYPSUM WALLBOARD -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C WITH SOLID WOOD BLOCKING @ MID SPAN -12.7mm GYPSUM WALLBOARD
<b>WL5</b>	<b>GARAGE WALL CONSTRUCTION:</b> -12.7mm GYPSUM WALLBOARD (TAPE AND SEAL ALL JOINTS) -38mmX140mm (2"X6")WOOD STUDS @ 400mm O.C. -RSI 3.52 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING -CONTINUOUS VAPOUR/AIR BARRIER -DOUBLE PLATE @ TOP -SOLE PLATE @ BOTTOM -12.7mm GYPSUM WALLBOARD
<b>WL6</b>	<b>45 MIN. FIRE RATED WALL CONSTRUCTION:</b> -12.7mm TYPE 'X' GYPSUM WALLBOARD ON BOTH SIDES, (TAPE AND SEAL ALL JOINTS) -38mmX100mm (2"X4")WOOD STUDS @ 400mm O.C.

FLOOR AREA CALCULATION (GARDEN HOME)	
BASEMENT FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
FIRST FLOOR AREA	94.72m <sup>2</sup> (1019.57ft <sup>2</sup> )
SECOND FLOOR AREA	71.41m <sup>2</sup> (766.64ft <sup>2</sup> )
TOTAL GFA (GROSS FLOOR AREA)	260.85m <sup>2</sup> (2807.78ft <sup>2</sup> )
PERCENTAGE OF THE GROSS FLOOR AREA OF THE PRINCIPAL USE DWELLING UNIT ON THE SAME LOT	49.90% (260.85m <sup>2</sup> /522.79m <sup>2</sup> )

ROOM SIZES OBC (SECTION 9) 9.5.3A TO 9.5.3E		
	AREA REQ.	PROPOSED
MASTER BEDROOM 1 (WITH CLOSET)	8.8 m <sup>2</sup>	12.24 m <sup>2</sup> (131.76 ft <sup>2</sup> )
MASTER BEDROOM 2 (WITH CLOSET)	8.8 m <sup>2</sup>	10.8 m <sup>2</sup> (116.29 ft <sup>2</sup> )

WINDOW SIZES OBC (SECTION 9) 9.7.2.3.			
	ROOM AREA	WINDOW AREA REQ.	AREA PROPOSED
MASTER BEDROOM 1	12.24 m <sup>2</sup> (131.76 ft <sup>2</sup> )	5% (6.59 ft <sup>2</sup> )	15.56 ft <sup>2</sup>
MASTER BEDROOM 2	10.8 m <sup>2</sup> (116.29 ft <sup>2</sup> )	5% (5.81 ft <sup>2</sup> )	16.33 ft <sup>2</sup>



DOOR SCHEDULE			
NO.	SIZE	NOs.	REMARKS
D6	30" X 80"	2	INTERIOR
D7	28" X 80"	4	INTERIOR

WINDOW SCHEDULE			
NO.	SIZE	NOs.	REMARKS
W1	70" X 179"	1	INSULATED GLASS
W4	48" X 50"	1	INSULATED GLASS
W5	48" X 36"	1	INSULATED GLASS
W7	40" X 55"	1	INSULATED GLASS

**1 SECOND FLOOR PLAN**  
A-03 / SCALE - 3/16" = 1'-0" (1:64)

ITEMS LEGEND:	
HWT	HOT WATER TANK
FR	FURNACE
EX	EXHAUST FAN
⊙	SMOKE ALARM *INTERCONNECTED ON ALL FLOORS
⊙	CARBON MONOXIDE DETECTOR *INTERCONNECTED ON ALL FLOORS
⊙	SUMP

**DO NOT SCALE DRAWINGS.**  
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## Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:

## LAND & BUILDING EXPERTS

570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:

59 LEE AVE,  
MARKHAM, ON L3R 8G4

PROJECT NAME:

PROPOSED  
2 STOREY GARDEN HOME

DRAWING TITLE:

SECOND FLOOR PLAN

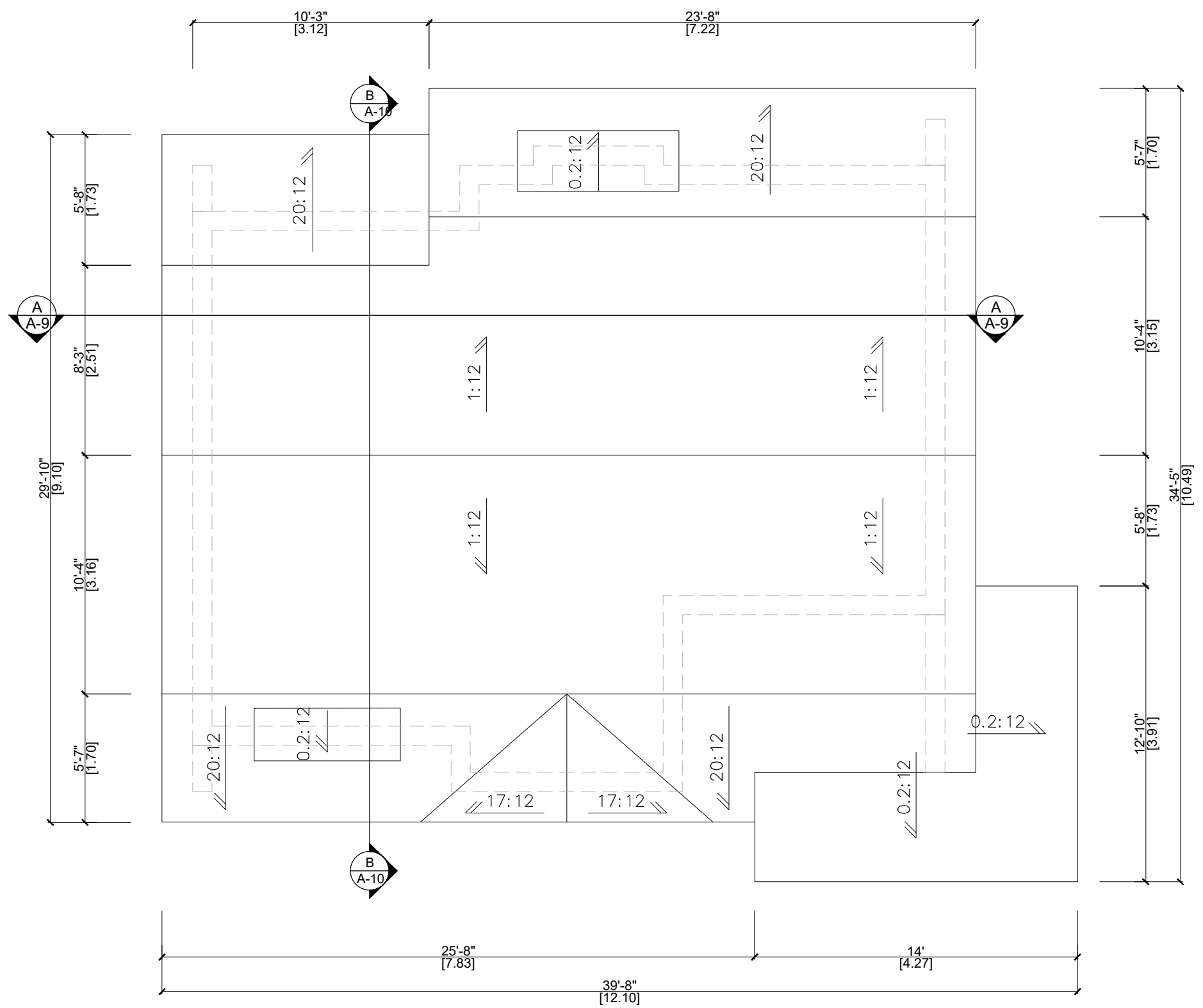
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A3
CHECKED BY: S.K.	



# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 ROOF PLAN  
A-04 SCALE - 3/16" = 1'-0" (1:64)

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**ROOF PLAN**

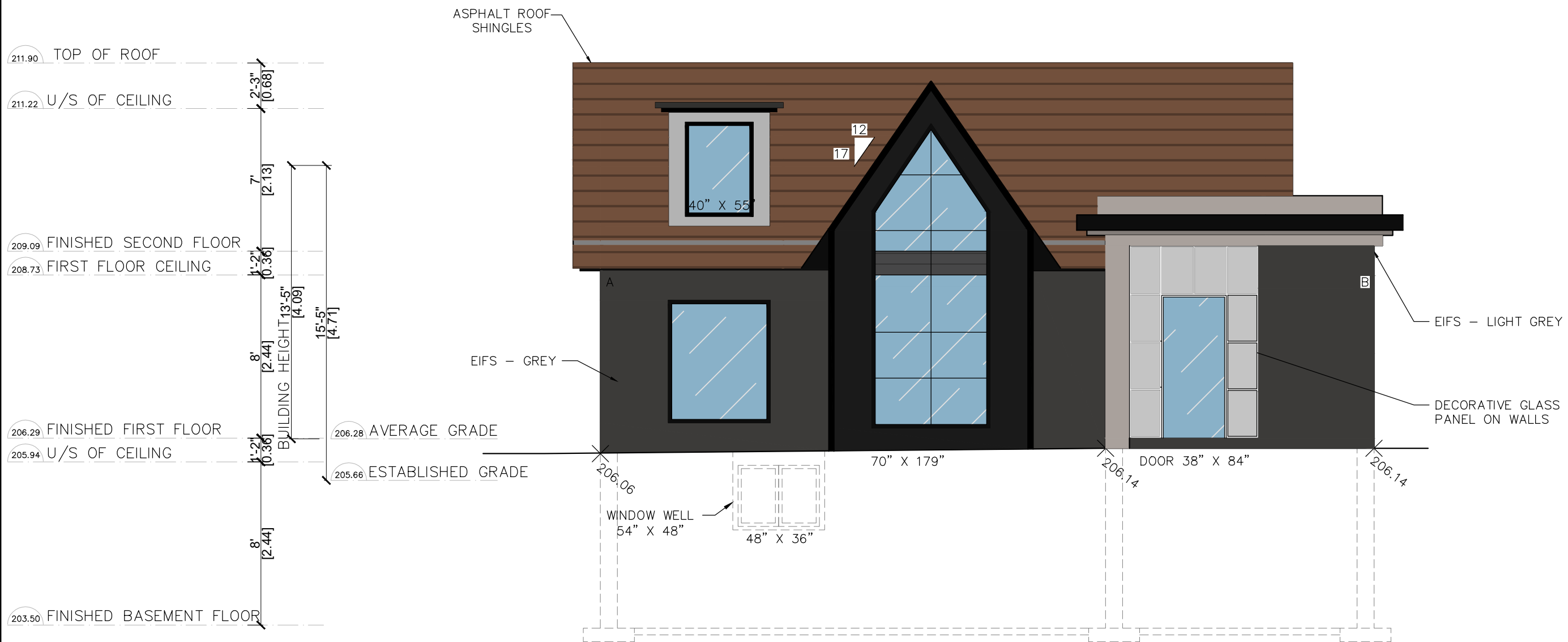
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A4
CHECKED BY: S.K.	

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4					
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED	
FRONT (NORTH SIDE) FACE A	56.70 m <sup>2</sup> (610.27 ft <sup>2</sup> )	44.54 m <sup>2</sup> (479.38 ft <sup>2</sup> )	6.23 m	34% (16.59m <sup>2</sup> )	25.31% (11.27m <sup>2</sup> )
FRONT (NORTH SIDE) FACE B		12.16 m <sup>2</sup> (130.89 ft <sup>2</sup> )	4.40 m	18% (2.18m <sup>2</sup> )	16.94% (2.06m <sup>2</sup> )



1 FRONT ELEVATION (NORTH)  
A-05 SCALE - 3/16" = 1'-0" (1:64)

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:	
<b>LAND &amp; BUILDING EXPERTS</b>	
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5 (647) 340-8649 landbuildex@gmail.com	
PROJECT INFO:	
<b>59 LEE AVE, MARKHAM, ON L3R 8G4</b>	
DRAWING TITLE:	
<b>PROPOSED 2 STOREY GARDEN HOME</b>	
DRAWING TITLE:	
<b>FRONT ELEVATION</b>	
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A5</b>
CHECKED BY: S.K.	

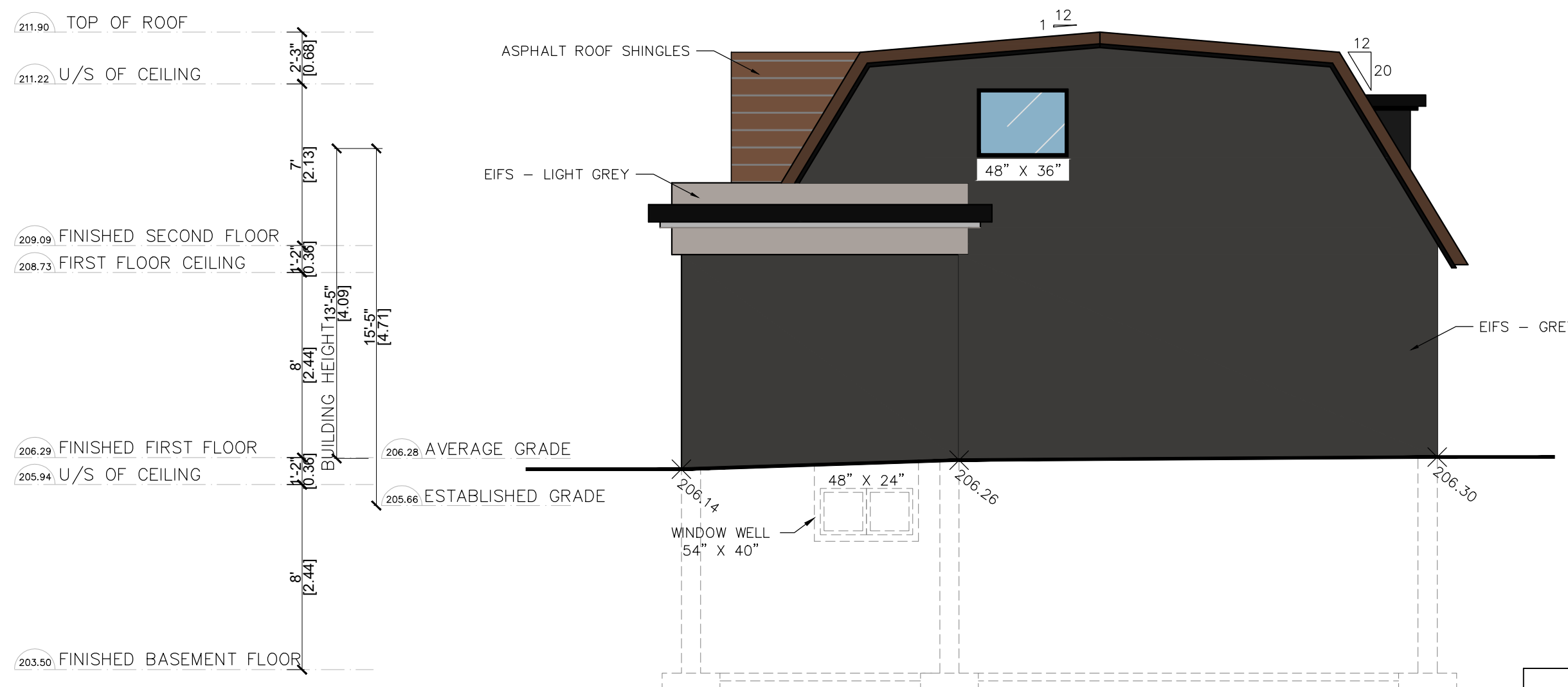
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# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4				
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED
SIDE (WEST SIDE)	44.36 m <sup>2</sup> (477.58 ft <sup>2</sup> )	18.26 m	100% (44.36m <sup>2</sup> )	2.50% (1.11m <sup>2</sup> )



1 SIDE ELEVATION (WEST)  
A-06 SCALE - 3/16" = 1'-0" (1:64)

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE



PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**WEST ELEVATION**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A6
CHECKED BY: S.K.	

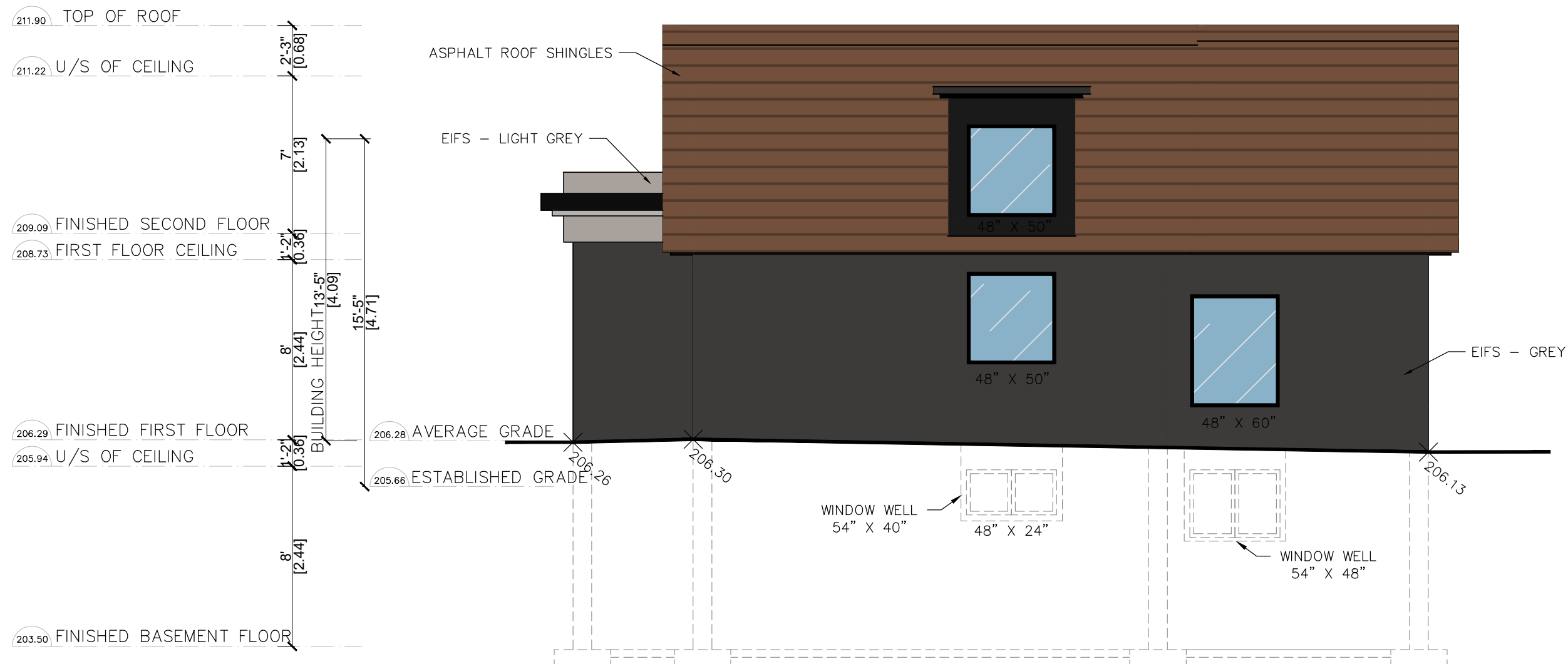
**DO NOT SCALE DRAWINGS.**  
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# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4				
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED
REAR (SOUTH SIDE)	53.93 m <sup>2</sup> (580.55 ft <sup>2</sup> )	2.71 m	11% (5.93m <sup>2</sup> )	9.17% (4.95m <sup>2</sup> )



1 REAR ELEVATION (SOUTH)  
A-07 SCALE - 3/16" = 1'-0" (1:64)

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**REAR ELEVATION**

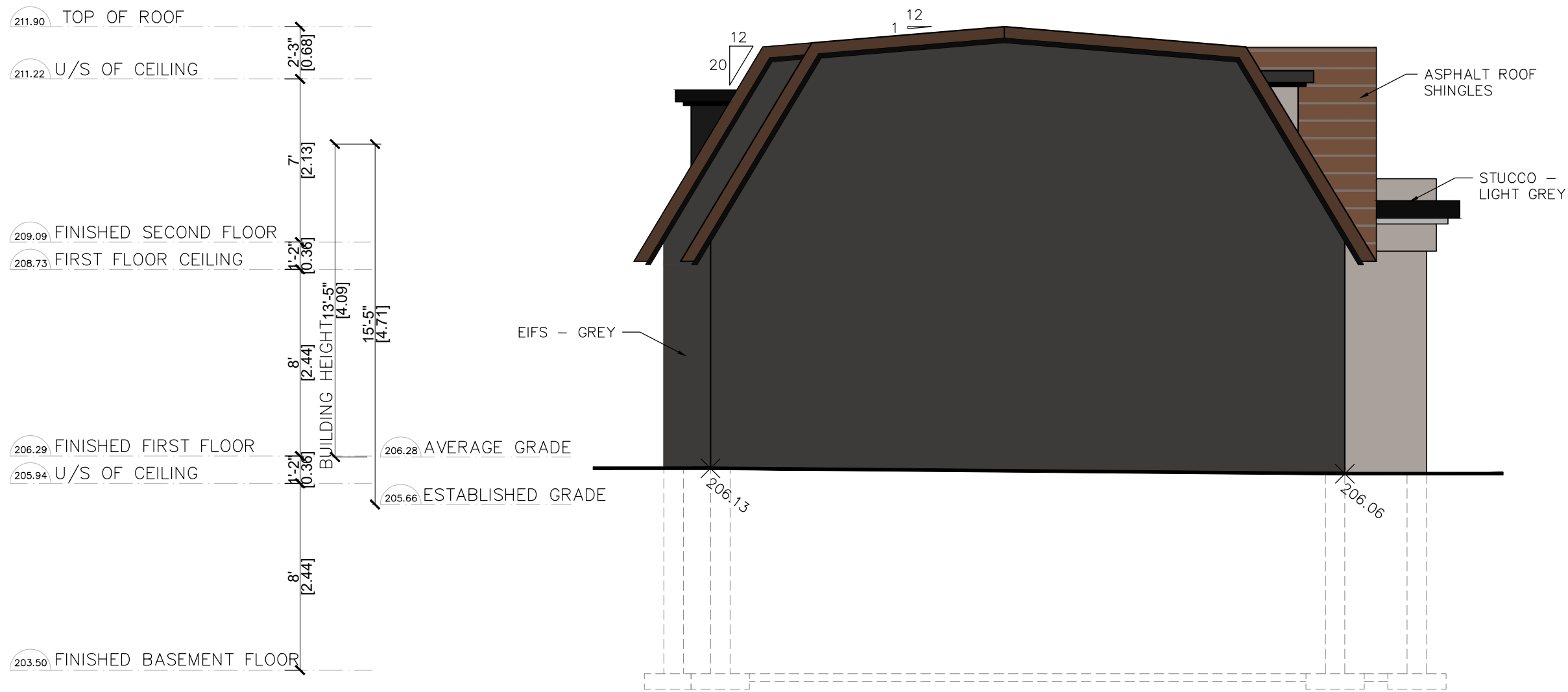
SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A7
CHECKED BY: S.K.	

**DO NOT SCALE DRAWINGS.**  
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# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 EAST ELEVATION  
A-08 SCALE - 3/16" = 1'-0" (1:64)

**DO NOT SCALE DRAWINGS.**  
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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

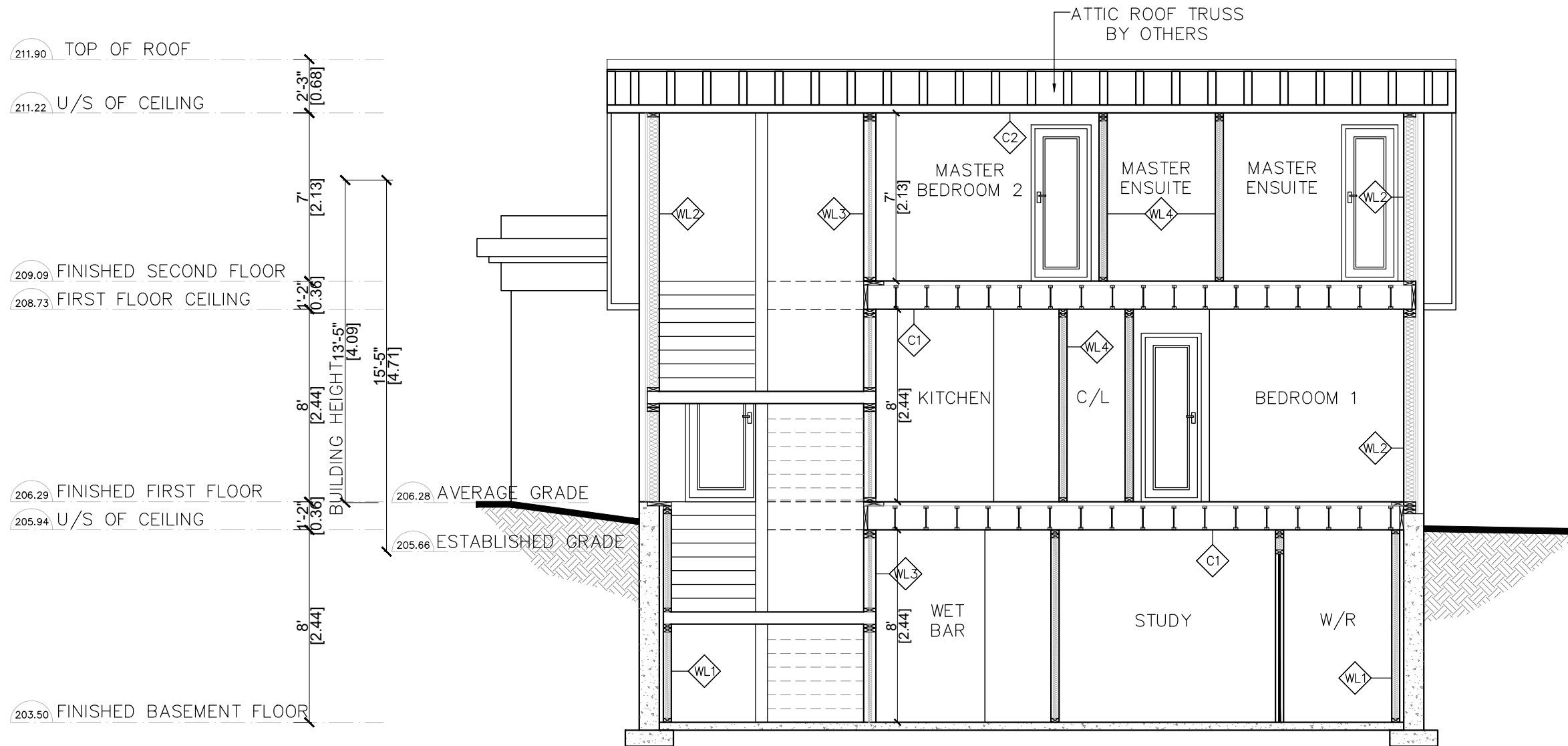
DRAWING TITLE:  
**EAST ELEVATION**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	<b>A8</b>
CHECKED BY: S.K.	

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 SECTION A-A  
A-09 SCALE - 3/16" = 1'-0" (1:64)

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2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**SECTION A - A**

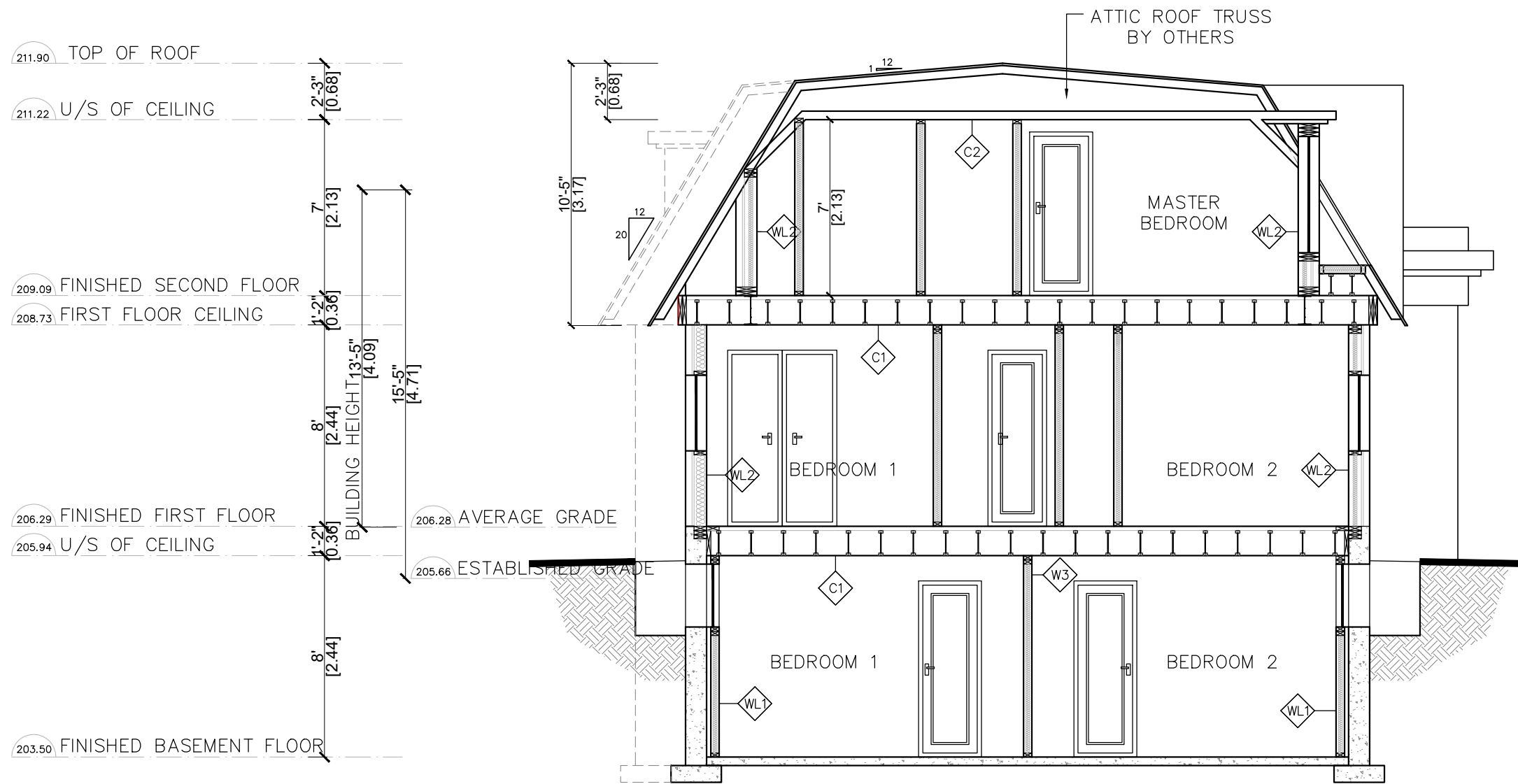
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SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A9
CHECKED BY: S.K.	

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 SECTION B-B  
A-10 SCALE - 3/16" = 1'-0" (1:64)

6		
5		
4		
3		
2	REVISION FOR MINOR VARIANCE	02/10/2025
1	FOR MINOR VARIANCE	07/19/2024
NO.	ISSUED FOR	DATE

PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**SECTION B - B**

SCALE AS INDICATED	DWG. NO.
DRAWN BY:	A10
CHECKED BY: S.K.	

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# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

ASPHALT SHINGLES ON MIN. 9.5mm PLYWOOD SHEATHING ON APPROVED ROOF TRUSSES OR WOOD RAFTERS (SEE PLANS) USE 'H'-CLIPS IF 600mm O.C. SPACING

EAVE PROTECTION TO EXTEND FROM THE EDGE OF THE ROOF 900mm UP THE SLOPE BUT NOT LESS THAN 300mm BEYOND THE INT. FACE OF THE EXTERIOR WALL

EAVESTROUGH, RWL FASCIA BOARD & VENTED SOFFIT FINISH AS PER ELEVATIONS

**FRAME WALL CONSTRUCTION (TYP.)**  
 -FINISH AS PER ELEVATIONS SHEATHING PAPER LAYERS TO OVERLAP EACH OTHER  
 -R10 RIGID INSULATION FOR EXTERIOR TYPE SHEATHING  
 -38mmX140mm WOOD STUDS @400 O.C.  
 -R22 BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING &CONTINUOUS VAPOUR/AIR BARRIER  
 -DOUBLE PLATE @ TOP  
 -SOLE PLATE @ BOTTOM  
 -INTERIOR WALL FINISH

WOOD SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 12.7mm DIA. ANCHOR BOLTS EMBEDDED MIN. 100mm IN CONC. @ 2400mm O.C. MAX & PROVIDE CONTINUOUS AIR BARRIER BETWEEN PLATE & FOUNDATION WALL

0.5mm POLY FLASHING MINIMUM 150mm UP BEHIND SHEATHING PAPER PROVIDE WEEP HOLES @ MAX. 800mm APART

SLOPE GRADE AWAY FROM FINISHED GRADE BUILDING FACE

**FOUNDATION WALL (TYP.)**  
 -255mm POURED CONC. WALL WITH 15M NOMINAL BAR (TYP) 25MPA  
 -MOISTURE BARRIER  
 -CONTINUOUS R20 RIGID INSULATION ALONG FDN. WALL  
 -38mmX89mm WOOD STUDS @ 400mm O.C WITH 0.15mm POLY UNDER BOTTOM PLATE  
 -R13 BATT INSULATION WITH 0.15mm POLY VAPOR BARRIER ON WOOD STRAPPING  
 -12.7mm GYPSUM WALLBOARD

BITUMINOUS DAMPPROOFING ON MIN. 6MM PARING ON CONCRETE BLOCK FDN. WALL W/ PARING COVERED OVER POURED CONCRETE FOOTING

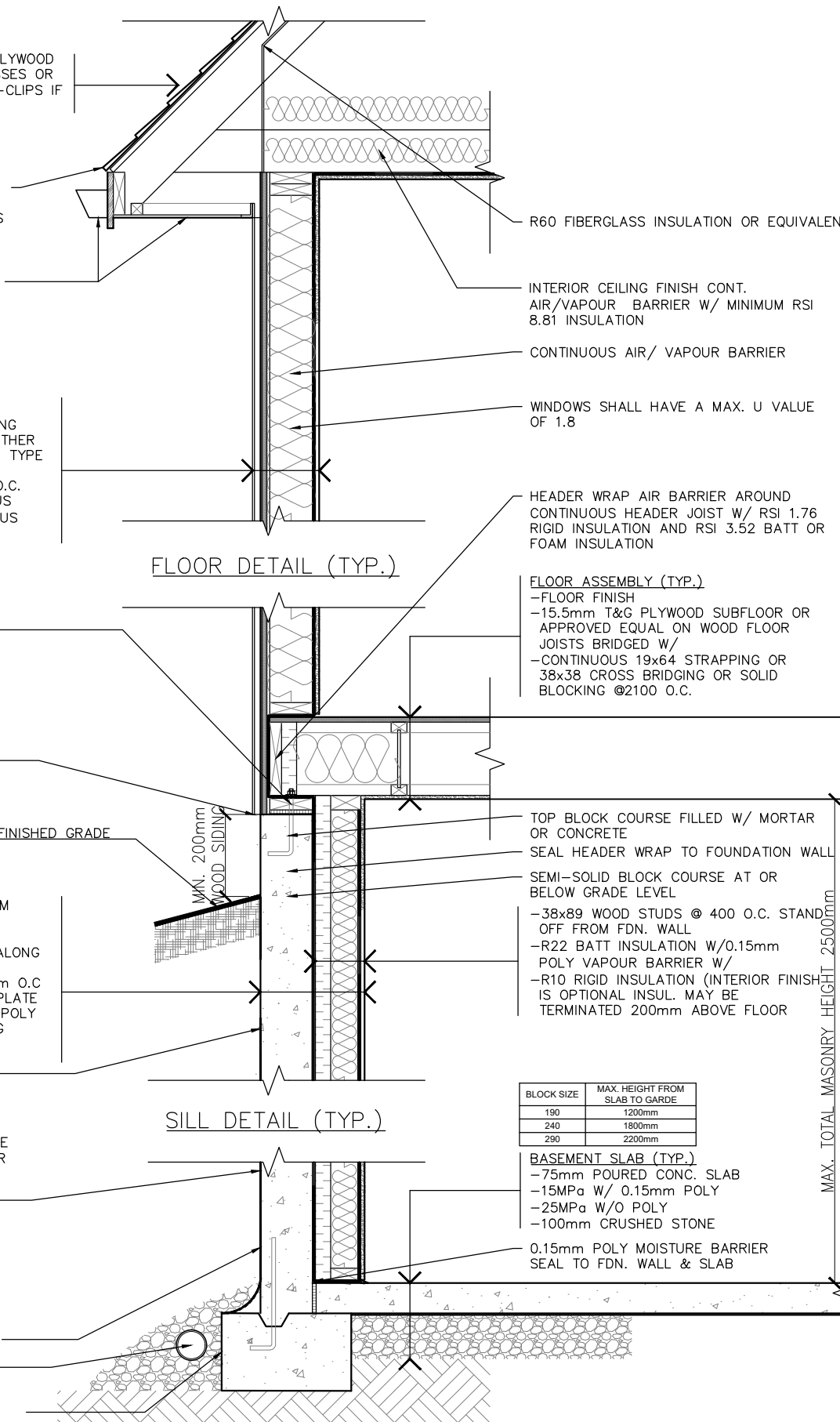
(POURED CONCRETE WALLS TO HAVE TIE HOLES FILLED WITH CEMENT MORTAR OR DAMPPROOFING)

**DRAINAGE LAYER**  
 - MIN. 19mm MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 57 KG/M3, OR  
 - MIN. 100mm OF FREE DRAINING GRANULAR MATERIAL, OR  
 - A B.M.E.C. APPROVED DRAINAGE LAYER MATERIAL

BACKFILL W/FREE DRAINING MATERIAL

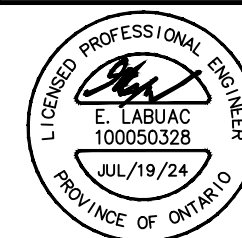
100mm DIA. WEEPING TILE WITH 150mm CRUSHED STONE COVER

610mmX200mm DEEP POURED CONCRETE FOOTING (TYP.) FOOTING TO BEAR ON UNDISTURBED SOIL



1 TYPICAL DETAILS  
A-11 N.T.S.

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
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PROJECT NAME:  
**PROPOSED  
 2 STOREY GARDEN HOME**

DRAWING TITLE:  
**TYPICAL DETAILS**

SCALE AS INDICATED  
 DWG. NO. A-11  
 DRAWN BY:  
 CHECKED BY: S.K.

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## GENERAL NOTES:

–ALL CONSTRUCTION SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. UNLESS NOTED OTHERWISE, THE CODE REFERENCES ARE FROM 2012 OBC, O.REG. 332/12 DIVISION–B,PART 9.

### SOIL REPORT:

–SOIL BEARING CAPACITY TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.

### CONCRETE:

–UNLESS SPECIFIED ELSEWHERE, THE COMPRESSIVE STRENGTH OF UN–REINFORCED CONCRETE SHALL BE NOT LESS THAN 15MPa AFTER 28 DAYS. GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK INCLUDING FOOTING SHALL BE NOT LESS THAN 32MPa CONCRETE WITH 5%–8% AIR ENTRAINMENT AS PER SENTENCE 9.3.1.6.(1).  
–PROVIDE BOND–BREAKING MATERIAL BETWEEN CONCRETE FLOOR SLAB AND FOOTINGS AS PER SENTENCE 9.16.4.4.(1).  
–WHERE DAMP–PROOFING IS NOT PROVIDED THE CONCRETE USED FOR FLOORS ON GROUND SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN 25MPa AFTER 28 DAYS AS PER SENTENCE 9.16.4.5.(1).  
–CONCRETE SLABS IN ATTACHED OR BUILT–IN GARAGES SHALL BE SLOPED TO DRAIN TO THE EXTERIOR AS PER SENTENCE 9.35.2.2.(1).

### FOOTINGS AND FOUNDATIONS:

–FOOTING AND FOUNDATIONS SHALL CONFORM TO SECTION 9.15.  
–ALL FOOTINGS SHALL REST ON UNDISTURBED SOILS WITH AN ALLOWABLE BEARING PRESSURE OF 120KPa OR GREATER FOR BUILDINGS OF WOOD FRAME OR MASONRY CONSTRUCTION (SEE SOILS REPORT WHERE APPLICABLE).  
–FOOTING SIZE SHALL BE ADJUSTED AS PER SUBSECTION 9.15.3., WHERE APPLICABLE.  
–WHERE STEP FOOTINGS ARE USED, THE VERTICAL RISE SHALL NOT EXCEED 600mm, AND THE HORIZONTAL RUN SHALL NOT BE LESS THAN 600mm AS PER ARTICLE 9.15.3.9.  
–MAXIMUM HEIGHT OF BACKFILL FOR FOUNDATION WALLS SHALL CONFORM TO SUBSECTION 9.15.4.  
–EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 150mm ABOVE FINISHED GROUND LEVEL AS PER SENTENCE 9.15.4.6.(1) AND THE SUITABLE FINISHED AS PER ARTICLE 9.15.6.2.  
–EXTERIOR SURFACES OF CONCRETE BLOCK FOUNDATION WALLS SHALL BE PARGED WITH NOT LESS THAN 6mm OF MORTAR AND FINISHED AS PER ARTICLE 9.13.2.1. ALL WATERPROOFING TO CONFORM TO ARTICLE 9.13.3.  
–INSTALL ASPHALT COATED BUILDING PAPER BETWEEN FOUNDATION WALLS AND BASEMENT WOOD STUDS ON INTERIOR FACE.  
–WATERPROOFING OF FOUNDATION WALLS AS PER ARTICLE 9.13.3.5.

### FLOORS AND WALLS:

–ALL FLOORS IN RESIDENTIAL OCCUPANCIES TO BE FINISHED AND OR WATER RESISTANT AS PER ARTICLES 9.30.1.1 AND 9.30.1.2 AND ALL WALL TILE FINISH TO COMPLY TO SUBSECTION 9.29.10.  
–ALL GYPSUM WALL BOARD AND INSTALLATION TO COMPLY WITH SUBSECTION 9.29.5. GYPSUM BOARD FINISH (TAPED JOINTS). INTERIOR WALLS AND CEILING FINISHES TO COMPLY WITH SUBSECTION 9.29.

### STUD WALL REINFORCEMENT:

–PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO ARTICLE 9.5.2.3 FOR THE INSTALLATION OF GRAB BARS.

### MASONRY:

–WHERE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO INSTALL MASONRY EXTERIOR FACING, FILL VOIDS BETWEEN WALL AND FACING WITH MORTAR AS PER ARTICLE 9.15.4.7.  
–MASONRY SUPPORTING BEAMS COLUMNS SHALL CONFORM TO ARTICLE 9.20.8.4.  
–CORBELLING OF SOLID MASONRY UNITS SHALL CONFORM TO SUBSECTION 9.20.12.  
–PROVIDE WEEPHOLES SPACED NOT MORE THAN 800mm APART IN MASONRY VENEER WALLS AS REQUIRED IN ARTICLE 9.20.13.8.  
–EXPOSED FLASHING MATERIALS SHALL CONFORM TO ARTICLE 9.20.13.1. PROVIDE FLASHING FOR WEEPHOLES IN MASONRY VENEER/MASONRY WALLS AS PER ARTICLES 9.20.13.5.  
–FLASHING BENEATH WEEPHOLES IN MASONRY VENEER OVER WOOD FRAME WALL SHALL BE INSTALLED SO THAT IT EXTENDS FROM NOT LESS THAN 5mm BEYOND THE FRONT EDGE OF THE MASONRY TO 150mm UP BEHIND THE SHEATHING PAPER AS PER SENTENCE 9.20.13.6.(2).  
–PROVIDE DRIP EDGE AT WINDOW SILLS AS PER ARTICLE 9.20.13.12.  
–MASONRY AND CONCRETE CHIMNEYS AND FLUES SHALL CONFORM TO SECTION 9.21.  
–PROVIDE LATERAL STABILITY FOR CHIMNEYS AS PER ARTICLE 9.21.4.5. CHIMNEY CAPS SHALL CONFORM TO ARTICLE 9.21.4.6. BRICK THICKNESS FOR CHIMNEYS SHALL CONFORM TO ARTICLE 9.22.  
–INTERSECTIONS OF ROOFS AND MASONRY WALLS SHALL CONFORM TO ARTICLES 9.26.4.4. AND 9.26.4.6.

### BUILDING STRUCTURE:

–UNLESS NOTED OTHERWISE, LUMBER AND WOOD PRODUCTS SHALL CONFORM TO SUBSECTION 9.3.2.  
–BUILT–UP WOOD COLUMNS SHALL CONFORM TO SENTENCE 9.17.4.2.(2).  
–ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED SO AS TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY. SEE ARTICLE 9.23.2.1.  
–STEEL BEAMS SHALL AT LEAST MEET THE REQUIREMENTS FOR GRADE 350 W STEEL IN CAN/CSA–G40.21–04, "GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL." SEE ARTICLE 9.23.4.3.  
–PROVIDE LATERAL SUPPORT FOR STEEL BEAMS AS PER SENTENCE 9.23.4.3.(3).  
–BUILDING FRAMES SHALL BE ANCHORED TO THE FOUNDATION BY FASTENING

THE SILL PLATE WITH 12.7mm DIA. ANCHOR BOLTS MAX. 2.4m O.C. AND EMBEDDED MINIMUM 100mm IN FOUNDATION. SEE ARTICLE 9.23.6.1.  
–COLUMNS SHALL BE SECURELY FASTENED TO THE BEAM TO PREVENT LATERAL MOVEMENT. ANCHORAGE OF EXTERIOR COLUMNS AND POSTS SHALL CONFORM TO ARTICLE 9.23.6.2.  
–PROVIDE ADEQUATE LEVEL BEARING FOR ALL BEAMS AT THE END SUPPORTS AS PER ARTICLE 9.23.8.1.  
–POSTS SUPPORTING BEAMS SHALL BE PROVIDED WITH CONTINUOUS SOLID SUPPORT TO THE TOP OF FOUNDATION WALL OR FOOTING.  
–NAILING/BOLTING PATTERNS FOR BUILT–UP WOOD BEAMS SHALL CONFORM TO SENTENCES 9.23.8.3.(7) AND (8).

–JOISTS FRAMED INTO THE SIDE OF A STEEL BEAM SHALL CONFORM TO SENTENCES 9.23.9.2.(3),(4), AND (5).  
–PROVIDE JOIST TWISTING RESTRAINT AS PER ARTICLE 9.23.9.3.  
–NON–LOADBEARING WALLS SHALL BE SUPPORTED BY JOISTS BENEATH THE WALL OR ON BLOCKING BETWEEN THE JOISTS AS PER ARTICLE 9.23.9.8.  
–THE SIZE AND SPACING OF WALL STUDS SHALL CONFORM TO TABLE 9.23.10.1. STUDS FOR WALLS NOT LISTED IN TABLE 9.23.10.1 AND SUPPORTING ROOF LOADS SHALL CONFORM TO TABLES A–30 TO A–33.  
–PROVIDE CONTINUITY OF STUDS AS PER ARTICLE 9.23.10.4.  
–PROVIDE EDGE SUPPORT FOR SUBFLOOR AS PER ARTICLE 9.23.14.3.  
–ROOF SHEATHING MEMBRANE SHALL CONFORM TO CAN/CGSB–51.32–M, "SHEATHING MEMBRANE BREATHER TYPE" AS PER ARTICLE 9.27.3.2.  
–INSTALLATION OF ROOF TRUSSES AND/OR ENGINEERED FLOOR FRAMING SYSTEMS SHALL CONFORM TO THE MANUFACTURERS CERTIFIED SPECIFICATIONS AND THE OBC.  
–ALL CONVENTIONAL ROOF FRAMING MEMBERS THAT MEET OR CROSS OVER TRUSSES SHALL DISTRIBUTE THE ROOF LOADS UNIFORMLY TO THE ROOF BELOW AND SHALL BE SPACED AT MAXIMUM 600mm O.C.  
–PROVIDE EAVES PROTECTION ON SHINGLE, SHAKE OR TILE ROOFS AS PER SUBSECTION 9.26.5.

### ELECTRICAL:

–ELECTRICAL FACILITIES SHALL CONFORM TO SECTION 9.34.  
–ELECTRICAL OUTLETS IN DWELLING UNITS TO CONFORM TO ARTICLE 9.34.2.2.

### FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES:

–ALL FIRE PROTECTION FOR GAS, PROPANE AND ELECTRIC RANGES TO CONFORM TO ARTICLE 9.10.22.

### DOORS, WINDOWS, SKYLIGHTS AND INTERIOR FINISHES:

–ROOMS AND SPACES SHALL CONFORM TO SECTIONS 9.5.  
–FOR NEW DOORS SIDELIGHTS AND WINDOW RESISTANCE TO FORCE ENTRY, SEE SUBSECTIONS 9.7.5.2.  
–FLAME SPREAD RATING SHALL NOT EXCEED 150 ON WALLS AND CEILINGS.  
–DOORS BETWEEN GARAGES AND DWELLING UNITS SHALL BE TIGHT FITTING, WEATHERSTRIPPED AND HAVE A SELF–CLOSING DEVICE CONFORMING TO SENTENCES 9.10.13.15.(1) AND (2).  
–WATERPROOF FINISH SHALL BE PROVIDED ON WATER RESISTANT BACKING, AROUND SHOWERS AND BATHTUBS AS PER ARTICLES 9.29.2 AND 9.29.10.4.  
–CONCEALED FLASHING BENEATH WINDOW SILLS OR SILLS TO BE PROVIDES WITH AN OUTWARD SLOPE – 9.27.3.8.  
–ALL CAULKING TO COMPLY WITH SUBSECTION 9.27.4.  
–ALL SKYLIGHTS TO CONFORM TO STANDARDS REFERENCE UNDER SUBSECTION 9.7.4.2.  
–WHEN CERAMIC TILE IS SET IN A MORTAR BED, THE BED SHALL BE NOT LESS THAN 32mm THICK A 50mmX50mm GALVANIZED WIRE MESH SHALL BE PLACED IN THE MORTAR BED AND ASPHALT SHEATHING PAPER, FELT OR POLYETHYLENE FILM SHALL BE APPLIED UNDER MORTAR BED WHEN THE MORTAR IS APPLIED OVER WOODEN SUBFLOORS. SEE ARTICLE 9.30.6. AND 9.23.14.  
–EXCEPT FOR BATHROOMS OR WATER CLOSET ROOMS, FINISHED ROOMS SHALL BE PROVIDED WITH A MINIMUM 0.28m<sup>2</sup> UNOBSTRUCTED OPENABLE VENTILATION AREA TO THE OUTDOORS WHERE SUCH ROOMS ARE NOT VENTILATED MECHANICALLY. SEE SUBSECTION 9.32.2 AND TABLE 9.32.2.1.  
–ALL GLASS SHOWER STALLS WILL CONFORM TO ARTICLE 9.6.1. – SAFETY GLASS FOR SHOWER STALLS.  
–WALLS WITH TILE FINISHES SHALL CONFORM TO SUBSECTION 9.29.10 "WALL TILE FINISH" AND ALL DRYWALL FINISH SHALL COMPLY WITH SUBSECTION 9.29.5. FOR GYPSUM BOARD FINISH (TAPED JOINTS).

### BEDROOM WINDOWS:

–BEDROOM SHALL HAVE A MINIMUM UNOBSTRUCTED WINDOW GLASS AREA OF 5% OF AREA SERVED AS PER SENTENCE 9.7.2.3.(1).  
–EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM SHALL HAVE AT LEAST ONE OUTSIDE WINDOW WHICH IS OPENABLE FROM INSIDE WITH AN UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35m<sup>2</sup> WITH NO DIMENSION LESS THAN 380mm, AND CAPABLE OF MAINTAINING THE REQUIRED OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT. SEE ARTICLES 9.9.10.1  
–PROVIDE A 1000mm HIGH X 550mm WIDE WINDOW OPENING WITH A SILL AT THE MAXIMUM 1000mm ABOVE THE FLOOR AND MAXIMUM 7.0m ABOVE THE GROUND WHERE IT IS NECESSARY TO TRAVEL DOWN MORE THAN ONE STOREY TO REACH AN EXIT DOOR FROM THAT STOREY. SEE SENTENCE 9.9.9.1.(2).

### GUARDS:

–GUARDS SHALL CONFORM TO SUBSECTION 9.8.8.  
–GUARDS SHALL BE DESIGNED TO RESIST THE LOADS SPECIFIED IN TABLE 9.8.8.2. SEE SENTENCE 9.8.8.2.(1).  
–GLASS IN GUARDS TO CONFORM TO MMAH SUPPLEMENTARY STANDARD SB–13.

### STAIRS (INTERIOR/EXTERIOR):

–AT LEAST 1 STAIR BETWEEN EACH FLOOR LEVEL WITHIN A DWELLING UNIT, AND EXTERIOR STAIRS SERVING A SINGLE DWELLING UNIT EXCEPT REQUIRED

EXIT STAIRS, SHALL HAVE A WIDTH OF NOT LESS THAN 860mm. SEE SENTENCE 9.8.2.1.(2).  
–MINIMUM HEIGHT OVER STAIRS AND LANDINGS WITHIN DWELLING UNITS SHALL BE 1.95m. SEE SENTENCES 9.8.2.2.(1) AND 9.8.6.4.(1).  
–ALL STAIRS SERVING A SINGLE DWELLING UNIT MUST MEET UNIFORM LOADING DESIGN REQUIREMENTS OF 1.9KPa.  
–INTERIOR/EXTERIOR STAIRS IN SINGLE DWELLING UNITS

	MAX	MIN.
RISE	200mm	125mm
RUN	355mm	255mm
TREAD DEPTH	355mm	285mm

–CURVED STAIRS SHALL HAVE AN AVERAGE RUN OF NOT LESS THAN 200mm AND A MINIMUM RUN OF 150mm AS PER SENTENCE 9.8.4.4.(2).  
–HEIGHT OF HANDRAILS ON STAIR/RAMPS SHALL BE 865mm MINIMUM AND 965mm MAXIMUM AS PER SENTENCE 9.8.7.4.(2).  
–HEIGHT OF HANDRAILS ON LANDINGS (WHERE GUARDS ARE REQUIRED) SHALL BE 1070mm MAXIMUM AS PER SENTENCE 9.8.7.4.(3).

–GUARDS FOR FLIGHTS OF STEPS, EXCEPT IN REQUIRED EXIT STAIRS, SHALL NOT BE LESS THAN 900mm HIGH AS PER SENTENCE 9.8.8.3.(4).

### SMOKE ALARMS AND CARBON MONOXIDE ALARMS:

–SMOKE ALARMS CONFORMING TO CAN/ULC–S531, "SMOKE ALARMS" SHALL BE INSTALLED IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM. SMOKE ALARMS SHALL BE INSTALLED AS PER 9.10.19. THE LOCATIONS SHALL COMPLY WITH 9.10.19.3.  
–SMOKE ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND AS PER 9.10.19.5. CARBON MONOXIDE DETECTION CONFORMING TO SUBSECTION 6.2.12. AND/OR SUBSECTION 9.3.4 SHALL BE INSTALLED.

### ROOFS, ROOF SPACES, VENTILATION AND DRAINAGE:

–EXCEPT WHERE IT CAN BE SHOWN TO BE UNNECESSARY, WHERE INSULATION IS INSTALLED BETWEEN A CEILING AND THE UNDERSIDE OF THE ROOF SHEATHING, A SPACE SHALL BE INSTALLED TO PERMIT THE MOVEMENT OF AIR FROM THE SPACE TO THE EXTERIOR. THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/300 OF THE INSULATED CEILING AREA. WHERE THE ROOF SLOPE IS LESS THAN 1 IN 6 OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/150 OF THE INSULATED CEILING AREA. NOT LESS THAN 25% OF THE VENTS SHALL BE LOCATED NEAR THE ROOF RIDGE. SEE ARTICLES 9.19.1.1 AND 9.19.1.2.  
–PROVIDE A NATURAL VENTILATION AREA OF 0.1m<sup>2</sup> PER 50m<sup>2</sup> OF UNHEATED CRAWL SPACE AREA AS PER SENTENCE 9.18.3.1.(2).  
–PROVIDE MINIMUM 0.2% OF UNFINISHED BASEMENT FLOOR AREA, AS UNOBSTRUCTED NATURAL VENTILATION TO THE OUTDOORS AS PER TABLE 9.32.2.1.  
–ATTIC ACCESS HATCH SHALL BE MINIMUM 0.32m<sup>2</sup> IN AREA WITH NO DIMENSION LESS THAN 545mm AS PER ARTICLE 9.19.2.1.  
–ROOF DRAINS, DOWN SPOUTS (ROOF GUTTERS) SHALL CONFORM TO SUBSECTION 9.26.18.(SEE ALSO DEFINITION IN ARTICLE 1.4.1.2 OF DIVISION A).  
–SURFACE AND SUBSURFACE DRAINAGE SHALL CONFORM TO SECTION 9.14.  
–DRAINAGE TILES OR PIPES SHALL BE INSTALLED AS PER ARTICLE 9.14.3.3.

### BASEMENT WALKOUT AND LOOKOUT CONDITIONS:

–WHERE BACKFILL HEIGHT EXCEEDS 1.2m, PROVIDE LATERAL STABILITY TO FOUNDATION WALLS AS PER ARTICLES 9.15.4.2 AND 9.15.4.3.  
–BRICK VENEER SHALL NOT BE LOADBEARING.  
–PROVIDE A 1070mm HIGH GUARD.  
–AT WALKOUTS, PROVIDE A THREE WAY SWITCH AT THE BOTTOM OF THE BASEMENT STAIRS AND AT EXTERIOR DOORS.  
–STRIP FOOTINGS SHALL CONFORM TO TABLE 9.15.3.4. AND ARTICLES 9.15.3.4 AND 9.15.3.5.  
–PROVIDE ADEQUATE SIZE OF STEEL COLUMNS ON TOP OF THE FOUNDATION WALL IN ORDER TO SUPPORT THE STEEL BEAMS. PROVIDE WOOD AND STEEL LINTELS OVER BASEMENT WINDOWS AS PER ARTICLES 9.23.12.3 AND TABLE 9.20.5.2.B.

### MISC.

–ALL GLASS SHOWER AND BATH ENCLOSURES TO MEET REQUIREMENTS OF ARTICLE 9.6.1. –STUD WALL REINFORCING REQUIRED IN ALL BATHROOMS AS PER OBC 9.5.2.3.

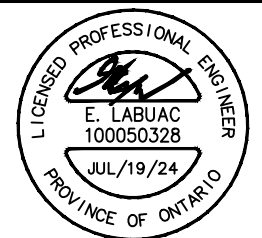
## Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025

MM/DD/YYYY

6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
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PREPARED BY:

**LAND & BUILDING EXPERTS**

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(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:

**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:

**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:

**GENERAL NOTES**

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SCALE AS INDICATED

DRAWN BY:

CHECKED BY: S.K.

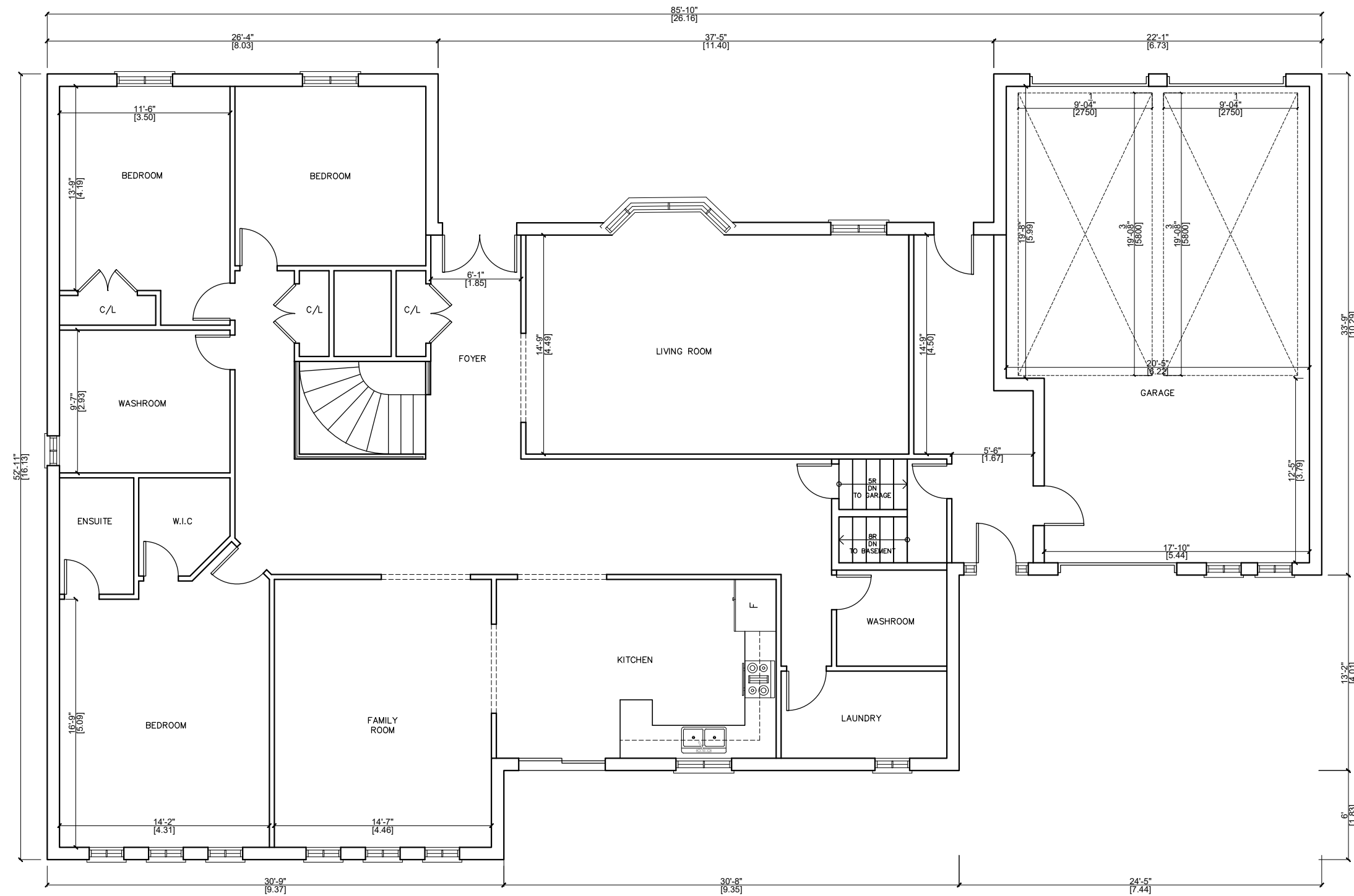
DWG. NO.

**A-12**

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



1 EXISTING FIRST FLOOR PLAN (MAIN BUILDING)  
A-13 SCALE = 1/8" = 1'-0" (1:96)

FLOOR AREA CALCULATION (MAIN BUILDING)	
FIRST FLOOR AREA	327.54m <sup>2</sup> (3525.67ft <sup>2</sup> )
SECOND FLOOR AREA	253.15m <sup>2</sup> (2724.94ft <sup>2</sup> )
GARAGE	-57.90m <sup>2</sup> (-623.25ft <sup>2</sup> )
TOTAL GFA(GROSS FLOOR AREA)	522.79m <sup>2</sup> (5627.36ft <sup>2</sup> )

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6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
3	FOR BUILDING PERMIT	02/09/2024
2	FOR BUILDING PERMIT	12/21/2023
1	CLIENT REVIEW	09/20/2023



PREPARED BY:  
**LAND & BUILDING EXPERTS**  
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5  
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**EXISTING FIRST FLOOR  
PLAN (MAIN BUILDING)**

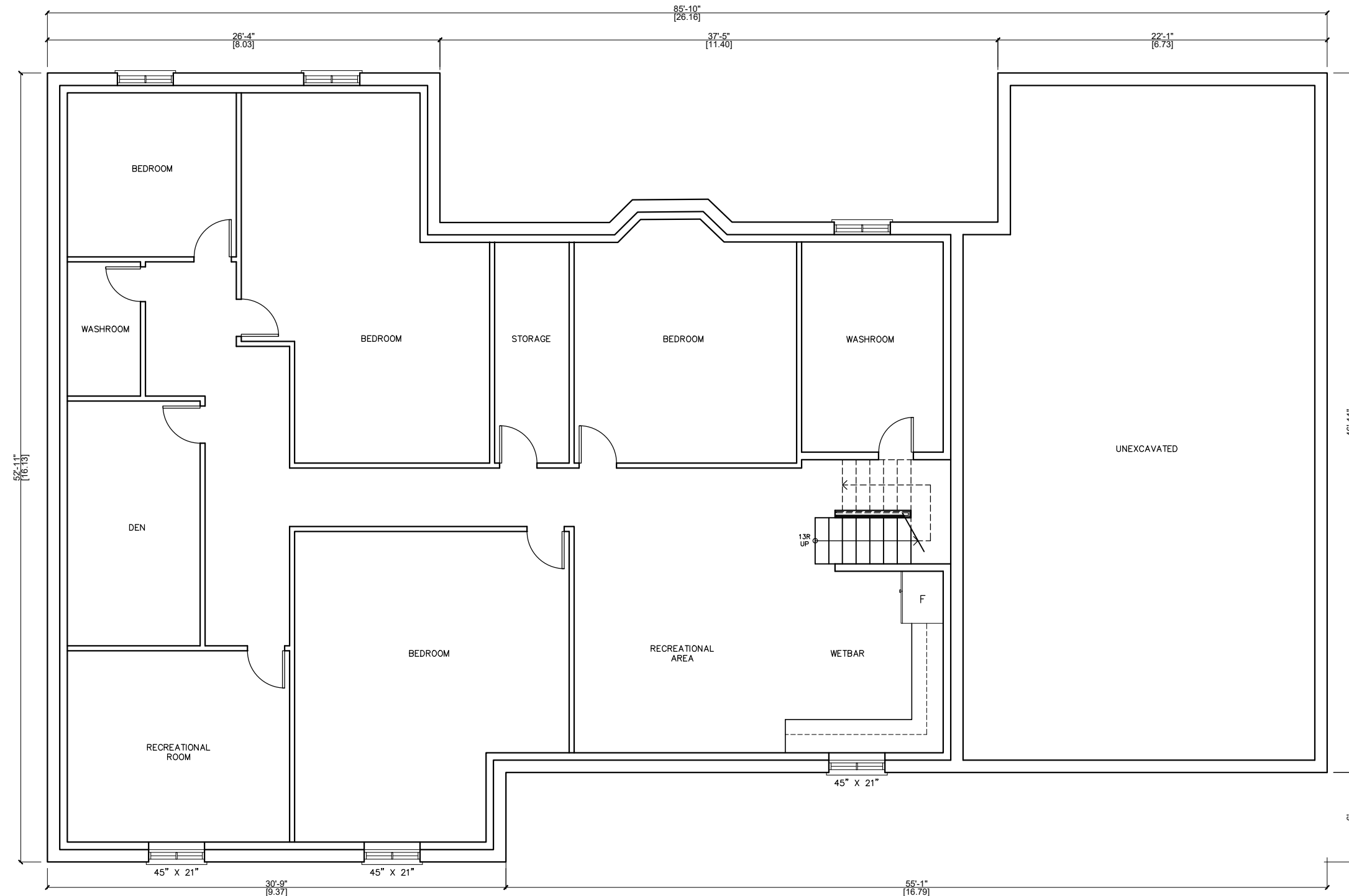
SCALE AS INDICATED  
DRAWN BY:  
CHECKED BY: S.K.

DWG. NO.  
**A-13**

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY



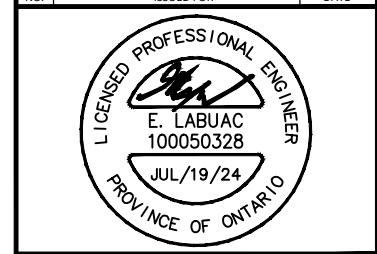
1 EXISTING BASEMENT PLAN (MAIN BUILDING)  
A-14 SCALE - 1/8" = 1'-0" (1:96)

FLOOR AREA CALCULATION (MAIN BUILDING)	
FIRST FLOOR AREA	327.54m <sup>2</sup> (3525.67ft <sup>2</sup> )
SECOND FLOOR AREA	253.15m <sup>2</sup> (2724.94ft <sup>2</sup> )
GARAGE	-57.90m <sup>2</sup> (-623.25ft <sup>2</sup> )
TOTAL GFA(GROSS FLOOR AREA)	522.79m <sup>2</sup> (5627.36ft <sup>2</sup> )

**DO NOT SCALE DRAWINGS.**  
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and informations before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.

NO.	ISSUED FOR	DATE
6	FOR MINOR VARIANCE	07/19/2024
5	REVISION 1	05/22/2024
4	FOR MINOR VARIANCE	05/21/2024
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PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**EXISTING BASEMENT  
PLAN (MAIN BUILDING)**

SCALE AS INDICATED DWG. NO.  
DRAWN BY: A-14  
CHECKED BY: S.K.

# Appendix B

File: 24.185575.000.00.MNV

Date: 3/27/2025  
MM/DD/YYYY

GLAZED OPENING OBC (SECTION 9) 9.10.15.4				
	EXPOSED BUILDING FACE (m <sup>2</sup> )	LIMITING DISTANCE (m)	MAX. ALLOWED OPENING PERCENTAGE	OPENING PROVIDED
REAR (SOUTH SIDE) FACE A	36.22 m <sup>2</sup> (389.95 ft <sup>2</sup> )	8.07 m	28% (10.14m <sup>2</sup> )	21.31% (7.72m <sup>2</sup> )
REAR (SOUTH SIDE) FACE B	101.00 m <sup>2</sup> (1087.22 ft <sup>2</sup> )	8.07 m	28% (10.11m <sup>2</sup> )	15.48% (5.59m <sup>2</sup> )
REAR (SOUTH SIDE) FACE C	28.66 m <sup>2</sup> (308.51 ft <sup>2</sup> )	10.54 m	40% (11.46m <sup>2</sup> )	34.08% (9.77m <sup>2</sup> )

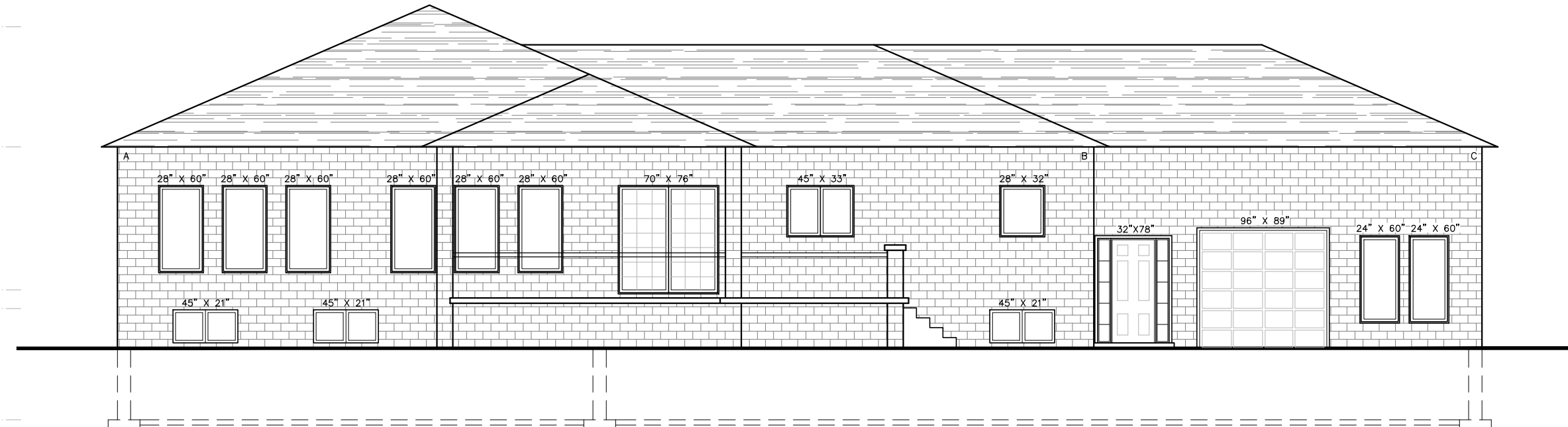
TOP OF ROOF

FIRST FLOOR CEILING

FINISHED FIRST FLOOR

U/S OF CEILING

FINISHED BASEMENT FLOOR



1 EXISTING REAR ELEVATION (MAIN BUILDING)  
A-15 SCALE - 1/8" = 1'-0" (1:96)

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NO.	ISSUED FOR	DATE



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PROJECT INFO:  
**59 LEE AVE,  
MARKHAM, ON L3R 8G4**

PROJECT NAME:  
**PROPOSED  
2 STOREY GARDEN HOME**

DRAWING TITLE:  
**EXISTING REAR ELEVATION  
(MAIN BUILDING)**

SCALE AS INDICATED DWG. NO.  
DRAWN BY: A-15  
CHECKED BY: S.K.

**APPENDIX “C”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/088/24**

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as ‘Appendix B’ to this Staff Report and received by the City of Markham on March 25, 2025, and that the Secretary-Treasurer receive written confirmation from the Supervisor of the Committee of Adjustment or designate that this condition has been fulfilled to their satisfaction.

CONDITIONS PREPARED BY:



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Barton Leung, Senior Planner, Central District, Planning and Urban Design Department