

# Memorandum to the City of Markham Committee of Adjustment

October 29, 2020

**File:** A/01/19  
**Address:** 62 Sherwood Forest Drive, Markham  
**Applicant:** SMDA Design Ltd.  
**Agent:** SMDA Design Ltd.  
**Hearing Date:** Wednesday November 04, 2020

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following Residential (R2) zone requirements of By-law 1229, as amended, as they relate to a proposed two-storey detached dwelling that is currently under construction:

a) **Infill By-law 99-90, Section 1.2 (iii):**

To permit a maximum building depth of 17.4 metres (57.1 ft), whereas the By-law permits a maximum building depth of 16.80 metres (55.12 ft).

## **Comments**

This application was previously heard at the March 13, 2019 Committee of Adjustment meeting, requesting variances to permit a maximum building depth of 17.55 m (57.6 ft) and a maximum floor area ratio of 49.9 percent. At the time, the Committee deferred the application due to concerns with the proposed building massing, roof design and compatibility with neighbouring properties. The applicant subsequently revised their plans to comply with the applicable by-law. A building permit was issued on September 24, 2019. During construction, the approved permit plans were not adhered to, requiring the applicant to submit revised plans, which are reflected in this current proposal.

The applicant is requesting a maximum building depth of 17.4 m (57.1 ft), whereas the by-law permits a maximum building depth of 16.80 m (55.12 ft). This is an increase of 0.6 m (1.97 ft). The proposed building depth includes a one-storey, front covered porch which adds approximately 0.91 m (3 ft) to the overall depth of the building. The main component of the two-storey dwelling, excluding the porch, has a depth of 16.23 m (53.25 ft) which complies with the by-law requirement. Staff's previous comments in the memorandum dated February 27<sup>th</sup> 2019 remain applicable (Appendix A'), and staff do not have concern with the revised building depth variance.

## **Zoning Preliminary Review (ZPR) Not Undertaken**

The owner has confirmed that a Zoning Preliminary Review (ZPR) has not been conducted. It is the owner's responsibility to ensure that the application has accurately identified all the variances to the Zoning By-law required for the proposed development. If the variance request in this application contains errors, or if the need for additional variances is identified during the Building Permit review process, further variance application(s) may be required to address the non-compliance.

## **PUBLIC INPUT SUMMARY**

As of the initial circulation in 2019, Staff have received one letter of support and one letter of objection. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

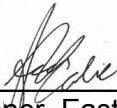
**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please see Appendix "B" for conditions to be attached to any approval of this application.

PREPARED BY:



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Aqsa Malik, Planner, East District

REVIEWED BY:



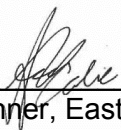
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Stephen Corr, Development Manager, East District

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**APPENDIX "B"**  
**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/01/19**

1. The variances apply only to the proposed development as long as it remains; and
2. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix C' to this Staff Report and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.

CONDITIONS PREPARED BY:

  
\_\_\_\_\_  
Aqsa Malik, Planner, East District

# Appendix A

File: 19.102988.000.00.MNV

Date: 10/29/20  
MM/DD/YY

## Memorandum to the City of Markham Committee of Adjustment February 27, 2019

**File:** A/01/19  
**Address:** 62 Sherwood Forest Dr, Markham  
**Applicant:** Usha & Vishnu Doobay  
**Agent:** SMDA (Rick Mateljan)  
**Hearing Date:** Wednesday March 13, 2019

The following comments are provided on behalf of the East Team:

The applicant is requesting relief from the following requirements of By-law 1229, R2, as amended:

- a) **Infill By-law 99-90, Section 1.2 (iii):**  
a maximum building depth of 17.55 metres, whereas the By-law permits a maximum building depth of 16.80 metres;
- b) **Infill By-law 99-90, Section 1.2 (vi):**  
a maximum Net Floor Area Ratio of 49.9 percent; whereas the By-law permits a maximum Net Floor Area of 45percent.

as they relate to a proposed residential dwelling.

### BACKGROUND

#### Property Description

The 836.1 m<sup>2</sup> (8,999.71 ft<sup>2</sup>) subject property is located on the west side of Sherwood Forest Drive, east of Laidlaw boulevard and north of Highway 7 E. The property is located within a residential neighbourhood comprised of a mix of one and two-storey detached dwellings. There is an existing split level brick detached 160.72 m<sup>2</sup> (1,730 ft<sup>2</sup>) dwelling on the property, which according to assessment records was constructed in 1966 .Mature vegetation exists across the property.

#### Proposal

The applicant is proposing to construct a new two-storey detached 362.5 m<sup>2</sup> (3902 ft<sup>2</sup>) dwelling with a basement walkout, a rear deck and second-storey balcony as well as a covered outdoor storage area on the south side of the proposed dwelling.

#### Official Plan and Zoning

Official Plan 2014 (partially approved on Nov 24/17, and further updated on April 9/18)

The subject property is designated "Residential – Low Rise", which provides for low rise housing forms including single detached dwellings. Infill development is required to meet the general intent of the 2014 Official Plan with respect to height, massing and setbacks to ensure that the development is appropriate for the site and also generally consistent with the zoning requirements for adjacent properties and properties along the same street. Regard must also be had for retention of existing trees and vegetation, as well as the width of proposed garages and driveways. Planning staff have had regard for the infill development criteria in the preparation of the comments provided below.

#### Zoning By-Law 1229

The subject property is zoned R2 – 'Residential' in By-law 1229, as amended, which permits a single detached dwelling.

### Residential Infill Zoning By-law 99-90

The subject property is also subject to the Residential Infill Zoning By-law 99-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the by-law with respect to maximum building depth and, maximum Net Floor Area Ratio.

### **Applicant's Stated Reason(s) for Not Complying with Zoning**

According to the information provided by the applicant, the reason for not complying with Zoning is, "*client special requirements dictate increased floor area and dwelling depth*".

### **Zoning Preliminary Review (ZPR) Undertaken**

The owner has completed a Zoning Preliminary Review (ZPR) on February 14, 2019 to confirm the variances required for the proposed development.

### **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### **Increase in Maximum Building Depth**

The applicant is requesting relief to permit a maximum building depth of 17.55 m (57.6 ft), whereas the By-law permits a maximum building depth of 16.8 m (55.12 ft). This represents an increase of approximately 0.75 m (2.46 ft).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing through the point on the dwelling which is the nearest and the other through the point on the dwelling which is the farthest from the front lot line.

The variance relates to a front covered porch which adds approximately 2.74 m (9 ft) to the overall depth of the building. The main component of the building, excluding the porch, has a depth of 16.22 m (53.22 ft) which complies with the by-law requirement. The proposed covered porch will be unenclosed and does not span the full length of the front of the dwelling. The proposed dwelling will exceed the minimum required front, rear and side yard setbacks. Staff are of the opinion that the requested variance is appropriate for the development.

### **Increase in Maximum Floor Area Ratio**

The applicant is requesting relief to permit a floor area ratio of 49.9 percent, whereas the By-law permits a maximum floor area ratio of 45 percent. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 362.5 m<sup>2</sup> (3,902 ft<sup>2</sup>), whereas the By-law permits a dwelling with a maximum floor area of 326.6 m<sup>2</sup> (3,545.5 ft<sup>2</sup>). This represents an increase of approximately 35.9 m<sup>2</sup> (386.45 ft<sup>2</sup>).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area. It is not a definitive measure of the mass of the dwelling, since it does not include

“open to below” areas that may exist within the dwelling (e.g. two-storey foyers, atriums and/or stairs) and unenclosed exterior space indented into the proposed dwelling.

Records indicate that there is one (1) other home on Sherwood Forest Drive (160 Sherwood Forest Drive) which has been approved for an increase in maximum net floor area ratio of 49.8%. While the proposed dwelling will be larger than existing back split homes on the street, the building footprint meets other zoning provisions (such as setbacks, height and lot coverage) that establish the prescribed building envelope. The proposed dwelling is within the prescribed building footprint, except for building depth. The proposed increase in Floor Area Ratio is considered to be minor and, the proposed dwelling will be in keeping with the character of the neighbourhood.

**PUBLIC INPUT SUMMARY**

No written submissions were received as of February 27, 2019. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The Planning Act, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the Planning Act. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

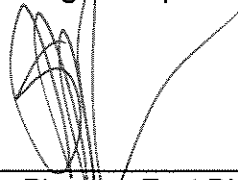
Please see Appendix “A” for conditions to be attached to any approval of this application.

PREPARED BY:



\_\_\_\_\_  
Aqsa Malik, Planner, Zoning and Special Projects

REVIEWED BY:



\_\_\_\_\_  
Stacia Muradali, Senior Planner, East District

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**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/01/19**

1. That the front covered porch remain unenclosed;
2. The variances apply only to the proposed development as long as it remains;
3. That the variances apply only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report and received by the City of Markham on *March 01, 2019*, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction;
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the City, and that the Secretary-Treasurer receive written confirmation from Tree Preservation Technician or Director of Operations that this condition has been fulfilled to his/her satisfaction, and that any detailed Siting, Lot Grading and Servicing Plan required as a condition of approval reflects the Tree Assessment and Preservation Plan;
5. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site in accordance with the City's Streetscape Manual, including street trees, in accordance with the City's Streetscape Manual (2009) as amended, and inspected by City Staff to the satisfaction of the Tree Preservation Technician or Director of Operations;
6. That tree replacements be provided and/or tree replacement fees be paid to the City if required in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Tree Preservation Technician or Director of Operations.

CONDITIONS PREPARED BY:

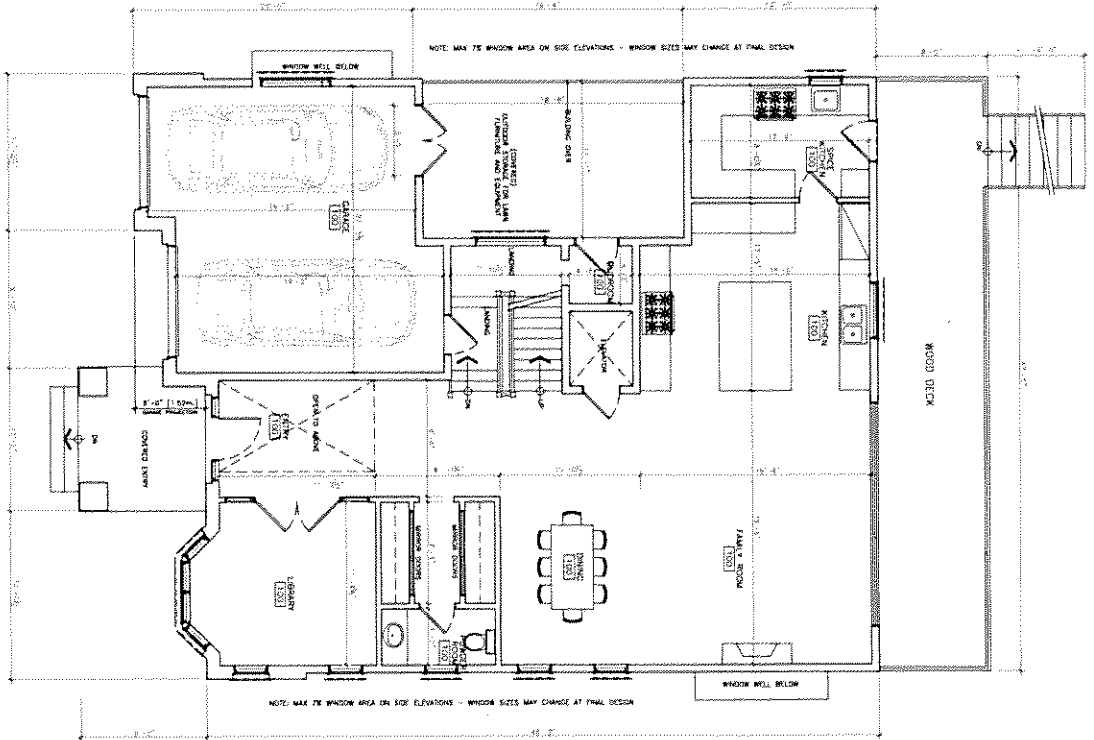


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Aqsa Malik, Planner, Zoning and Special Projects

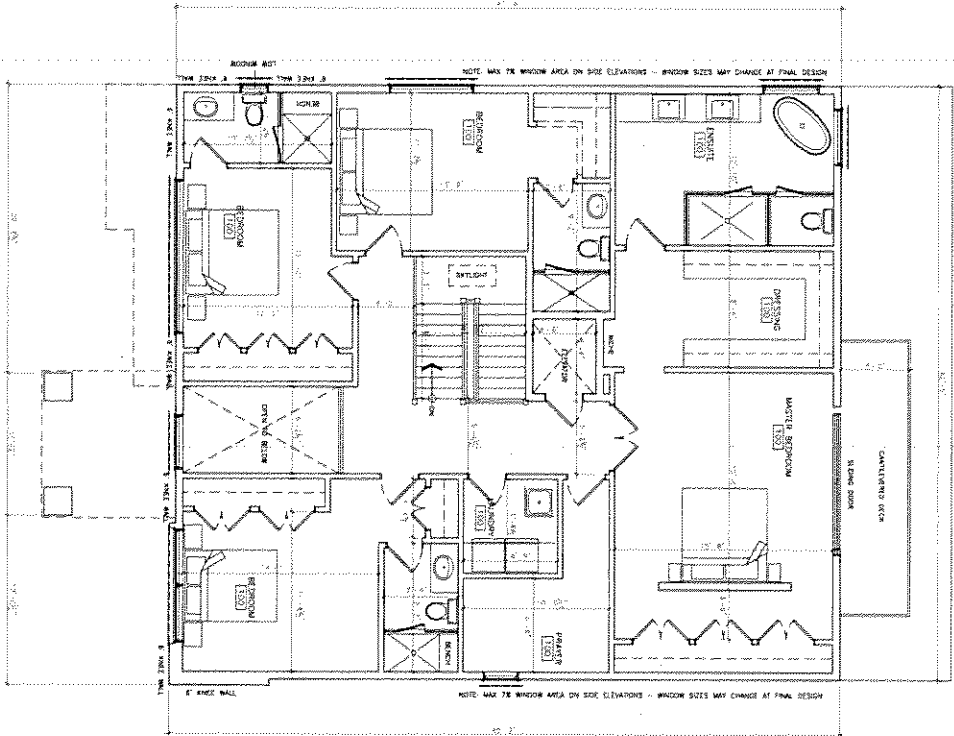








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315	FOR REVIEW	JUL 25 2023



**SHEET TITLE**  
**SECOND FLOOR**  
**PLAN**

**PROJECT:**  
**New House At:**  
**62 SHERWOOD**  
**FOREST DRIVE**

**PROJECT:**  
**AMBASSADOR**  
**FINE CUSTOM HOMES INC.**  
**2400 DUNDAS ST. WEST, SUITE 109**  
**MISSISSAUGA, ON L5K 2R8**  
**416.777.AFCH (T)**  
**TARIION REGISTRATION NO. 39012**

OWNER: CUSTOMER. ALL DESIGN, DETAIL, GRAPHIC AND WRITING SERVICES LISTED HEREON REPRESENT THE DESIGNER'S OBLIGATIONS AND NOT THE OBLIGATIONS OF THE CUSTOMER. THE DESIGNER'S OBLIGATIONS ARE LIMITED TO THE SERVICES SPECIFICALLY LISTED HEREON AND DO NOT INCLUDE ANY OTHER SERVICES. THE DESIGNER'S OBLIGATIONS ARE LIMITED TO THE SERVICES SPECIFICALLY LISTED HEREON AND DO NOT INCLUDE ANY OTHER SERVICES. THE DESIGNER'S OBLIGATIONS ARE LIMITED TO THE SERVICES SPECIFICALLY LISTED HEREON AND DO NOT INCLUDE ANY OTHER SERVICES. NO. ALL RIGHTS RESERVED.

NO.	REVISIONS	ISSUED
1	FOR REVIEW	MAY 13 2018
2	FOR REVIEW	MAY 13 2018
3	FOR REVIEW	MAY 13 2018
4	FOR REVIEW	MAY 13 2018
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**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**

**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**

**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**

**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**

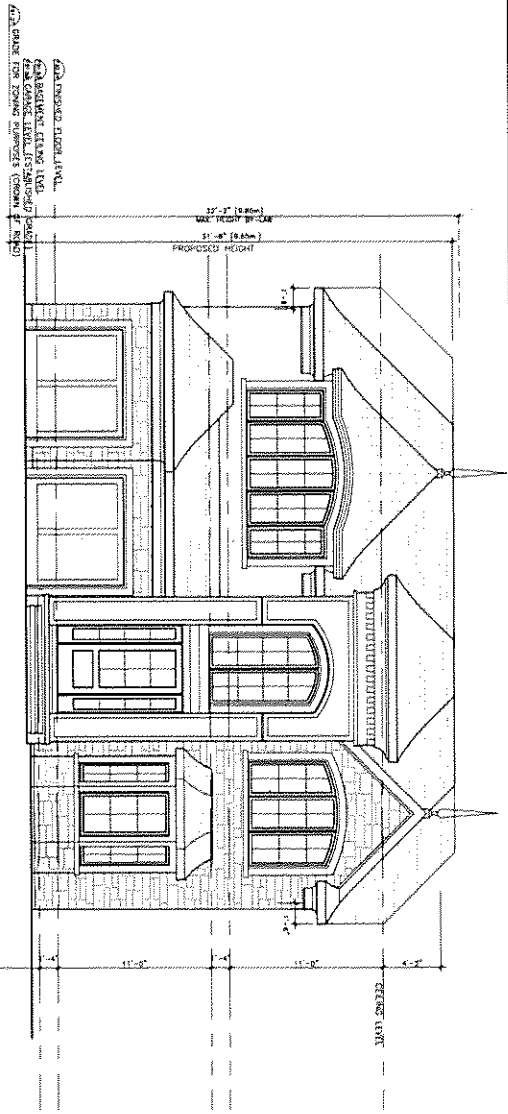
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**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**

**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**

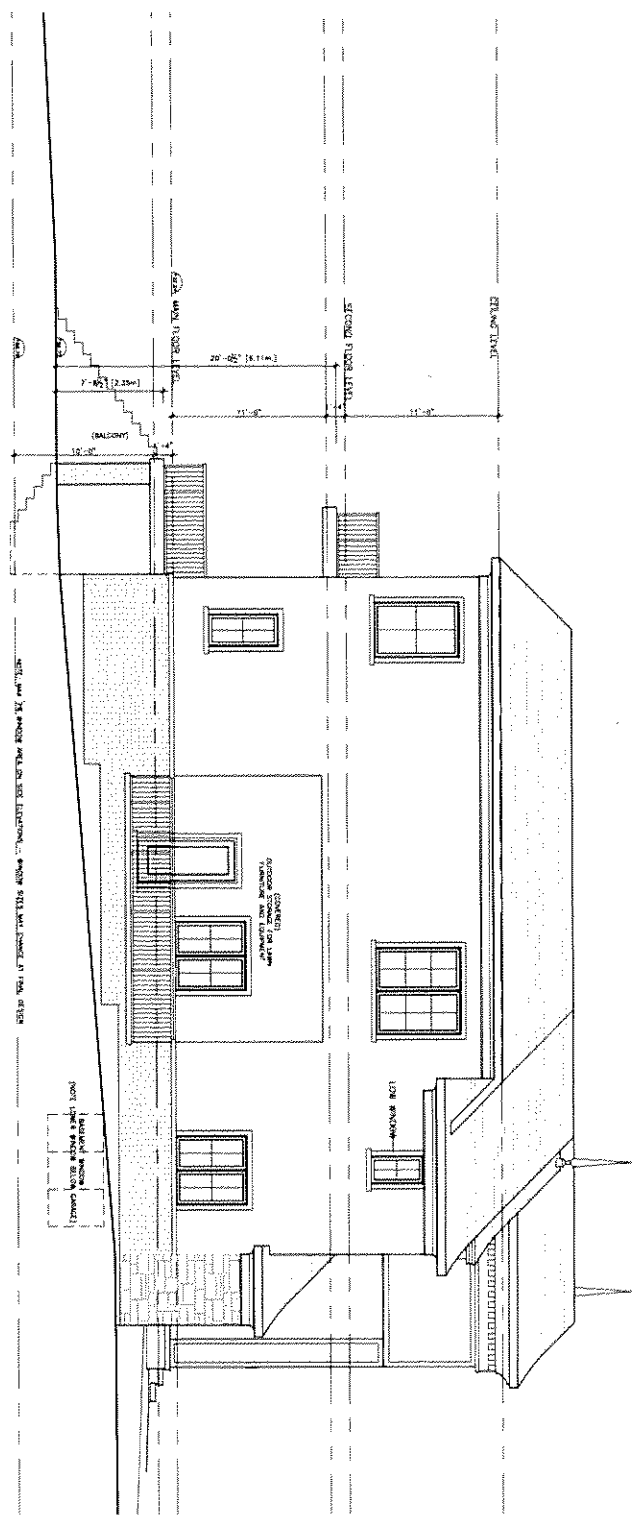
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**SCALE**  
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**FILE NO.**  
**MARKHAM**

**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
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**FILE NO.**  
**MARKHAM**

**PROJECT NO.**  
**DATE**  
**SCALE**  
**DRAWN**  
**CHECKED**  
**FILE NO.**  
**MARKHAM**



(A) PROPOSED FLOOR LEVEL  
 (B) EXISTING FLOOR LEVEL  
 (C) FINISH GRADE LEVEL (3.25m) (3.25m)  
 (D) GRADE FOR TYPICAL SLOPES (3.00m) (3.00m)



(A) PROPOSED FLOOR LEVEL  
 (B) EXISTING FLOOR LEVEL  
 (C) FINISH GRADE LEVEL (3.25m) (3.25m)  
 (D) GRADE FOR TYPICAL SLOPES (3.00m) (3.00m)

NO.	REVISIONS	DATE
1	FOR REVIEW	MAY 13 2018
2	FOR REVIEW	MAY 13 2018
3	FOR REVIEW	MAY 13 2018
4	FOR REVIEW	JUNE 19 2018
5	FOR REVIEW	JULY 7 2018
6	FOR REVIEW	AUG 8 2018
7	FOR REVIEW	AUG 16 2018
8	FOR REVIEW	AUG 27 2018
9	FOR REVIEW	AUG 12 2018
10	FOR REVIEW	MAY 13 2018

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 2400 DUNDAS ST. WEST, SUITE 109  
 MISSISSAUGA, ON L4X 2R8  
 416 777 AFCH (T)  
 TARIION REGISTRATION NO. 39912

PROJECT:  
**New House At:  
 62 SHERWOOD  
 FOREST DRIVE**

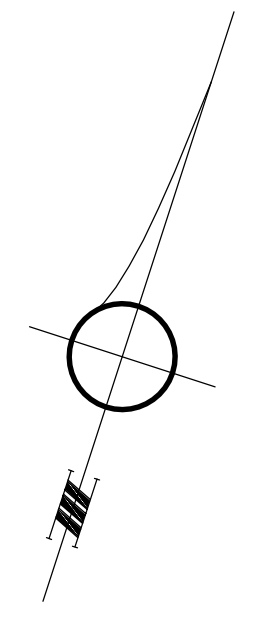
SHEET TITLE:  
**FRONT ELEVATION  
 SOUTH ELEVATION**

PROJECT NO.	DATE
SCALE: 1/4"=1'-0"	
DRAWN:	SHEET NO.:
CHECKED:	
FILE NO. MARRHAM	<b>A3.0</b>





THIS SITE PLAN BASED ON:  
 SURVEYOR'S REAL PROPERTY REPORT-PART 1  
 PLAN OF PART OF  
 LOTS 198 AND 199  
 REGISTERED PLAN 5810  
 CITY OF MARKHAM  
 (REGIONAL MUNICIPALITY OF YORK)  
 SCALE 1:200  
 © COPYRIGHT  
**ertl surveyors 2018**  
 Ontario Land Surveyors



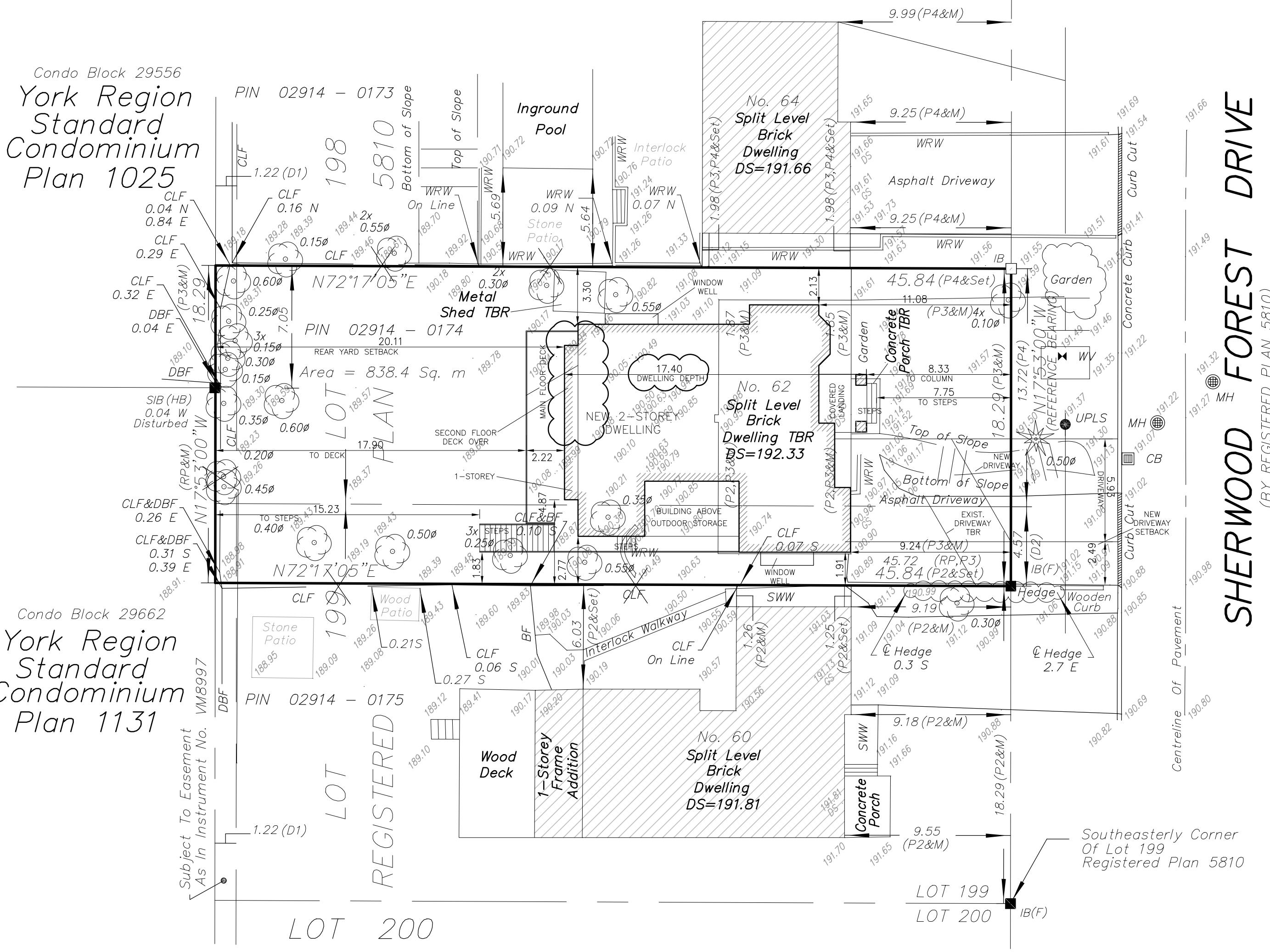
Metric  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND  
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Notes  
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE  
 WESTERLY LIMIT OF SHERWOOD FOREST DRIVE AS SHOWN ON  
 REGISTERED PLAN 5810 HAVING A BEARING OF N17°53'00"W  
 Part 2  
 SUBJECT TO AN EASEMENT AS IN INSTRUMENT No. VM8997  
 NO NOTICE OF CLAIM REGISTERED ON TITLE.  
 NOTE THE LOCATION OF THE CHAIN LINK FENCE AT THE  
 WESTERLY LIMIT WITHIN THE EASEMENT.  
 FENCES, HEDGE AND RETAINING WALLS AS SHOWN  
 SURVEY PREPARED FOR VISHNU DOOBAY AND USHA DOOBAY

- Legend**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT SET
  - SIB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - IP DENOTES IRON PIPE
  - CP DENOTES CONCRETE PIN
  - M DENOTES MEASURED
  - OU DENOTES ORIGIN UNKNOWN
  - RP DENOTES REGISTERED PLAN 5810
  - P1 DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED APRIL 17, 1964
  - P2 DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED JUNE 03, 1964
  - P3 DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED DECEMBER 01, 1963
  - P4 DENOTES SURVEY BY P. T. HOLDING, O.L.S. DATED DECEMBER 10, 1963
  - F DENOTES F. SCHAEFFER & ASSOCIATES, O.L.S.
  - HB DENOTES HOLDING & BABBS, O.L.S.
  - D1 DENOTES INSTRUMENT No. VM8997
  - D2 DENOTES INSTRUMENT No. R463547
  - LS DENOTES LIGHT STANDARD
  - OH DENOTES OVERHEAD UTILITY WIRES
  - WV DENOTES WATER VALVE/KEY
  - MH DENOTES MAINTENANCE HOLE
  - CB DENOTES CATCH BASIN
  - UPLS DENOTES UTILITY POLE LIGHT STANDARD
  - SWW DENOTES STONE WALKWAY
  - WRW DENOTES WOOD RETAINING WALL
  - BF DENOTES BOARD FENCE
  - DBF DENOTES DOUBLE BOARD FENCE
  - CLF DENOTES CHAIN LINK FENCE
  - DS DENOTES DOOR SILL ELEVATION
  - ☉ DENOTES CENTERLINE
  - N,S,E,W DENOTES NORTH,SOUTH,EAST,WEST
  - ★ DENOTES CONIFEROUS TREE
  - ☉ DENOTES DECIDUOUS TREE

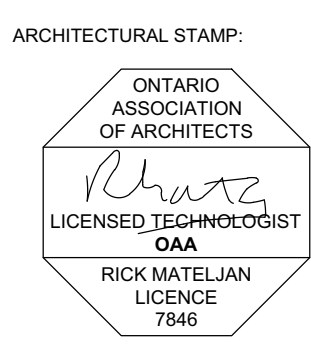
Condo Block 29556  
 York Region  
 Standard  
 Condominium  
 Plan 1025

Condo Block 29662  
 York Region  
 Standard  
 Condominium  
 Plan 1131



Benchmark  
 ELEVATIONS HEREON ARE GEODETIC AND ARE DERIVED FROM  
 CITY OF MARKHAM BM No. M-33-026; ELEVATION = 182.595 m

SITE STATISTICS:  
 ZONING: R2-Residential (By-law 1229)  
 LOT AREA = 836.1 M2  
 NET LOT AREA (PER BY-LAW): 725.8 M2  
 MAX GFA 45% = 326.6 M2  
 (INCLUDES GARAGE)  
 PROPOSED GFA = 326.5 M2 (45.0%)  
 MAXIMUM LOT COVERAGE = 35.7%  
 PROPOSED LOT COVERAGE = 245.1 M2  
 (29.3%)



30	FOR PERMIT (4TH RESUB)	AUG 17 2020
9	FOR REVIEW	AUG 12, 2018
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4	FOR REVIEW	JUNE 19 2018
3	FOR REVIEW	JUNE 11 2018
2	FOR REVIEW	MAY 12 2018
1	FOR REVIEW	MAY 7 2018
NO:	REVISIONS:	ISSUED:

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 MISSISSAUGA, ON L5K 2R8  
 416 777 AFCH (T)  
 TARIION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
 62 SHERWOOD  
 FOREST DRIVE**

SHEET TITLE:  
**SITE PLAN**

PROJECT NO.

SCALE: 1:200	DATE:
DRAWN:	SHEET NO: <b>A1.1</b>
CHECKED:	
FILE NO. MARKHAM	



NOTE: ALL ROOMS ON THIS FLOOR LEVEL ARE CONSIDERED "CELLAR" PER CITY OF MARKHAM ZONING BY-LAW. CELLAR MEANS THAT PORTION BETWEEN TWO FLOORS, WHICH IS LOCATED PARTLY OR ENTIRELY UNDERGROUND AND WHICH HAS MORE THAN ONE HALF OF ITS HEIGHT FROM FLOOR TO UNDERSIDE OF FLOOR JOISTS OF THE STOREY NEXT ABOVE, BELOW ESTABLISHED GRADE.

UNDERSIDE OF FLOOR JOISTS: 192.13  
ESTABLISHED GRADE: 191.56  
BASEMENT FLOOR LEVEL: 189.09

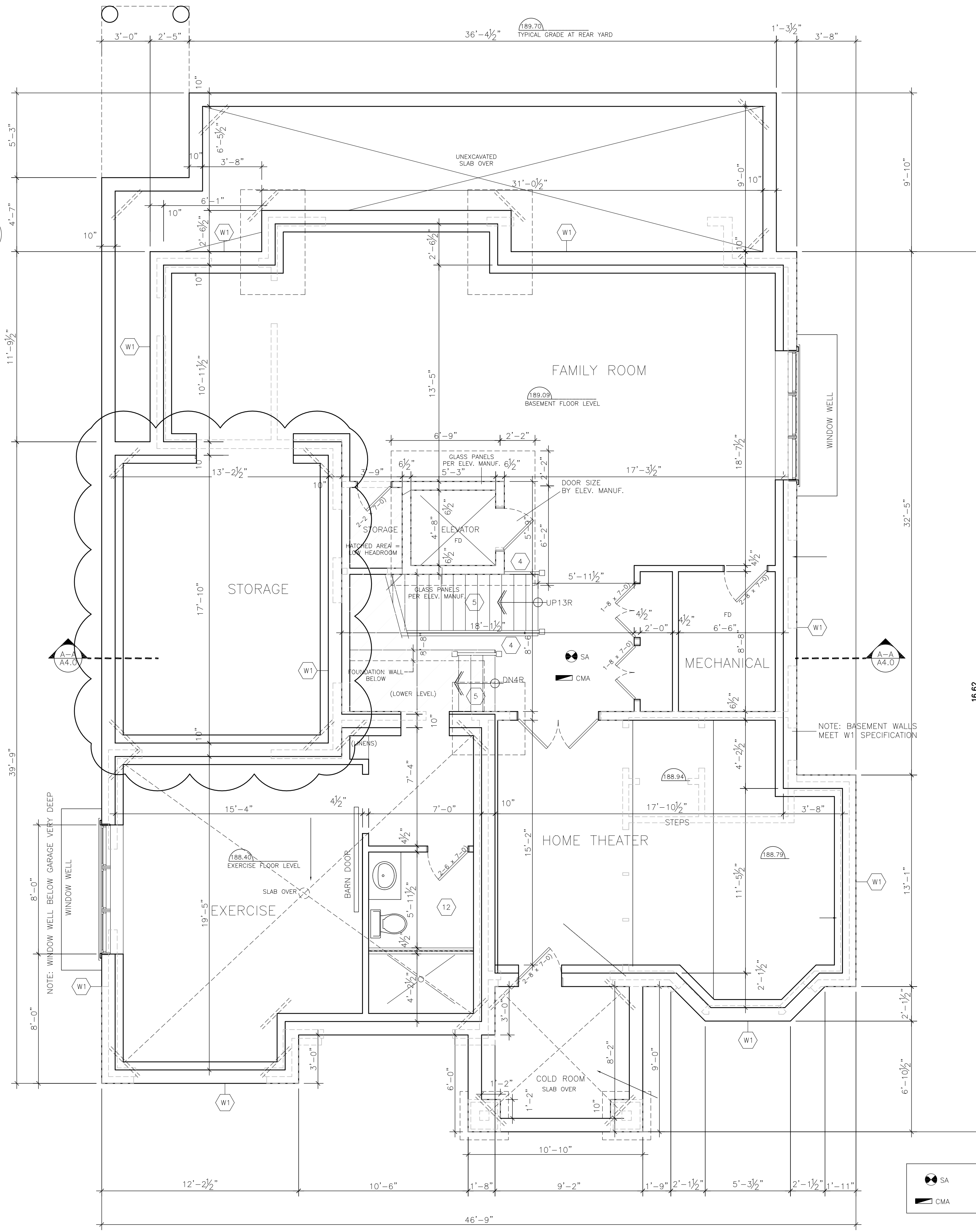
NOTE: REFER TO REVISED STRUCTURAL INFORMATION ON DRAWINGS S100 AND S101 BY EXSEN ENGINEERING DATED OCTOBER 2019 REVISION 1 DATED 07/01/2020

NOTE: PROVIDE BLOCKING BELOW IN ALL BATHROOMS

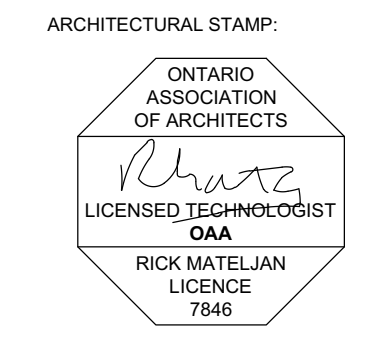
ONTARIO BUILDING CODE 9.5.2.3. (Stud wall Reinforcement)

(1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of the following:  
(a) for a water closet, a grab bar described in Clause 3.8.3.8.(3)(a) and a grab bar described in Clause 3.8.3.13.(2)(i), and  
(b) for a shower, a grab bar described in Clause 3.8.3.13.(2)(i), and  
(c) for a bathtub, a grab bar described in Clause 3.8.3.13.(4)(c).

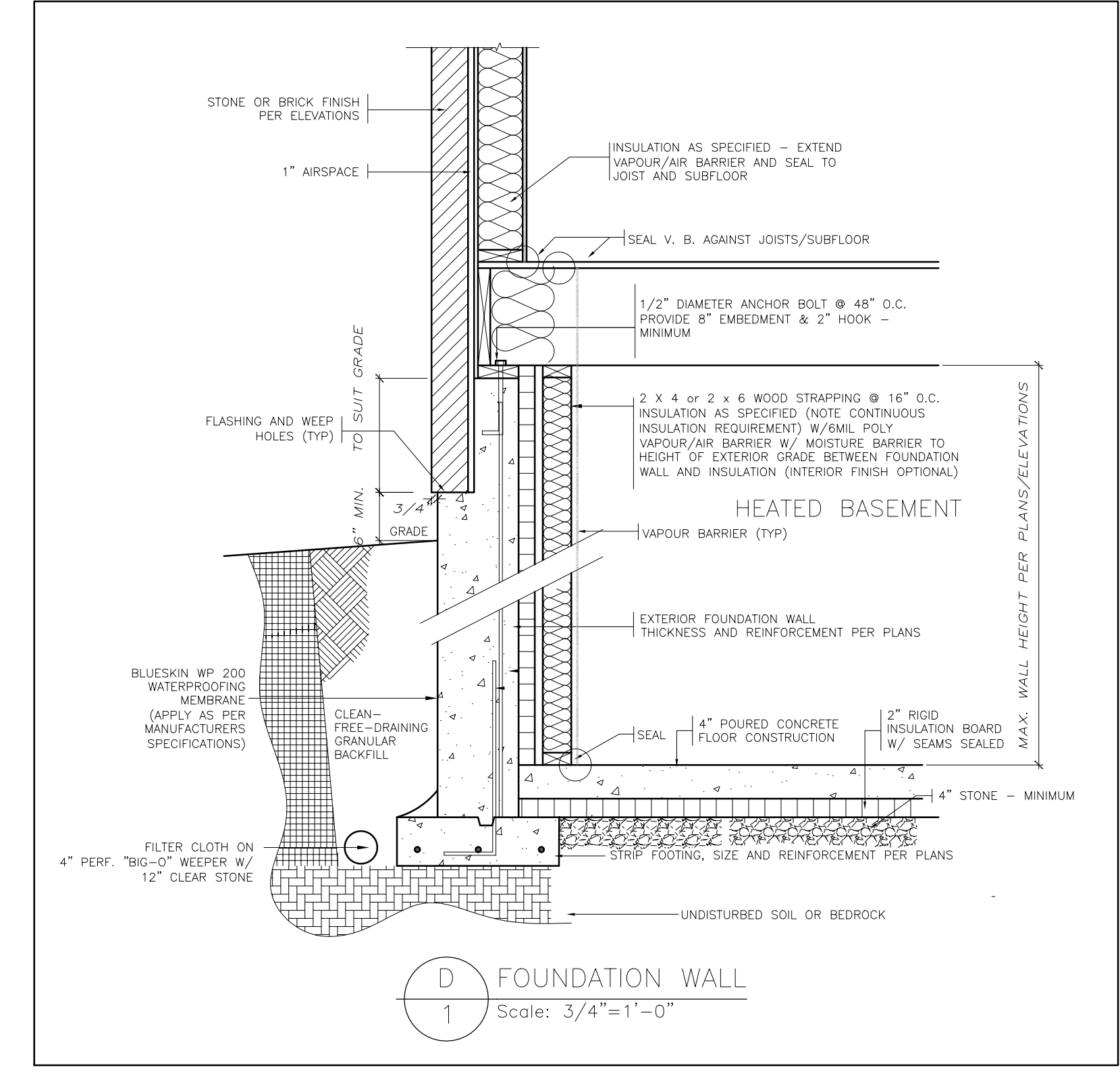
NOTE: WINDOW OPENINGS SHOWN ARE FOR SUPPLIER REFERENCE AND NOT FOR CONSTRUCTION. WINDOW OPENINGS FOR CONSTRUCTION ARE TO BE TAKEN FROM CLIENT APPROVED SHOP DRAWINGS BY WINDOW SUPPLIER



SA SMOKE ALARM (14) (15)  
CMA CARBON MONOXIDE ALARM



NOTE: ASSUME NO GFA IN CELLAR ROOMS  
FOUNDATION AND FOOTING DEPTHS, STEP FOOTINGS, ETC. TO BE COORDINATED IN THE FIELD



30	FOR PERMIT (4TH RESUB)	AUG 17 2020
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1	FOR REVIEW	May 7 2018
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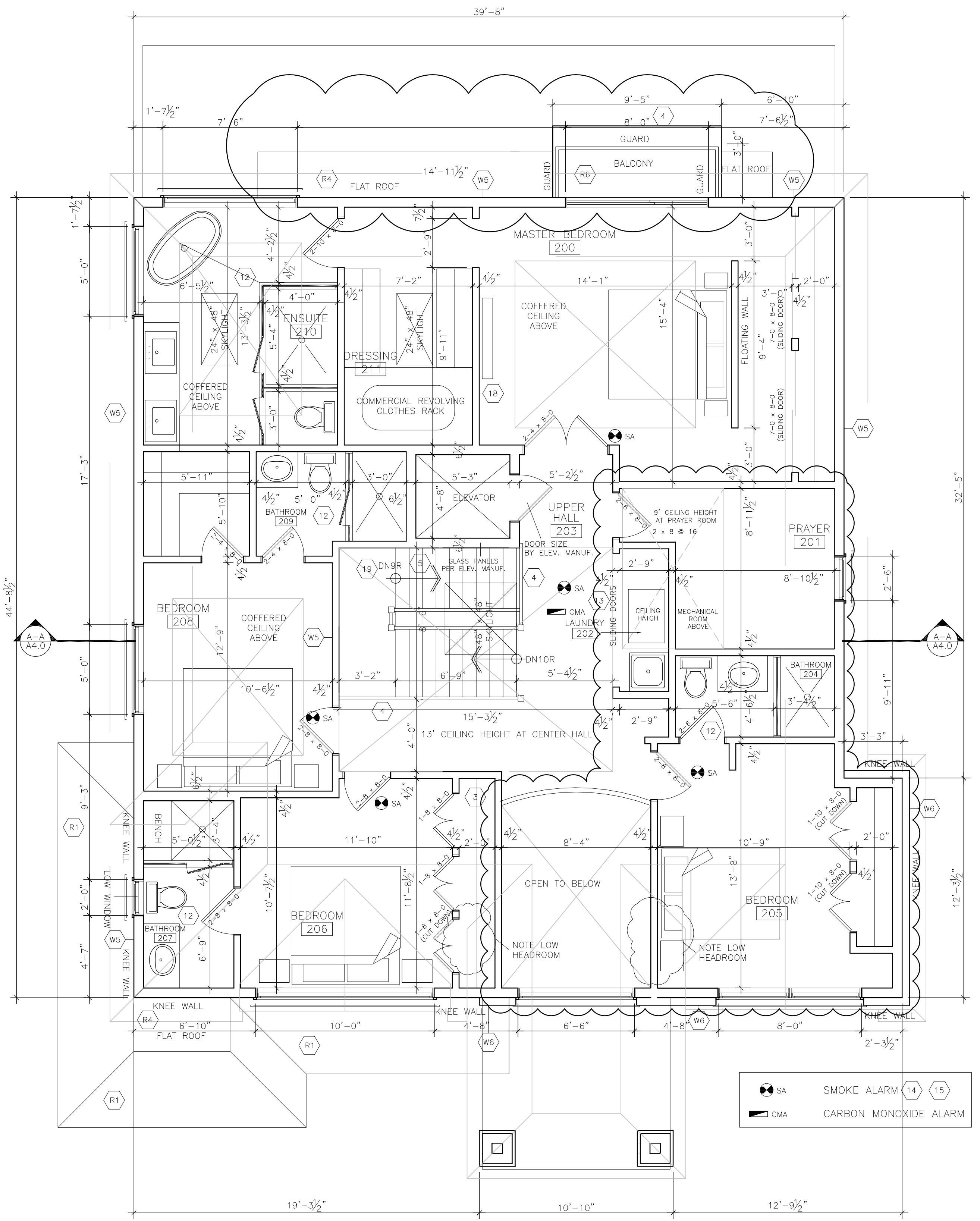
PROJECT:  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**BASEMENT FLOOR  
PLAN**

PROJECT NO.	
SCALE: 1/4"=1'-0"	DATE:
DRAWN:	SHEET NO: <b>A2.0</b>
CHECKED:	
FILE NO. MARKHAM	







NOTE: WINDOW OPENINGS SHOWN ARE FOR SUPPLIER REFERENCE AND NOT FOR CONSTRUCTION. WINDOW OPENINGS FOR CONSTRUCTION ARE TO BE TAKEN FROM CLIENT APPROVED SHOP DRAWINGS BY WINDOW SUPPLIER

NOTE: PROVIDE BLOCKING BELOW IN ALL BATHROOMS

ONTARIO BUILDING CODE 9.5.2.3. (stud wall Reinforcement)  
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1	FOR REVIEW	May 7 2018
NO:	REVISIONS:	ISSUED:

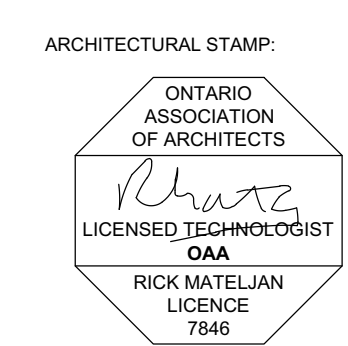
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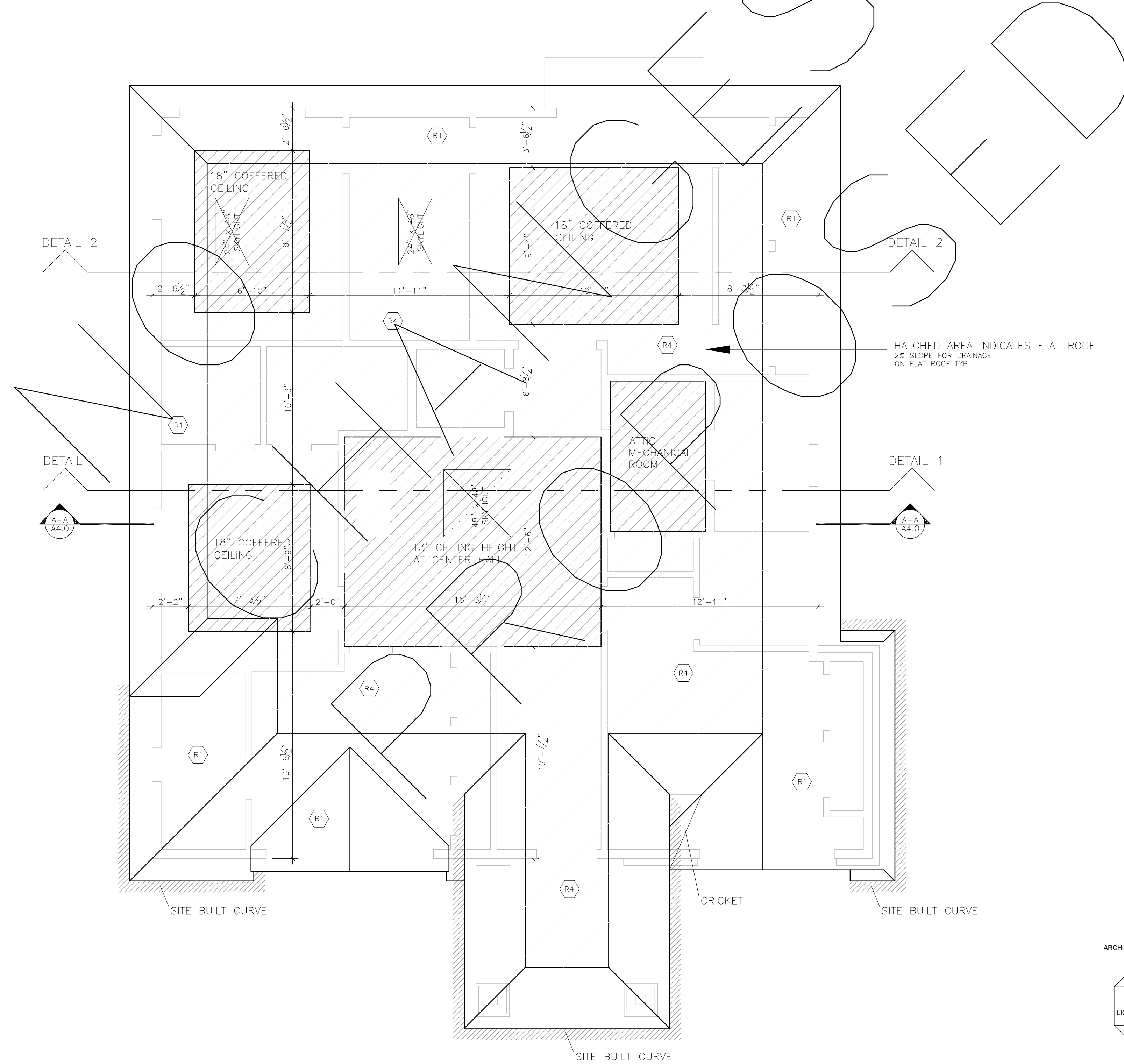
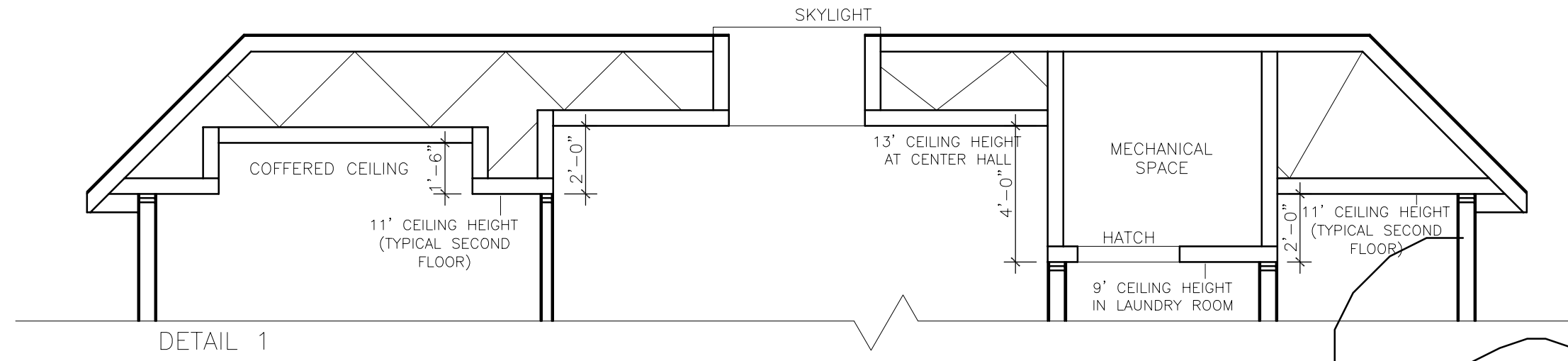
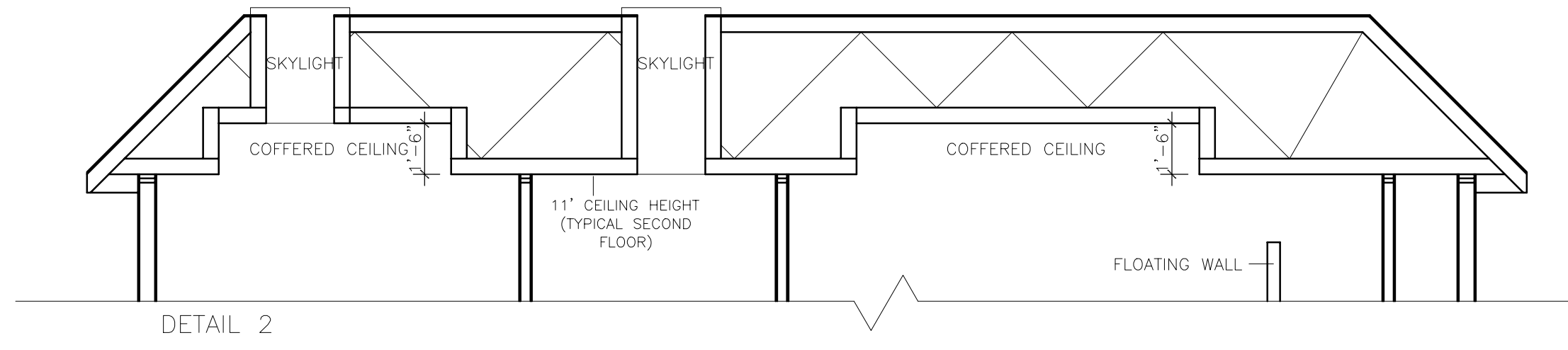
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 2400 DUNDAS ST. WEST, SUITE 109  
 MISSISSAUGA, ON L5K 2R8  
 416 777 AFCH (T)  
 TARIION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
 62 SHERWOOD  
 FOREST DRIVE**

SHEET TITLE:  
**SECOND FLOOR  
 PLAN**

PROJECT NO.	
SCALE: 1/4"=1'-0"	DATE:
DRAWN:	SHEET NO: <b>A2.2</b>
CHECKED:	
FILE NO. MARKHAM	





30	FOR PERMIT (4TH RESUB)	AUG 17, 2020
9	FOR REVIEW	AUG 12, 2018
8	FOR REVIEW	JULY 27 2018
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1	FOR REVIEW	May 7 2018
NO:	REVISIONS:	ISSUED:

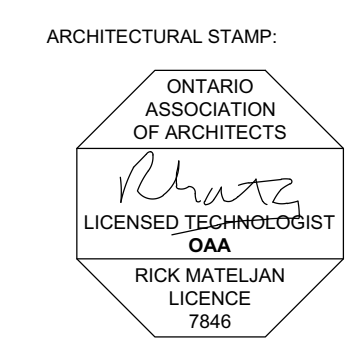
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 TARIION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
 62 SHERWOOD  
 FOREST DRIVE**

SHEET TITLE:  
**ROOF PLAN**

PROJECT NO.	SCALE: 1/4"=1'-0"	DATE:
DRAWN:	CHECKED:	SHEET NO: <b>A2.3</b>
FILE NO. MARKHAM		





REFER TO HVAC DESIGN BY YMSD CONSULTING FOR REQUIRED INSULATION AND WINDOW PERFORMANCE DATA



30	FOR PERMIT (4TH RESUB)	AUG 17, 2020
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NO:	REVISIONS:	ISSUED:

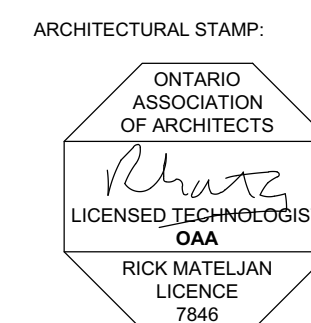
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PROJECT:  
**New House At:  
 62 SHERWOOD  
 FOREST DRIVE**

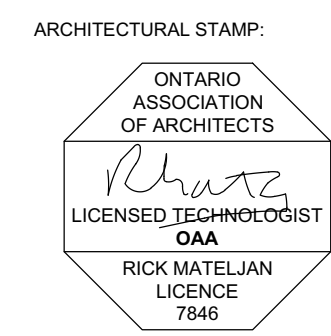
SHEET TITLE:  
**FRONT ELEVATION  
 SOUTH ELEVATION**

PROJECT NO.	
SCALE: 1/4"=1'-0"	DATE:
DRAWN:	SHEET NO: <b>A3.0</b>
CHECKED:	
FILE NO. MARKHAM	





GLAZED OPENINGS CALCULATION  
PER O.B.C. 9.10.15.4  
NORTH ELEVATION:  
EXPOSING BUILDING FACE: 1490 SF  
LIMITING DISTANCE: 21.3m  
ALLOWABLE OPENINGS: 8.2% (INTERPOLATED)  
PROPOSED OPENINGS: 5.6% 86.5 SF



30	FOR PERMIT (4TH RESUB)	AUG 17 2020
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TARION REGISTRATION NO. 39012

PROJECT:  
**New House At:  
62 SHERWOOD  
FOREST DRIVE**

SHEET TITLE:  
**WEST ELEVATION  
NORTH ELEVATION**

PROJECT NO.	
SCALE: 1/4"=1'-0"	DATE:
DRAWN:	SHEET NO: <b>A3.1</b>
CHECKED:	
FILE NO. MARKHAM	