

Memorandum to the City of Markham Committee of Adjustment

August 19, 2021

File: A/098/21
Address: 7200 Victoria Park Avenue
Applicant: Weins Canada Inc. (Ken Yokoyama)
Agent: Macaulay Shiomi Howson (Nick Pileggi)
Hearing Date: Wednesday, August 25, 2021

The following comments are provided on behalf of the Central Team:

The applicant is requesting relief from the following requirements of the “Business Park*578 (BP*578) Zone” of By-law 177-96, as amended:

a) **Amending By-law 2017-62, Section 7.578.2(I):**

to permit Business Office uses to occupy a minimum of 55.5% of gross floor area of all buildings on site, whereas the By-law requires a minimum of 60.0%;

as it relates to a proposed office building with accessory automobile sales establishment and associated service and repair uses.

BACKGROUND

Property Description

The 1.16 ha (2.87 ac) subject property is located on the northwest corner of Victoria Park Avenue and Torbay Road (see Appendix “A” – Aerial Photo). The property is located within an established business park comprised of a mix of one and two-storey industrial and office buildings.

There is an existing five-storey open air parking structure on the property, which according to building permit records, was constructed in 2020.

Proposal

The applicant is proposing to construct a 5,191.95 m² (55,885.68 ft²), four-storey office building with an accessory automobile sales establishment and associated service and repair uses (see Appendix “B” – Architectural Plans).

History

In 2017, Council approved site-specific Official Plan and Zoning By-law Amendments for the subject property to facilitate the development of a 5,393.26 m² (58,030 ft²) five-storey office building with an accessory automobile sales establishment and associated service and repair uses, and a five-storey parking garage. In 2019, the applicant received Site Plan Approval (SC 09 116234) for the proposed development (see Appendix “C” – 2019 Site Plan Approval).

The Applicant has since constructed the five-storey parking garage however, the plans for the corporate head office have been revised to remove the drive-through service reception area on the north side of the building and to eliminate the fifth storey offices. The applicant is in the process of submitting a revised Site Plan Application (SPC 21 129279), which will be reviewed by the City and applicable external agencies.

Official Plan and Zoning

Official Plan 2014 (partially approved on November 24, 2017, and further updated on April 9, 2018), as amended by Official Plan Amendment No. 11 (OPA 11)

In 2017, site-specific Official Plan Amendment No. 11 (OPA 11) was adopted by Council to re-designate the subject property to “Service Employment”, which provides for a range of employment uses, including service, office, financial institution, light industrial and warehousing, motor vehicle body shop or repair facility, small-scale retail and service uses, trade school, commercial school, commercial parking garage, and hotel. The “Service Employment” designation also provides for motor vehicle retail sales with limited accessory outdoor storage or display of motor vehicles as a discretionary use.

Zoning By-Law 177-96 and Amending By-law 2017-62

The subject property is zoned “Business Park*579 (BP*578)” under By-law 177-96, as amended. Exception 578 relates to the site-specific Zoning By-law Amendment 2017-62, which was enacted in 2017 that restricts the permitted uses to the following:

- a) Business Offices;
- b) Parking Garage;
- c) Motor Vehicle Service Station, accessory to a Business Office;
- d) Motor Vehicle Repair Garage, accessory to a Business Office;
- e) Motor Vehicle Sales Establishment, accessory to a Business Office;
- f) Outdoor Display and Sales Area, accessory to a Motor Vehicles Sales Establishment; and,
- g) Outdoor Storage of Vehicles, accessory to a Parking Garage.

The Amending By-law also established a number of site-specific development standards based on the proposal at the time, including but not limited to, minimum setbacks, minimum landscaping widths, minimum gross floor area (GFA) of business office use, etc. The current revised proposal does not meet the site-specific by-law requirements with respect to minimum GFA of Business Office uses. Further details of this requirement is provided in the comment section below.

Zoning Preliminary Review (ZPR) Undertaken

The owner has completed a Zoning Preliminary Review (ZPR 21 116717) on May 10, 2021, to confirm the variances required for the proposed development.

COMMENTS

The *Planning Act* states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;

- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

Reduction in Minimum Gross Floor Area (GFA) of Business Office Uses

The applicant is requesting relief to permit Business Office uses to occupy a minimum of 55.5% (2,881.01 m² or 31,010.93 ft²) of the GFA, whereas the Amending By-law requires Business Office uses to occupy a minimum of 60.0% (3,114.57 m² or 33,524.95 ft²) of the GFA of all buildings on site excluding the Parking Garage.

The request for a reduction to the GFA of Business Office uses is attributed to the Applicant's proposal to reduce the height of the building from five storeys to four storeys. The removal of the fifth storey business offices has resulted in the need for this variance request. The intent of the By-law is to ensure that Business Offices remain the primary use on the subject property, and that the Motor Vehicle Service Station, Repair Garage, and Sales Establishment remain as accessory uses. Staff note that the proposed motor vehicle sales establishment and service/repair area will only occupy 44.5% (2,309.94 m² or 24,863.99 ft²) of GFA. Given that the Business Office uses will continue to occupy a greater floor area than the accessory uses, Staff are of the opinion that the Business Offices would still be considered the primary use of the building.

Furthermore, the proposed changes to the development meets all other zoning provisions that establish the prescribed building envelope. Staff also note that, with the exception of the removal of the drive-through service component, the proposed building footprint remains consistent with the plans approved as part of the 2019 Site Plan Control application. As such, Staff have no objection to the requested variance.

PUBLIC INPUT SUMMARY

No written submissions were received as of August 19, 2021. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

CONCLUSION

Planning Staff have reviewed the application with respect to Section 45(1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the *Planning Act* required for the granting of minor variances.

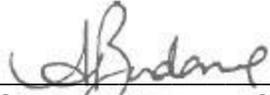
Please see Appendix "D" for conditions to be attached to any approval of this application.

PREPARED BY:



Melissa Leung, Planner, Central District

REVIEWED BY:



Sabrina Bordone, Senior Planner, Central District

APPENDICES

Appendix "A" – Aerial Photo

Appendix "B" – Architectural Plans

Appendix "C" – 2019 Site Plan Approval

Appendix "D" – Conditions



Legend

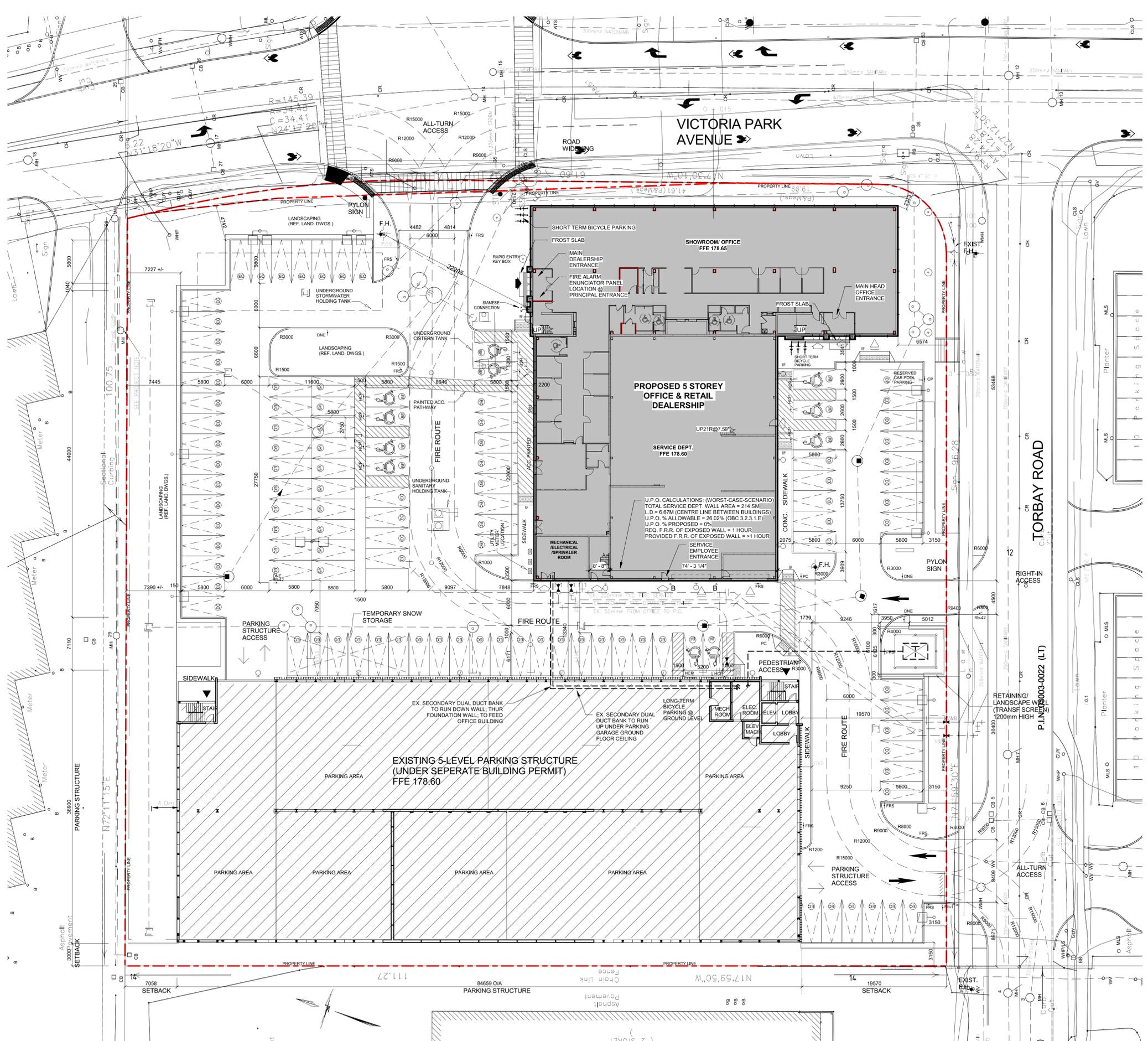
- LANDMARKS_6000
- SLRN_6000
- PARKS_6000
- Building Footprints
- Ponds
- Creeks
- Rivers
- Parcel (MPAC)
- Park Facilities
- Parks
- <all other values>
- Under Development

1: 2,257



114.7 0 57.33 114.7 Meters

Notes



GENERAL NOTE TO BIDDING CONTRACTORS:

1. ALL SITE WORKS LOCATED OUTSIDE OF THE OFFICE BUILDING FOOTPRINT DOES FORM PART OF THIS CONTACT AND MUST BE INCLUDED FOR; G.C. TO SITE REVIEW EXISTING CONDITIONS AND INCLUDE FOR ALL REMAINING SITE WORKS TO BE COMPLETED - TYP. U.N.O.
2. ALL SITE LANDSCAPING MUST BE INCLUDED IN YOUR TENDER; PLEASE REFER TO THE LANDSCAPING DRAWINGS AND SPECIFICATIONS - TYP.
3. THE 5-STORY PARKING GARAGE BUILDING DOES NOT FORM PART OF THIS CONTACT; THIS BUILDING IS CURRENTLY BUILT ON SITE.

GENERAL NOTES - ENVIRONMENTAL INITIATIVES:

Insulation/Air Vapour Barrier: Insulation and air vapour barrier systems used in this building shall comply with the OBC (Ontario Building Code) with respect to thermal performance and specified in accordance with the architect's best professional judgement.

Roofing: The proposed roofing material is single-ply (white) TPO membrane that will achieve objectives with respect to reduction of heat gain and heat island effect.

Glazing: Windows shall be thermally broken frames with double glazed sealed units complete with low-E coating. The building shall comply with the latest requirements of the OBC with respect to energy efficiency and performance requirements.

Lighting: Occupancy sensors shall be provided in rooms as required by the OBC.

HVAC System: The HVAC system will be designed to comply with the OBC and ASHRAE with respect to energy efficiency.

Sanitary Fixtures: The plumbing system will be designed to comply with the OBC with respect to energy efficiency.

Hot Water Heating: The water heating system will be designed to comply with the OBC with respect to energy efficiency.

Exterior and Interior Lighting: Lighting specified in the building (exterior and interior) shall be LED type.

Construction Waste Handling: Qualified construction waste shall be diverted and/or recycled in accordance with good industry practice.

GARBAGE AND RECYCLING

THIS PROPERTY IS INELIGIBLE FOR MUNICIPAL COLLECTION OF GARBAGE, RECYCLABLE MATERIAL AND LEAF AND YARD WASTE. COLLECTION OF GARBAGE, RECYCLABLE MATERIAL AND LEAF AND YARD WASTE MUST BE PROVIDED THROUGH A PRIVATE WASTE HAULER(S). RECYCLING IS STRONGLY ENCOURAGED. ALL WASTE TO BE STORED WITHIN THE PROPOSED BUILDING SITE UNTIL REGULAR DAY OF WASTE COLLECTION. SITE SUPERINTENDENT WILL MOVE ALL GARBAGE/RECYCLABLES INTO THE OUTDOOR WASTE COLLECTION BINS PROVIDED ON SITE FOR PRIVATE PICK-UP.

LIGHTING NOTE

LIGHTINGS MUST BE DIRECTED ON SITE AND MUST NOT SPILL OVER TO ADJACENT PROPERTIES OR STREETS. MUST PROVIDE "HOUSE SHIELDS" WHERE NEEDED, TO COMPLETELY ELIMINATE GLARE TO ADJACENT PROPERTIES. ALL LIGHT FIXTURES TO BE WALL & SURFACE MOUNTED ONLY.

GENERAL SITE PLAN NOTES:

1. ALL SITE PLAN DRAWINGS ARE FULLY COORDINATED WITH LANDSCAPE AND ENGINEERING DRAWING SUBMISSIONS
2. THE PROPERTY OWNER IS RESPONSIBLE FOR RIGHT-OF-WAY REPLACEMENT OR REPAIR COSTS TO CITY STANDARDS
3. ALL SITE LIGHTING SHALL NOT RESULT IN ANY GLARE OR SPILL OVER TO SURROUNDING PROPERTIES OR PUBLIC LANDS
4. ALL SNOW STORAGE SHALL BE STORED ON SITE. SURPLUS SNOW SHALL BE REMOVED OFF SITE AT THE OWNER'S EXPENSE

GENERAL NOTES:

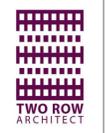
1. ALL WORK THAT IMPACTS THE CITY BOULEVARDS ARE TO BE RE-INSTITATED TO CITY STANDARDS
2. ANY DAMAGE DONE TO ROADWAYS WILL BE RE-INSTITATED USING THE CITY STANDARDS
3. FLUSH CURBING IS REQUIRED AT THE ENTIRE FRONTAGE AS SIDES OF THE BARRIER FREE PARKING SPACES. REFER TO CITY STANDARDS.
4. ALL CONDENSING UNITS TO BE SCREENED ON THE GROUND FLOOR.
5. SEPARATE PERMITS ARE REQUIRED FOR ANY SIGNAGE ON THE PROPERTY INCLUDING ANY CONSTRUCTION SIGNS.
6. ALL LIGHT STANDARD CONC. BASES TO BE ARCHITECTURAL BASES.
7. LIGHTING FIXTURES SHALL BE INSTALLED IN SUCH A MANNER THAT ALL LIGHT EMITTED FROM THE FIXTURE, EITHER DIRECTLY FROM THE LAMP OR A DIFFUSING ELEMENT, OR INDIRECTLY BY REFLECTION OR REFRACTION FROM ANY PART OF THE FIXTURE IS PROJECTED BELOW THE LAMP AND ONTO THE LOT THE LIGHTING IS INTENDED TO SERVE.
8. THE MAXIMUM HEIGHT OF ALL LIGHTING FIXTURES IS 9.0M.
9. MINIMUM DISTANCE OF LIGHTING FIXTURES FROM ANY LOT LINE IS 4.5M

DRAWING LEGEND

<ul style="list-style-type: none"> LOCATION OF BLDG PRINCIPAL ENTRANCES FOR PUBLIC, FIRE FIGHTERS AND BIF USE NEW FIRE HYDRANT (REF. CIVIL DWGS.) HCP ACCESSIBLE PARKING SIGN B.F. DESIGNATED 1525mm X 1525mm BARRIER FREE PARKING SPACE SIGNAGE - REFER TO CITY OF MARKHAM ACCESSIBILITY DESIGN GUIDELINES, SECTION 3.7 FOR PAINTED PARKING PATH OF NEW FIRE ROUTE NEW PAINTED PEDESTRIAN WALKWAY: COLOUR = WHITE (PER LOCAL STDS) AREA OF PROPOSED NEW BUILDING / RENOVATED BUILDING SPACE 	<ul style="list-style-type: none"> SERVICE EXITS/ ENTRANCE POINTS OVERHEAD DOORS FRS ROUTE SIGN TO BE POSTED UNDER MUNICIPAL BY-LAW CP DENOTES CAR POOL SIGN 1.50m x 2.00m x 2.75m ALL ACCESSIBLE SPACES REF. TO STORAGE AS PER 6/A-103 NEW ACCESSIBLE PARKING SPACE NEW EMPLOYEE STORAGE PARKING SPACE NEW VEHICLE STORAGE PARKING SPACE NEW OR NEW STAFF LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS NEW BARRIER FREE CONCRETE WALKWAY (REF. TO LOCAL) GROUND MOUNTED LIGHT FIXTURE (REF. ELEC. DWGS.) WALL MOUNTED LIGHT FIXTURE (REF. ELEC. DWGS.) DNE DENOTES CAR POOL SIGN PC DENOTES PEDESTRIAN CROSSING SIGN EXISTING BUILDING NEW ASPHALT PAVING (REF. CIVIL ENG. DWGS.)
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2 Site Plan
 A-100 1: 250

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DRAWINGS ARE NOT TO BE SCALED

Contractor must verify all dimensions on the drawings and report any discrepancies to the architect before proceeding with the work.

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Iss.	By	Description	Date
4	JW	TENDER SUBMISSION-REV.1	21-04-23
3	JW	PRECONSULTATION 4-5 STOREY	21-03-04
2	JW	BUILDING PERMIT - REV.2	20-02-24
1	JW	BUILDING PERMIT - REV.1	19-12-16

Issuance Schedule

Revisions:
 All previous issues of this drawing are superseded.

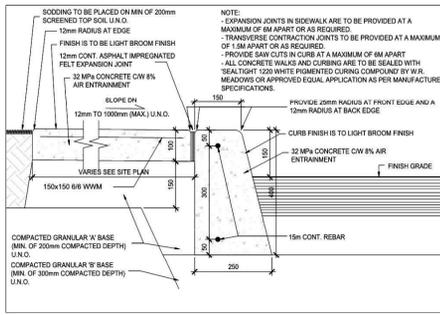
Project North

Professional Certification

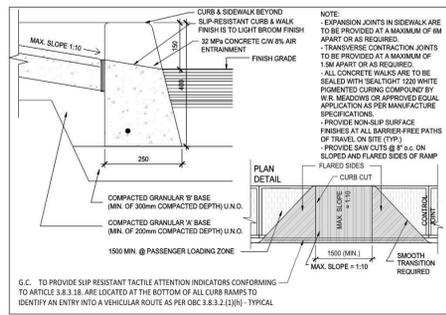
NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

SITE PLAN

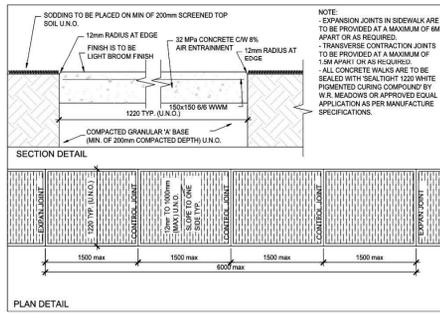
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 reviewed by: BP
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 drawing number:



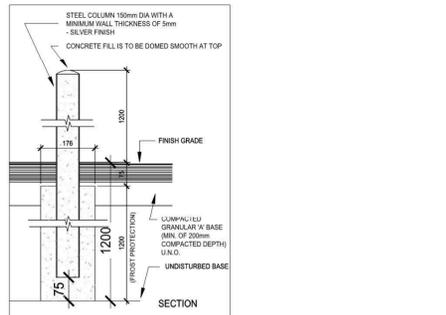
1 SECTION DETAIL
A-101 CONCRETE CURB @ SIDEWALK



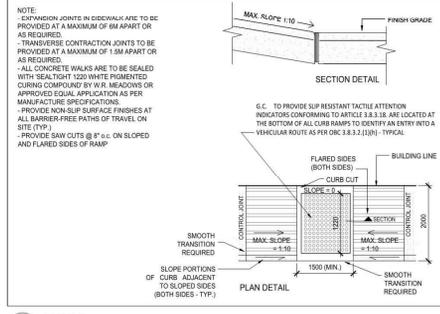
4 DETAIL
A-101 FLARED BARRIER-FREE RAMP DEPRESSION



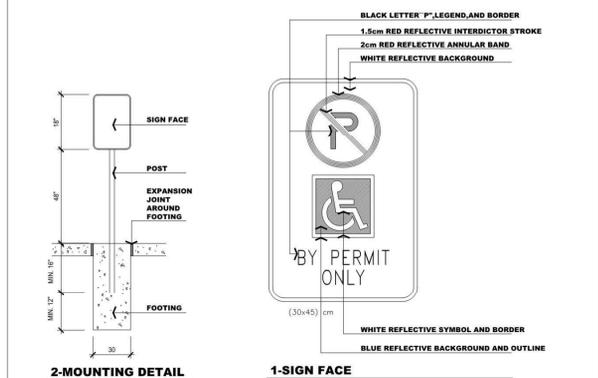
2 DETAIL
A-101 CONCRETE SIDEWALK



5 SECTION DETAIL
A-101 TYPICAL PROTECTION BOLLARD DETAIL



3 DETAIL
A-101 BARRIER-FREE RAMP DEPRESSION



2-MOUNTING DETAIL 1-SIGN FACE

HANDICAPPED PARKING SIGNAGE REQUIREMENTS

- ALL HANDICAPPED PARKING STALLS SHALL BE DESIGNATED BY SIGNAGE AS PER BY-LAW 134-83
- ONE SIGN PER BAY IS REQUIRED UNLESS A ROW OF SEVERAL BAYS IS PROVIDED IN WHICH CASE, A SIGN AT EACH END OF THE ROW WITH APPROPRIATE DIRECTIONAL ARROWS AS PER DRAWING 3 - SIGN LOCATION FOR
- MULTIPLE PARKING STALLS IS ACCEPTABLE. THE REQUIRED SIGN(S) MUST BE MOUNTED AT LEAST 0.6m AND NOT MORE THAN 2.0m FROM THE FACE OF THE CURB AT A HEIGHT OF 1.2m ABOVE THE TOP OF CURB ELEVATION. SIGNS MUST NOT OBSTRUCT THE SIDEWALK.
- WHERE AN UNOBSTRUCTED BUILDING FACE IS LOCATION NO MORE THAN 2.0m FROM THE FACE OF THE CURB AT THE HANDICAPPED BAY, THE REQUIRED SIGN(S) MAY BE MOUNTED ON THE BUILDING FACE.

SIGN FACE

- 0.04 GAUGE ALUMINUM SIGN BLANK
- WHITE BACKGROUND
- HOLES-METRO PUNCH

MOUNTING

THE SIGN FACE MUST BE SECURED

- TO A POST WITH TWO GALVANIZED 12mm HEX HEAD BOLTS AND NUTS WITH FLAT WASHERS ON BOTH SIDES.
- TO A MASONRY BUILDING FACE WITH TWO GALVANIZED 50mm LONG 6mm DIAMETER HEX-HEAD LAG BOLTS WITH FLAT WASHERS IN LEAD SHIELD MASONRY ANCHORS.
- TO A METAL BUILDING FACE WHERE THE MINIMUM METAL THICKNESS IS 2mm WITH TWO #10 FLATED SELF-TAPPING SHEET-METAL SCREWS WITH FLAT WASHERS.

POST

- 100mmx100mm PRESSURE TREATED WOOD OR
- 75mm DIAMETER GALVANIZED STANDARD STEEL PIPE
- POST TO BE CAST IN PLACE IN 300mm DIAMETER CONCRETE FOOTING.

6 SIGN DETAILS
A-101 TYPICAL ACCESSIBLE SIGN DETAILS

SITE STATISTICS

Zoning

Official Plan Designation:
Service Employment

Zoning:

Select Industrial and Limited Commercial MC 80%

Site Area

Total Site Area 11,640.04 sq.m. (2.83 Ac)

Lot Frontage

PROPOSED: 110.9 m

Site Coverage

Total Building Area	4,949.71 sq.m.	42.52%
Office / Dealership Building	1,969.71 sq.m.	16.92%
Parking Building	2,980.00 sq.m.	25.60%
Paved Area	5,030.86 sq.m.	43.22%
Landscaped Area	1,659.83 sq.m.	14.26%
Total Site Area:	11,640.04 sq.m.	100%

GROSS BUILDING AREA SUMMARY		
Name	Area (SF)	Area (SM)
GROUND FLOOR	21,201.77 SF	1,969.71 m ²
SECOND FLOOR	13,145.2 SF	1,221.23 m ²
SECOND FLOOR COMPRESSOR ROOM 142	383.8 SF	35.66 m ²
THIRD FLOOR	9,456.26 SF	878.52 m ²
FOURTH FLOOR	9,456.26 SF	878.52 m ²
Grand total	53,643.3 SF	4,983.63 m ²

GROSS OPEN MEZZANINE SUMMARY		
Name	Area (SF)	Area (SM)
SERVICE MEZZANINE 144	1,610.5 SF	149.62 m ²
SERVICE MEZZANINE 143	621.08 SF	57.7 m ²
Grand total	2,231.57 SF	207.32 m ²

TOTAL BUILDING GFA = 5,190.95 SM (including open mezzanines)

Parking Structure

Total: 14,535 sq.m. (156,397 sq. ft.)

Building - Area by Use (Ref. Occupancy Plans on this Page)

Office:	(31,010.77 sq.ft.)	2,881.01 sq.m.	55.5%
Dealership / Retail:	(24,864.10 sq.ft.)	2,309.94 sq.m.	44.5%
Total:	(55,874.87 sq. ft.)	5,190.95 sq.m.	100%

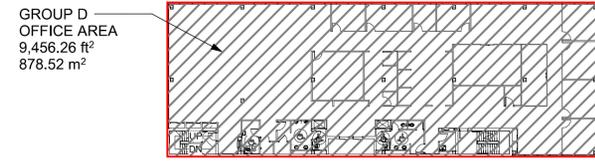
Parking Requirements

REQUIRED

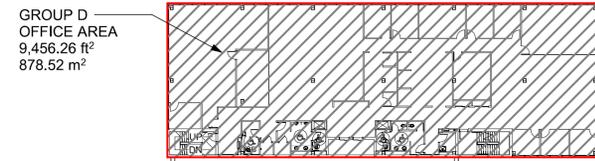
5,190.95 x 1 sp. per 25 sq. m. = 208 sp.

PROVIDED

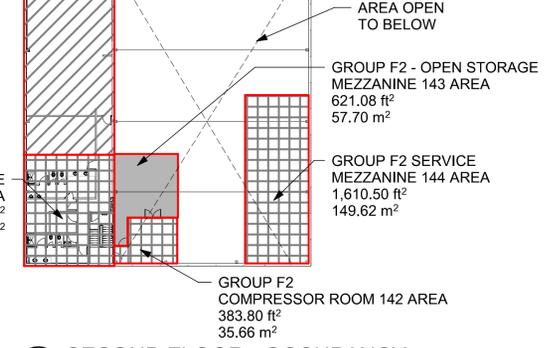
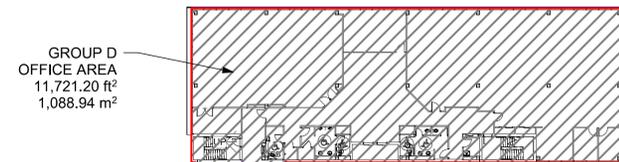
Surface Parking (Conforming to By-law)	= 88 sp.
Car Pool Parking	= 1 sp.
Tandem Parking	= 10 sp.
Barrier Free Parking	= 11 sp.
(5% of req'd parking of 208)	
Parking Structure (Conforming to By-law)	= 539 sp.
Total Parking (CONFORMING TO BY-LAW)	= 630 sp.



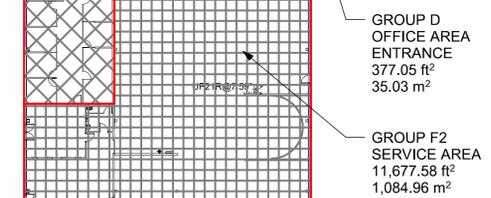
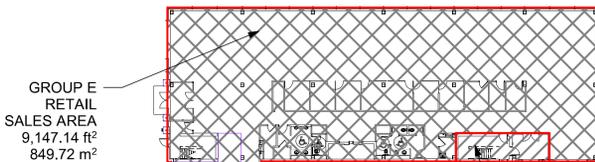
4 FOURTH FLOOR - OCCUPANCY
A-101 1/32" = 1'-0"



3 THIRD FLOOR - OCCUPANCY
A-101 1/32" = 1'-0"



2 SECOND FLOOR - OCCUPANCY
A-101 1/32" = 1'-0"



1 GROUND FLOOR - OCCUPANCY
A-101 1/32" = 1'-0"



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1	JW	BUILDING PERMIT - REV.1	19-12-16

Iss.	By	Description	Date YY-MM-DD
Issuance Schedule			

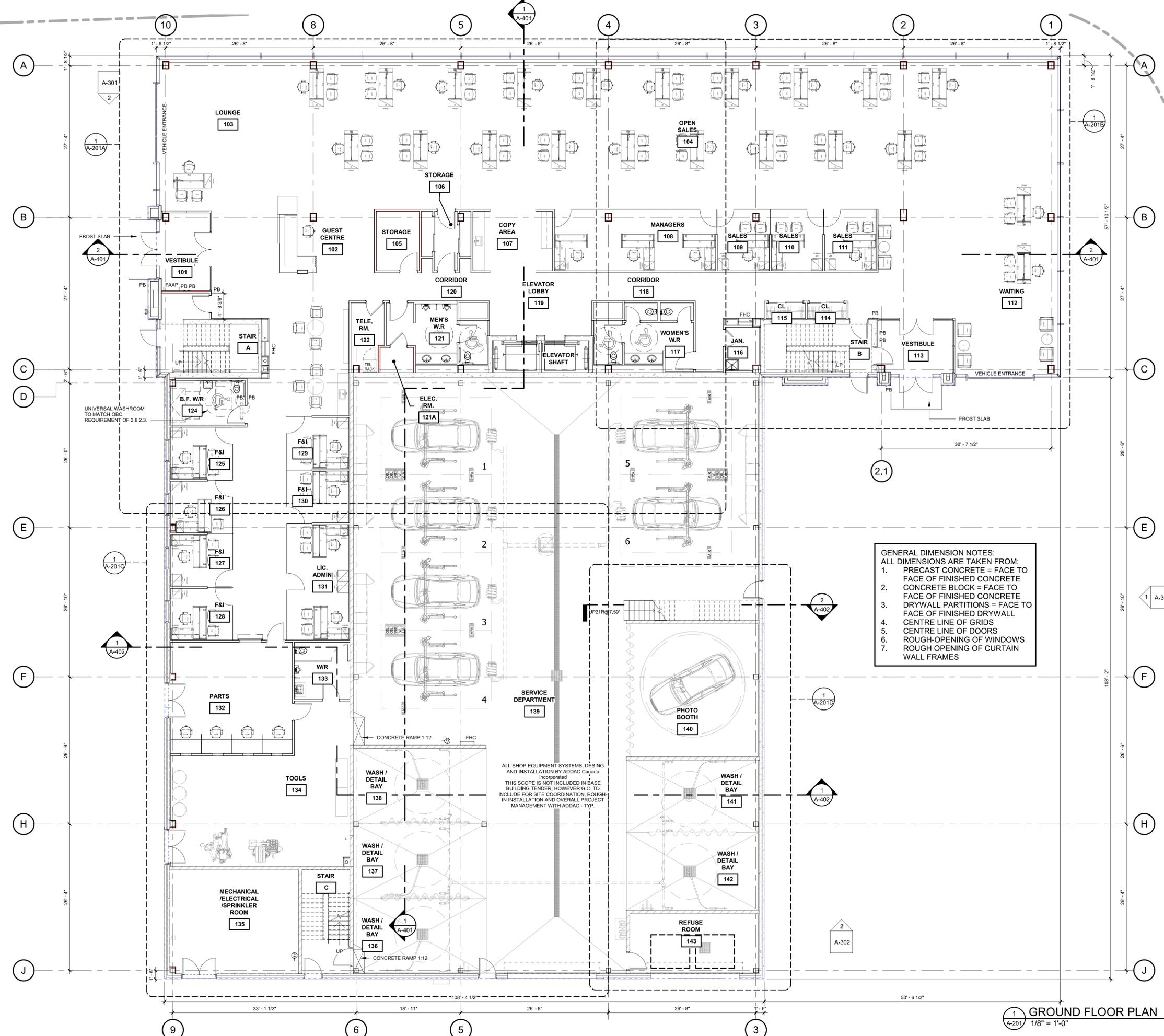
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 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

SITE DETAILS / BUILDING AREA & OCCUPANCY LOCATION PLANS

scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-03-04 5:00:42 PM
 drawing number:



GENERAL DIMENSION NOTES:
 ALL DIMENSIONS ARE TAKEN FROM:
 1. PRECAST CONCRETE = FACE TO FACE OF FINISHED CONCRETE
 2. CONCRETE BLOCK = FACE TO FACE OF FINISHED CONCRETE
 3. DRYWALL PARTITIONS = FACE TO FACE OF FINISHED DRYWALL
 4. CENTRE LINE OF GRIDS
 5. CENTRE LINE OF DOORS
 6. ROUGH-OPENING OF WINDOWS
 7. ROUGH-OPENING OF CURTAIN WALL FRAMES

ALL SHOP EQUIPMENT SYSTEMS, DESIGN AND INSTALLATION BY ADDAC Canada Incorporated
 THIS SCOPE IS NOT INCLUDED IN BASE BUILDING TENDER, HOWEVER G.C. TO INCLUDE FOR SITE COORDINATION, ROUGH-IN INSTALLATION AND OVERALL PROJECT MANAGEMENT WITH ADDAC - TYP.

- SHOP DRAWING NOTE:**
- OWNER / CONTRACTOR TO ENSURE SHOP DRAWING SUBMITTALS ARE PREPARED BY SYSTEMS DESIGNER (WALL, FLOOR, STAIR, WINDOW, DOOR ETC.)
 - CONTRACTOR TO REVIEW AND APPROVE THE ABOVE MENTIONED SHOP DRAWINGS PRIOR TO SUBMISSION TO THE ARCHITECT. PLANS / DRAWINGS SHOWN ARE FOR REFERENCE AND DESIGN INTENT ONLY AND ARE NOT INTENDED FOR FABRICATION - TYP.
- FIXTURE BLOCKING NOTE:**
- STEEL STUD FRAMING SUB-TRADE TO PROVIDE & INSTALL ALL REQ. WALL BRACING / BLOCKING FOR THE INSTALLATION OF ALL SHOWERS, TUBS, GRAB BARS, SINKS ETC. AS REQ. BY DIVISION 15
- MILLWORK, FURNITURE AND FIXTURES NOTE:**
- ALL INTERIOR FURNITURE AND MILLWORK IS SHOWN FOR REFERENCE PURPOSES ONLY. PLEASE REFER TO INTERIOR DESIGNERS DRAWINGS FOR ALL ASSOCIATED MILLWORK FURNITURE AND FIXTURES - TYPICAL



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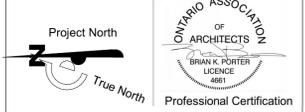
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Revisions:
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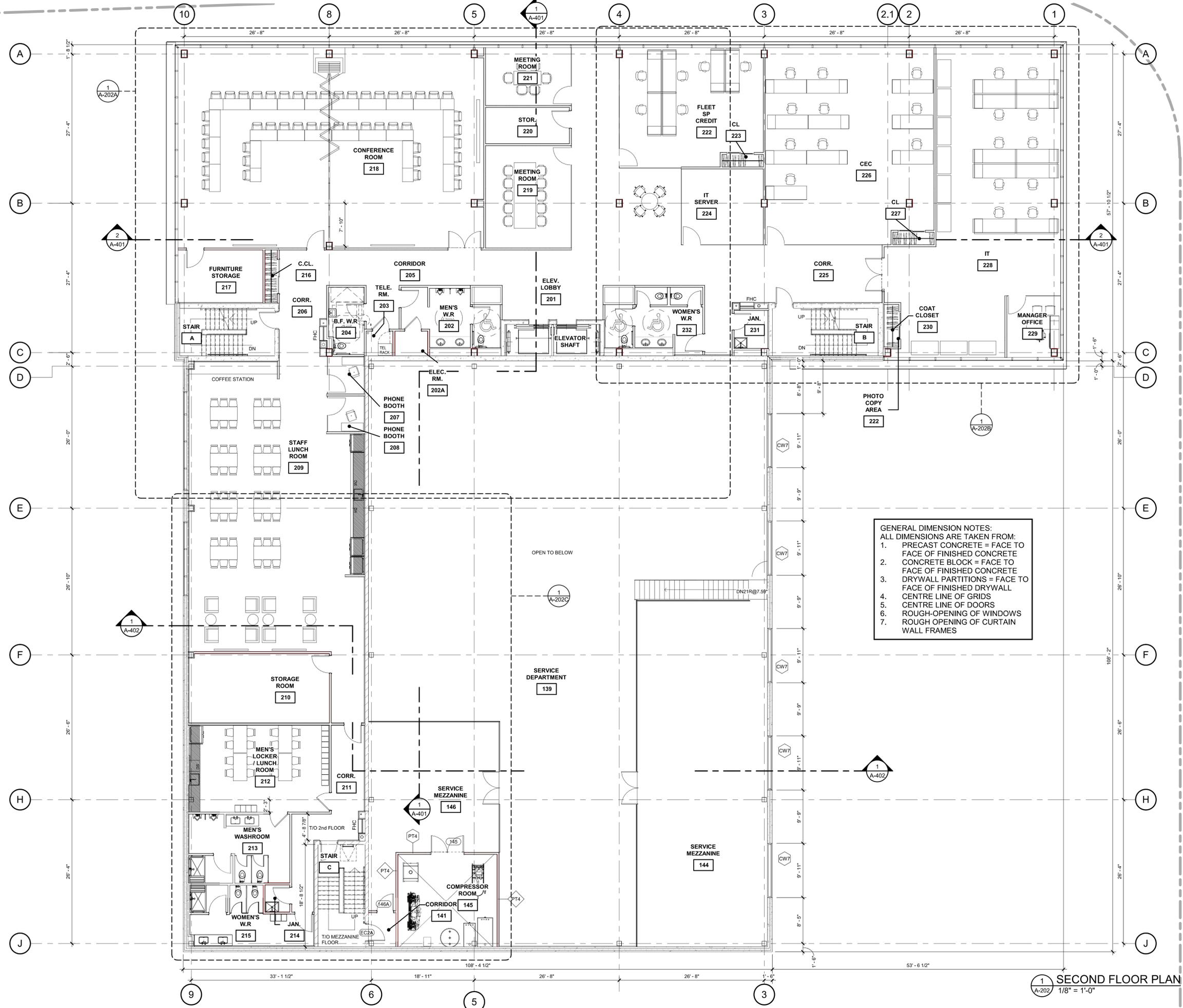


NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

GROUND FLOOR KEY PLAN

scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:51:44 PM
 drawing number:

1 A-201 GROUND FLOOR PLAN
 1/8" = 1'-0"



GENERAL DIMENSION NOTES:
 ALL DIMENSIONS ARE TAKEN FROM:
 1. PRECAST CONCRETE = FACE TO FACE OF FINISHED CONCRETE
 2. CONCRETE BLOCK = FACE TO FACE OF FINISHED CONCRETE
 3. DRYWALL PARTITIONS = FACE TO FACE OF FINISHED DRYWALL
 4. CENTRE LINE OF GRIDS
 5. CENTRE LINE OF DOORS
 6. ROUGH-OPENING OF WINDOWS
 7. ROUGH OPENING OF CURTAIN WALL FRAMES

- SHOP DRAWING NOTE:**
- OWNER / CONTRACTOR TO ENSURE SHOP DRAWING SUBMITTALS ARE PREPARED BY SYSTEMS DESIGNER (WALL, FLOOR, STAIR, WINDOW, DOOR ETC.)
 - CONTRACTOR TO REVIEW AND APPROVE THE ABOVE MENTIONED SHOP DRAWINGS PRIOR TO SUBMISSION TO THE ARCHITECT. PLANS / DRAWINGS SHOWN ARE FOR REFERENCE AND DESIGN INTENT ONLY AND ARE NOT INTENDED FOR FABRICATION - TYP.
- FIXTURE BLOCKING NOTE:**
- STEEL STUD FRAMING SUB-TRADE TO PROVIDE & INSTALL ALL REQ. WALL BRACING / BLOCKING FOR THE INSTALLATION OF ALL SHOWERS, TUBS, GRAB BARS, SINKS ETC. AS REQ. BY DIVISION 15.
- MILLWORK, FURNITURE AND FIXTURES NOTE:**
- ALL INTERIOR FURNITURE AND MILLWORK IS SHOWN FOR REFERENCE PURPOSES ONLY. PLEASE REFER TO INTERIOR DESIGNERS' DRAWINGS FOR ALL ASSOCIATED MILLWORK FURNITURE AND FIXTURES - TYPICAL.



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 519-445-2137 www.tworow.com info@tworow.com

DRAWINGS ARE NOT TO BE SCALED

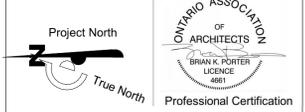
Contractor must verify all dimensions on the drawings and report any discrepancies to the architect before proceeding with the work.

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Iss.	By	Description	Date YY-MM-DD
3	JW	TENDER SUBMISSION-REV.1	21-04-23
2	JW	BUILDING PERMIT - REV.2	20-02-24
1	JW	BUILDING PERMIT - REV.1	19-12-16

Iss.	By	Description	Date YY-MM-DD
Issuance Schedule			

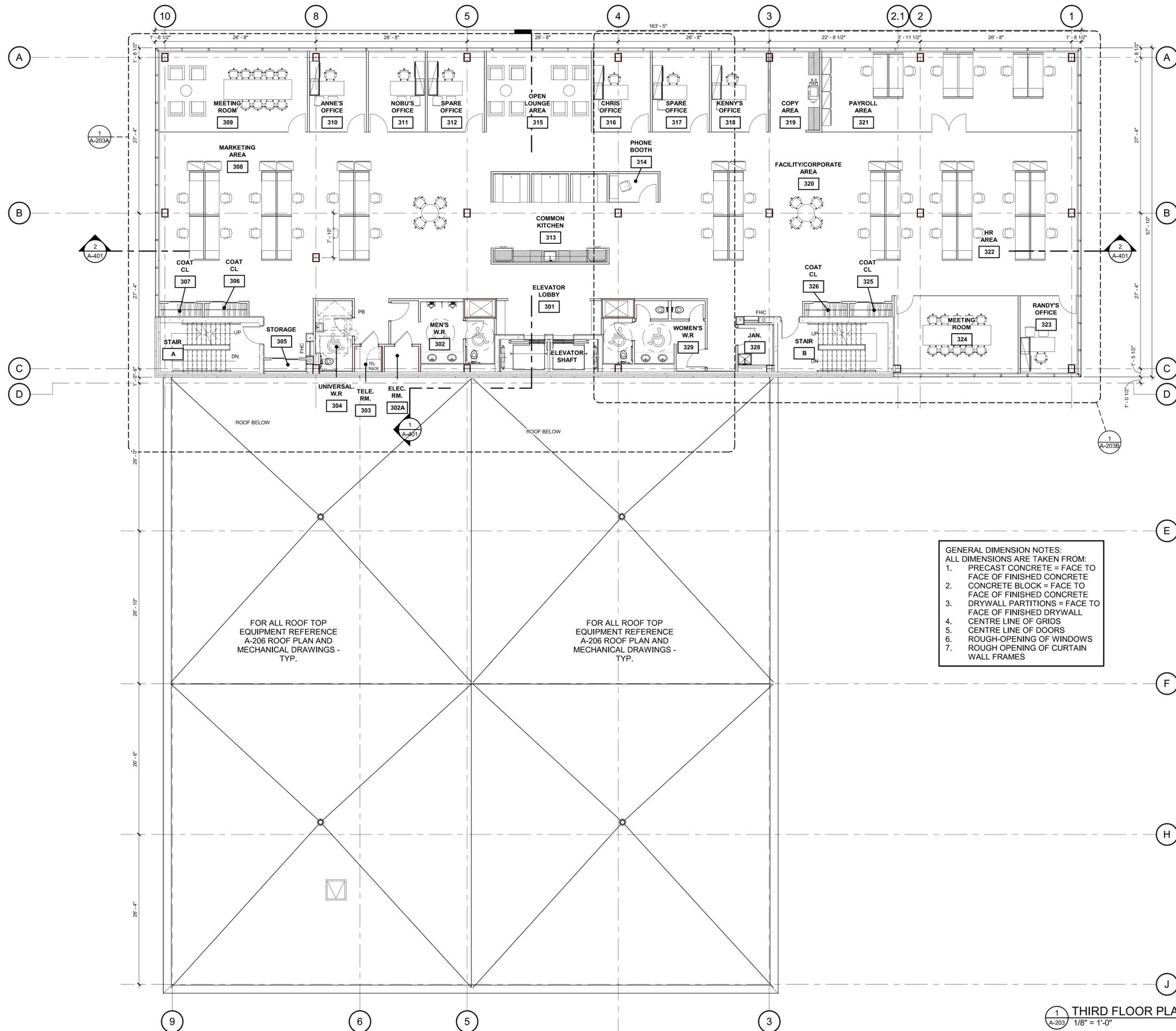
Revisions:
 All previous issues of this drawing are superseded.



NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

SECOND FLOOR KEY PLAN

scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:52:13 PM
 drawing number:



GENERAL DIMENSION NOTES:
 ALL DIMENSIONS ARE TAKEN FROM:
 1. PRECAST CONCRETE = FACE TO FACE OF FINISHED CONCRETE
 2. CONCRETE BLOCK = FACE TO FACE OF FINISHED CONCRETE
 3. DRYWALL PARTITIONS = FACE TO FACE OF FINISHED DRYWALL
 4. CENTRE LINE OF GRIDS
 5. CENTRE LINE OF DOORS
 6. ROUGH-OPENING OF WINDOWS
 7. ROUGH-OPENING OF CURTAIN WALL FRAMES

FOR ALL ROOF TOP EQUIPMENT REFERENCE A-206 ROOF PLAN AND MECHANICAL DRAWINGS - TYP.

FOR ALL ROOF TOP EQUIPMENT REFERENCE A-206 ROOF PLAN AND MECHANICAL DRAWINGS - TYP.

- SHOP DRAWING NOTE:**
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- MILLWORK, FURNITURE AND FIXTURES NOTE:**
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DRAWINGS ARE NOT TO BE SCALED

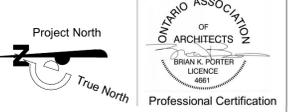
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2	JW	TENDER SUBMISSION-REV.1	21-04-23
1	JW	BUILDING PERMIT - REV.1	19-12-16

Iss.	By	Description	Date YY-MM-DD
Issuance Schedule			

Revisions:
 All previous issues of this drawing are superseded.

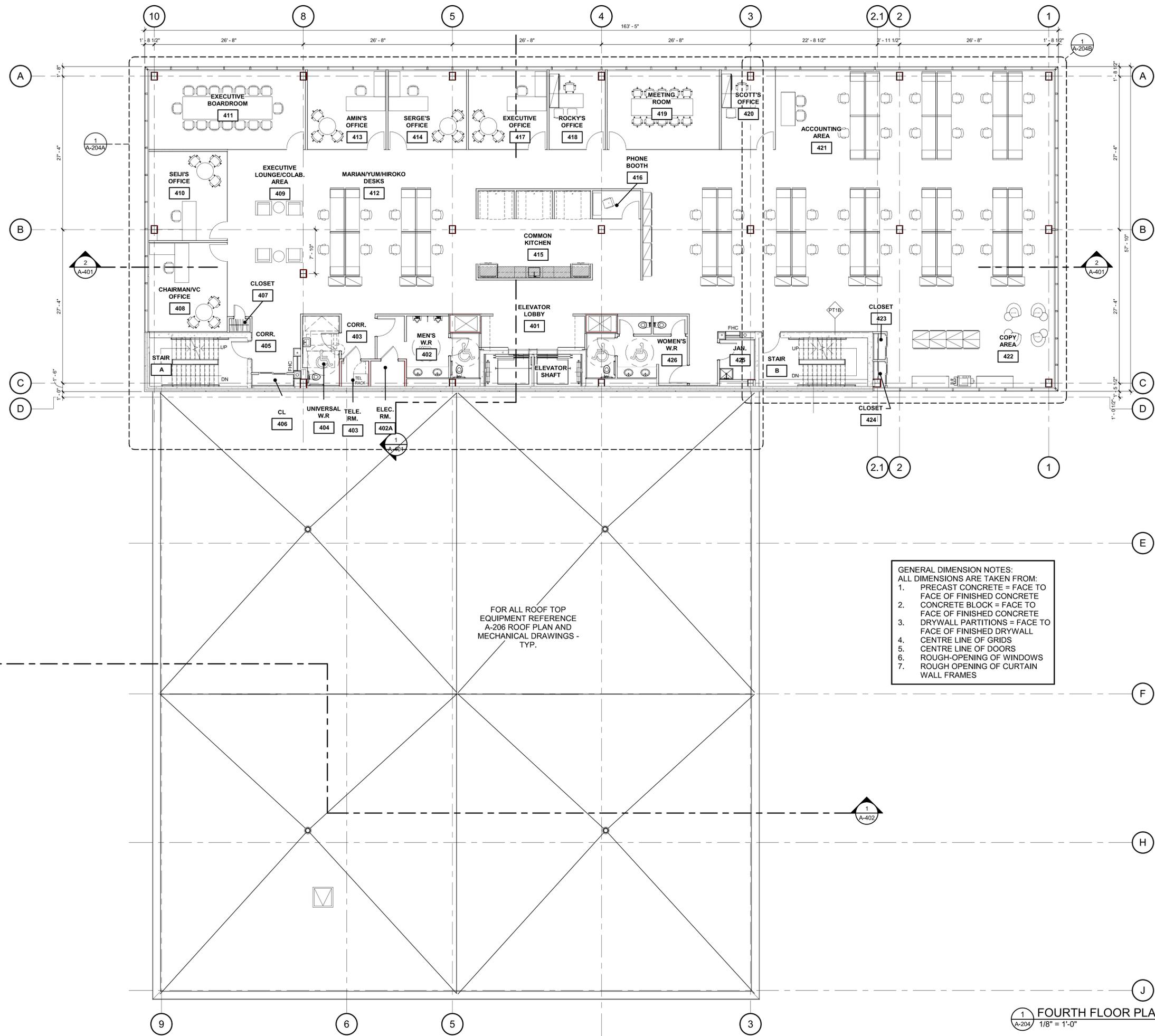


NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

THIRD FLOOR KEY PLAN

scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:52:26 PM

1 THIRD FLOOR PLAN
 A-203 1/8" = 1'-0"



GENERAL DIMENSION NOTES:
 ALL DIMENSIONS ARE TAKEN FROM:
 1. PRECAST CONCRETE = FACE TO FACE OF FINISHED CONCRETE
 2. CONCRETE BLOCK = FACE TO FACE OF FINISHED CONCRETE
 3. DRYWALL PARTITIONS = FACE TO FACE OF FINISHED DRYWALL
 4. CENTRE LINE OF GRIDS
 5. CENTRE LINE OF DOORS
 6. ROUGH-OPENING OF WINDOWS
 7. ROUGH-OPENING OF CURTAIN WALL FRAMES

FOR ALL ROOF TOP EQUIPMENT REFERENCE A-206 ROOF PLAN AND MECHANICAL DRAWINGS - TYP.

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- MILLWORK, FURNITURE AND FIXTURES NOTE:**
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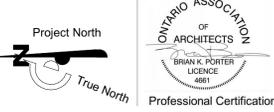
DRAWINGS ARE NOT TO BE SCALED

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2	JW	TENDER SUBMISSION-REV.1	21-04-23
1	JW	BUILDING PERMIT - REV.1	19-12-16

Iss.	By	Description	Date YY-MM-DD
Issuance Schedule			

Revisions:
 All previous issues of this drawing are superseded.

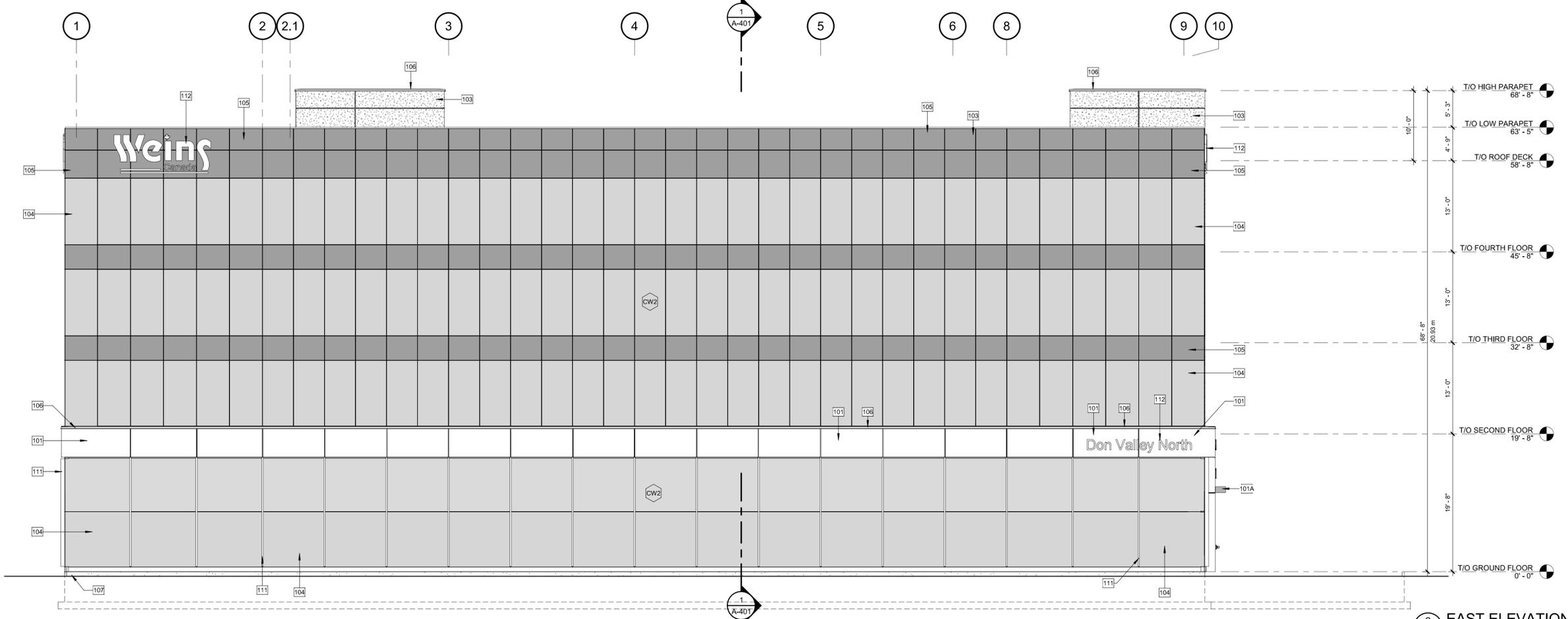


NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

FOURTH FLOOR KEY PLAN

scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:52:36 PM
 drawing number:

1 A-204
 FOURTH FLOOR PLAN
 1/8" = 1'-0"



2 EAST ELEVATION
 1/8" = 1'-0"

BIRD FRIENDLY MEASURES:

Al Grade Condition: The City of Markham Standards require bird friendly treatment to be applied to minimum 85% of contiguous glass panel area, if each panel area is greater than 2 sq.m. and within 16m of finish grade.

Roof Condition: The City of Markham Standards require bird friendly treatment to be applied to minimum 85% of contiguous glass panel area, if each panel area is greater than 2 sq.m. and within 16m of roof finish level.

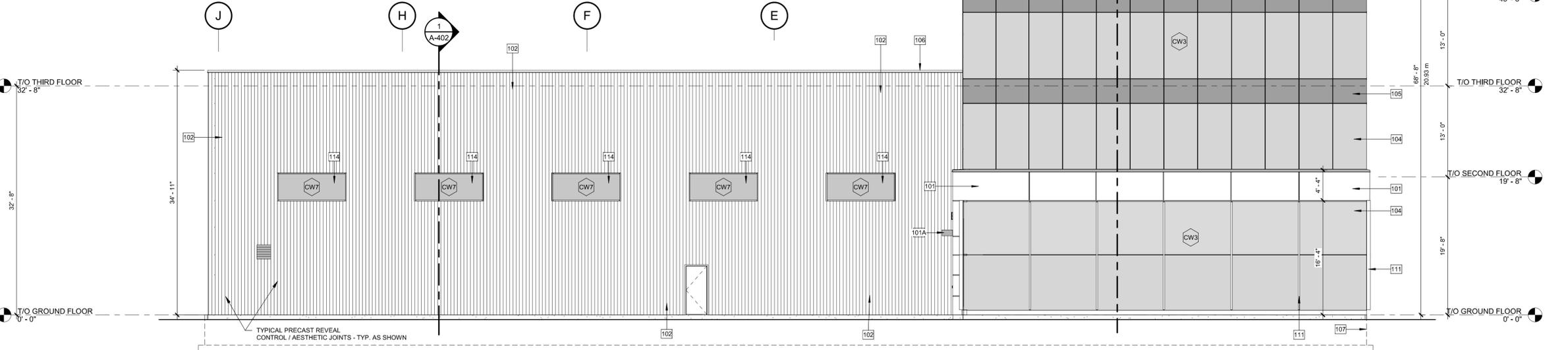
To comply with the above requirements, ALL EXTERIOR GLASS IN THIS PROJECT, with the exception of man-doors and overhead doors, SHALL BE TREATED with the following specified pattern:

Dots sized 5mm in diameter, spaced as per illustration below:
 Dot pattern shall be applied as fitting to inside face of sealed glass unit.

BIRD STRIKE PREVENTION (SHOWN IN LIGHT SHADED GREY):

5MM DIA. DOT PATTERN @ 50MM C/C
 VERTICAL & HORIZONTAL
 SPACED 100MM ON THE DIAGONAL AT
 EXTERIOR SURFACE OF ALL GLAZING
 (TYP. FOR ALL TRANSPARENT GLAZING
 UNITS NOT OPAQUE SPANDREL UNITS U.N.O.)

NO.	DESCRIPTION
101	PREFINISHED METAL PANEL BY ALUCOBOND OR APPROVED EQUAL - FINISH = TOYOTA WHITE ACP
101A	PREFINISHED METAL PANEL BY ALUCOBOND OR APPROVED EQUAL - FINISH = TOYOTA RED ACCENT FIN ACP
102	INSULATED CONCRETE PRECAST PANELS - VERTICAL RIBBED STEEL FORM FINISH WITH CHAMFERED EDGES AND DECORATIVE JOINTING PER DRAWINGS WITH ADDITIONAL CHAMFER STRIPS = FINISH: NAWKAW - NAWTONE-G = LIGHT GREY
103	INSULATED CONCRETE PRECAST PANELS - SMOOTH STEEL FORM FINISH WITH CHAMFERED EDGES AND DECORATIVE JOINTING PER DRAWINGS WITH ADDITIONAL CHAMFER STRIPS = FINISH: NAWKAW - NAWTONE-G = DARK GREY
104	CURTAIN WALL RAINSCREEN STRUCTURAL SILICONE GLAZING UNITS - SPECIFICATION = 8000 STICK - 4-SIDED SSG SERIES CURTAIN WALL SYSTEM BY COMMDOOR ALUMINUM OR APPROVED EQUAL - THERMALLY BROKEN ALUMINUM ANODIZED FRAMES ON THE INSIDE & STRUCTURAL SILICONE BOND-JOINT (BLACK) ON THE OUTSIDE TO CREATE TOTALLY FLUSH GLAZED APPEARANCE C/W INSULATED GLASS UNITS - ENSURE BIRD STRIKE PREVENTION DOT PATTERN IS APPLIED TO GLASS SURFACE
105	CURTAIN WALL SPANDREL STRUCTURAL SILICONE GLAZING UNITS - SPECIFICATION = 8000 STICK - 4-SIDED SSG SERIES CURTAIN WALL SYSTEM BY COMMDOOR ALUMINUM OR APPROVED EQUAL - THERMALLY BROKEN ALUMINUM ANODIZED FRAMES ON THE INSIDE & STRUCTURAL SILICONE BOND-JOINT (BLACK) ON THE OUTSIDE TO CREATE TOTALLY FLUSH GLAZED APPEARANCE C/W INSULATED GLASS UNITS
106	PREFINISHED METAL FLASHING; COLOUR TO MATCH ADJACENT WALL FINISH
107	DASHED LINES DENOTE SUBSTRUCTURE / FOUNDATION WALLS; REFERENCE STRUCTURAL DRAWINGS
110	THERMALLY BROKEN ALUMINUM ANODIZED DOORS AND FRAMES
111	THERMALLY BROKEN ALUMINUM ANODIZED VERTICAL MULLION FRAMES LOCATED ON THE GROUND FLOOR SHOWROOM ONLY
112	ILLUMINATED SIGNAGE BY GENERAL CONTRACTOR; REFERENCE ELECTRICAL DRAWINGS AND ENSURE PROPER SUBSTRATE BACKUP FOR WALL ATTACHMENT IS PROVIDED - TYPICAL.
113	HIGH SPEED OVERHEAD ROLL UP SHOP DOOR - BY EFIFLEX OR APPROVED EQUAL - STYLE = EFA-STT
114	THERMALLY BROKEN PUNCHED GLAZING UNITS: ALUMINUM ANODIZED FRAMES



1 SOUTH ELEVATION
 1/8" = 1'-0"

TWO ROW ARCHITECT

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Iss.	By	Description	Date
3	JW	TENDER SUBMISSION-REV.1	21-04-23
2	JW	PRECONSULTATION 4-STORY	21-03-04
1	JW	BUILDING PERMIT - REV.1	19-12-16

Issuance Schedule

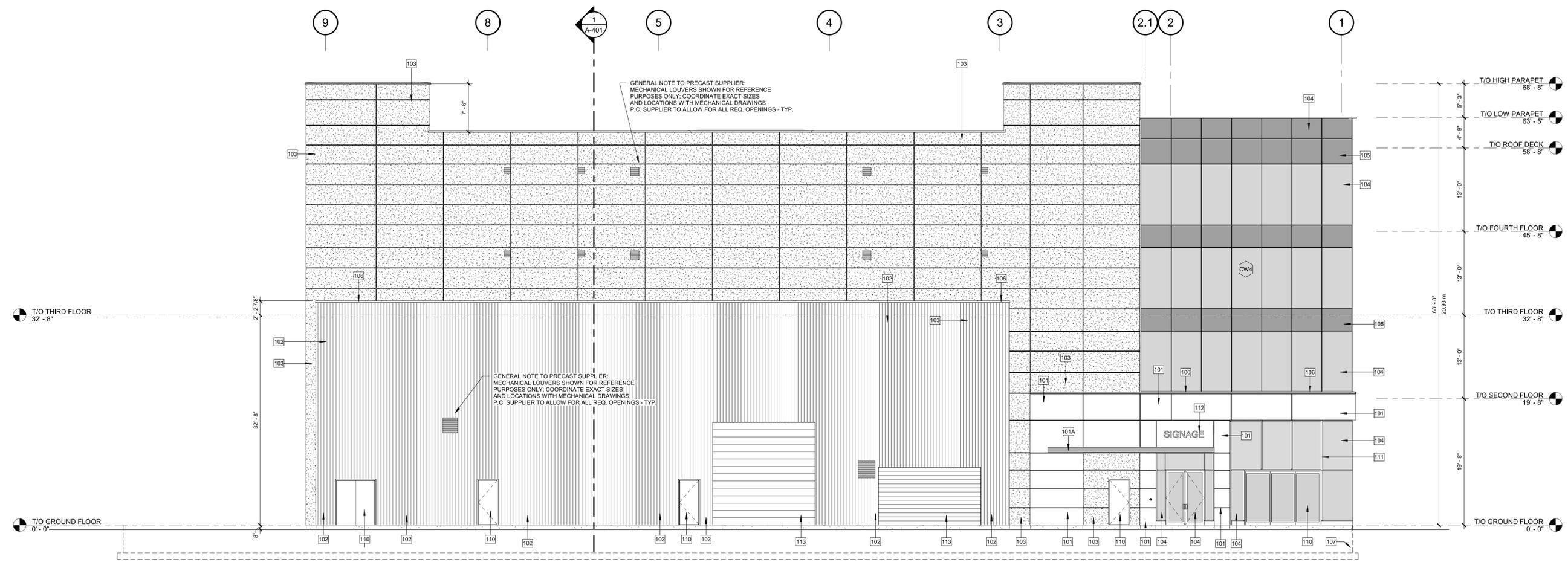
Revisions:
 All previous issues of this drawing are superseded.

ONTARIO ASSOCIATION OF ARCHITECTS
 BRIAN K. PORTER
 LICENCE 4951
 Professional Certification

NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

EXTERIOR SOUTH & EAST ELEVATIONS

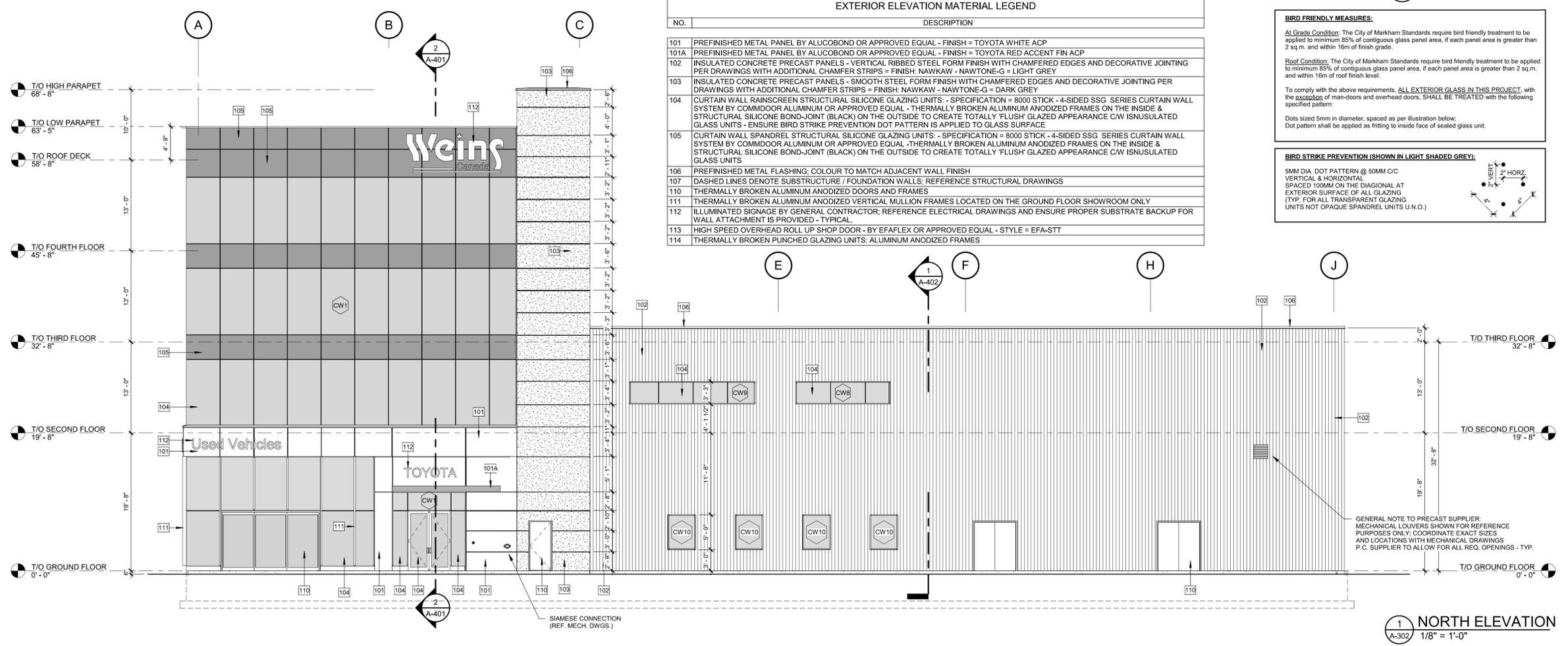
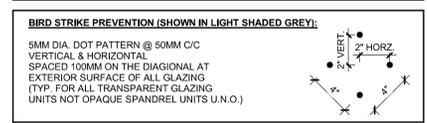
scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:52:53 PM
 drawing number: A-301



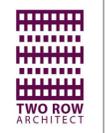
2 WEST ELEVATION
 A-302 1/8" = 1'-0"

EXTERIOR ELEVATION MATERIAL LEGEND	
NO.	DESCRIPTION
101	PREFINISHED METAL PANEL BY ALUCOBOND OR APPROVED EQUAL - FINISH = TOYOTA WHITE ACP
101A	PREFINISHED METAL PANEL BY ALUCOBOND OR APPROVED EQUAL - FINISH = TOYOTA RED ACCENT FIN ACP
102	INSULATED CONCRETE PRECAST PANELS - VERTICAL RIBBED STEEL FORM FINISH WITH CHAMFERED EDGES AND DECORATIVE JOINTING PER DRAWINGS WITH ADDITIONAL CHAMFER STRIPS - FINISH: NAWKAW - NAWTONE-G = LIGHT GREY
103	INSULATED CONCRETE PRECAST PANELS - SMOOTH STEEL FORM FINISH WITH CHAMFERED EDGES AND DECORATIVE JOINTING PER DRAWINGS WITH ADDITIONAL CHAMFER STRIPS - FINISH: NAWKAW - NAWTONE-G = DARK GREY
104	CURTAIN WALL RAINSCREEN STRUCTURAL SILICONE GLAZING UNITS - SPECIFICATION = 8000 STICK - 4-SIDED SSG SERIES CURTAIN WALL SYSTEM BY COMDOOR ALUMINUM OR APPROVED EQUAL - THERMALLY BROKEN ALUMINUM ANODIZED FRAMES ON THE INSIDE & STRUCTURAL SILICONE BOND-JOINT (BLACK) ON THE OUTSIDE TO CREATE TOTALLY 'FLUSH' GLAZED APPEARANCE CW ISUNSLATED GLASS UNITS - ENSURE BIRD STRIKE PREVENTION DOT PATTERN IS APPLIED TO GLASS SURFACE
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112	ILLUMINATED SIGNAGE BY GENERAL CONTRACTOR; REFERENCE ELECTRICAL DRAWINGS AND ENSURE PROPER SUBSTRATE BACKUP FOR WALL ATTACHMENT IS PROVIDED - TYPICAL.
113	HIGH SPEED OVERHEAD ROLL UP SHOP DOOR - BY EFALFLEX OR APPROVED EQUAL - STYLE = EFA-STT
114	THERMALLY BROKEN PUNCHED GLAZING UNITS: ALUMINUM ANODIZED FRAMES

BIRD FRIENDLY MEASURES:
At Grade Condition: The City of Markham Standards require bird friendly treatment to be applied to minimum 85% of contiguous glass panel area, if each panel area is greater than 2 sq.m. and within 16m of roof finish level.
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 Dot pattern shall be applied as fritting to inside face of sealed glass unit.



1 NORTH ELEVATION
 A-302 1/8" = 1'-0"



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NO.	DATE	DESCRIPTION
3	21-04-23	TENDER SUBMISSION-REV.1
2	21-03-04	PRECONSULTATION 4-STORY
1	19-12-16	BUILDING PERMIT - REV.1

Iss.	By	Description	Date
Issuance Schedule			

Revisions:
 All previous issues of this drawing are superseded.

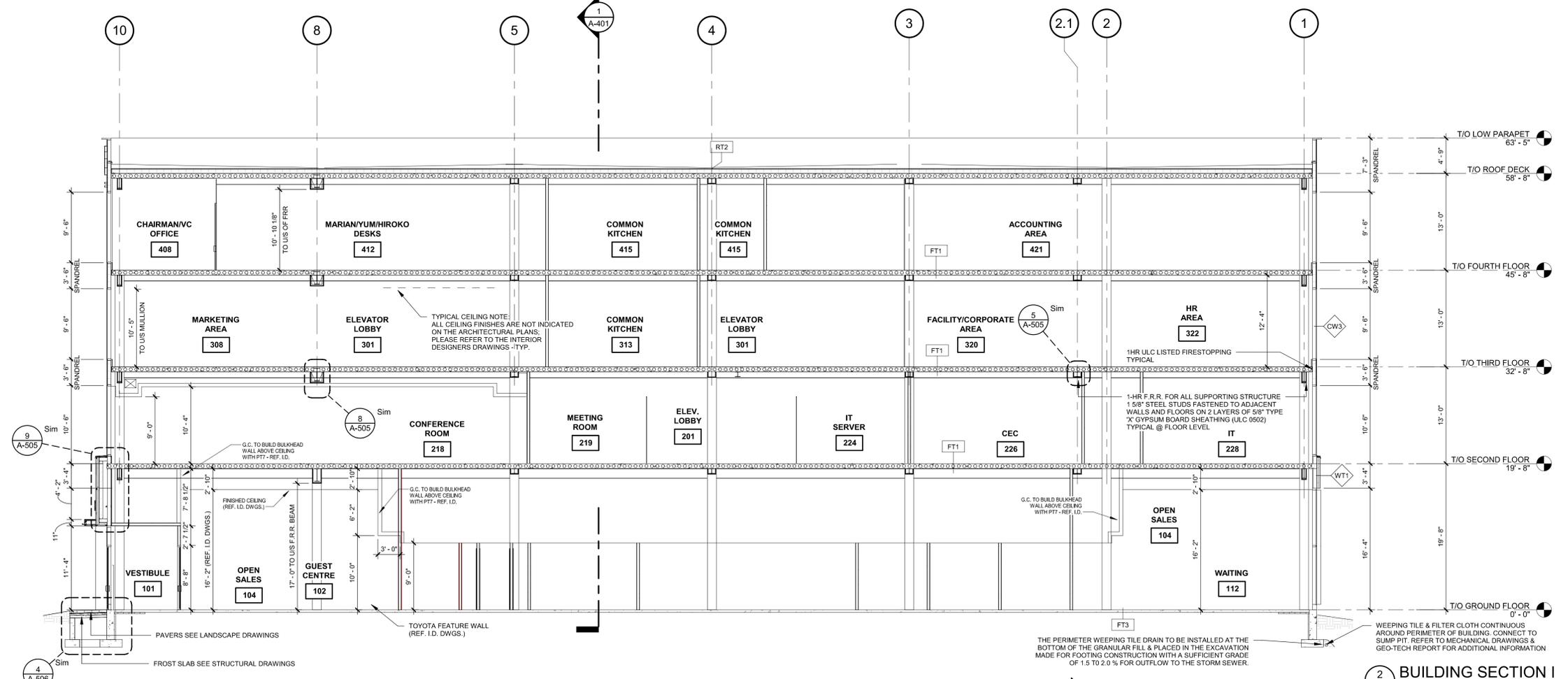


NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

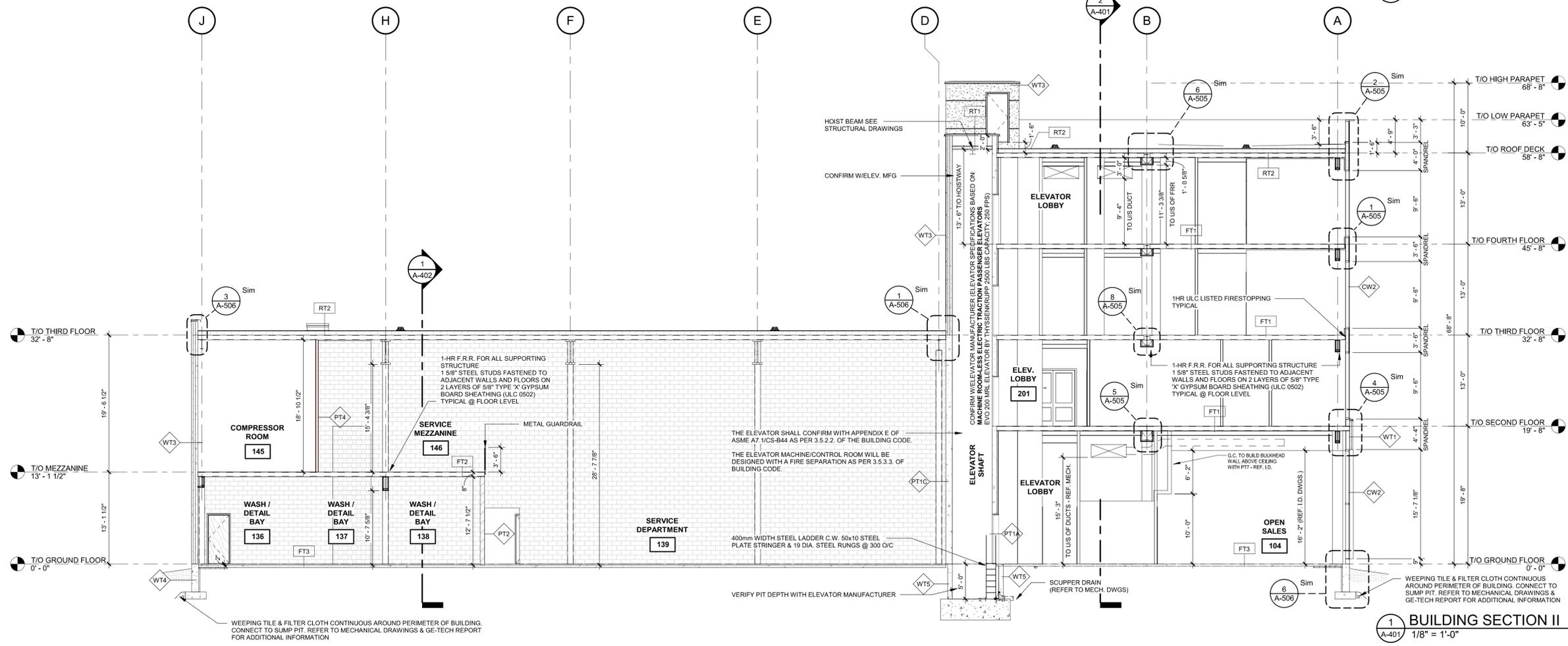
EXTERIOR NORTH & WEST ELEVATIONS

scale: As indicated
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:52:58 PM

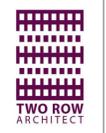
drawing number: **A-302**



2 BUILDING SECTION I
 A-401 1/8" = 1'-0"



1 BUILDING SECTION II
 A-401 1/8" = 1'-0"



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2	JW	TENDER SUBMISSION-REV.1	21-04-23
1	JW	BUILDING PERMIT - REV.1	19-12-16

Iss.	By	Description	Date
Issuance Schedule			

Revisions:
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NEW CORPORATE OFFICE BUILDING
 7200 VICTORIA PARK AVENUE, MARKHAM ON, L3R 2P3
 City of Markham Building Permit No.: 19-142397

BUILDING SECTIONS I

scale: 1/8" = 1'-0"
 drawn by: TVH
 reviewed by: BP
 job number: 1971
 plot date (YY-MM-DD): 21-04-23 4:53:25 PM
 drawing number:



Appendix C

File: 21.129115.000.00.MNV

Date: 08/19/21
MM/DD/YY

FILE: SC 09 116234 001

TO: See Distribution List

FROM: *MB*
Ron Blake, Senior Development Manager

DATE: June 07, 2019

RE: Application for site plan approval
Weins Canada Inc.
7200 Victoria Park Avenue

In accordance with Site Plan Approval Delegation By-law 2002-202, the above-noted application to construct a five (5) storey, 5,393.26 m² (58,030 ft²) corporate head office with accessory car dealership and five (5) level, 14,535 m² (156,397 ft²) parking garage is hereby **approved** in accordance with the site plan agreement dated March 12, 2019.

There have been no changes to the plans since they were endorsed on January 10, 2019. Accordingly, these drawings will now form the "approved", which are available in AMANDA.

Should you have any questions, please contact Sabrina Bordone at extension 8230.

Distribution List

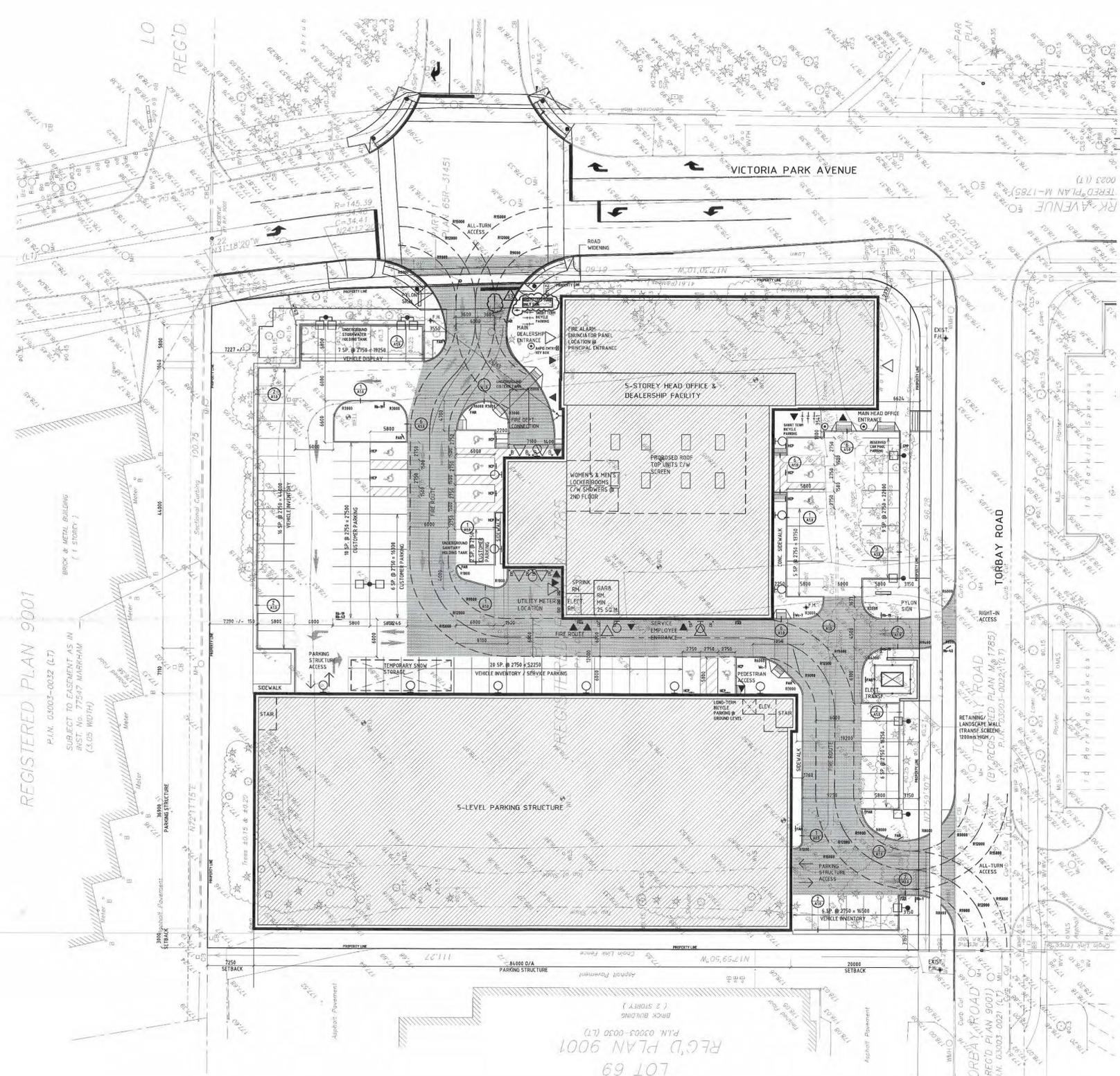
- David Johnston, Zoning Examiner
- Michael DiPasquale, Waste Management & Environmental Services Department
- Kimberly Kitteringham, City Clerk
- Amaris Liu/Joe Lanni, Fire Department
- Miguel Ibrahim, Engineering Department
- Abbie Kar, Urban Design Section
- Tina Roberge, Planning and Urban Design
- Stacy Larkin, Legal Department

External Agencies

Aidan Pereira, TRCA

FYI

Sheila Kerz, Permit Administrator



REGISTERED PLAN 9001
 PLAN: 03003-0032 (LT)
 SUBJECT TO EASEMENT AS IN
 INST. NO. 77547 MARKHAM
 (3.05 WIDTH)

BIRD FRIENDLY MEASURES:
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 Dots sized 5mm in diameter, spaced 5cm centre-to-centre vertically and 10cm centre-to-centre horizontally
 Dot pattern shall be applied as fritting to inside face of sealed glass unit.

GENERAL NOTES - ENVIRONMENTAL INITIATIVES:
Insulation/Air/Vapour Barrier: Insulation and air/vapour barrier systems used in this building shall comply with the OBC (Ontario Building Code) with respect to thermal performance and specified in accordance with the architect's best professional judgement.
Roofing: The proposed roofing material is single-ply (white) TPO membrane that will achieve objectives with respect to reduction of heat gain and heat island effect.
Glazing: Windows shall be thermally broken frames with double glazed sealed units complete with low-E coating. The building shall comply with the latest requirements of the OBC with respect to energy efficiency and performance requirements.
Lighting: Occupancy sensors shall be provided in rooms as required by the OBC.
HVAC System: The HVAC system will be designed to comply with the OBC and ASHRAE with respect to energy efficiency.
Sanitary Fixtures: The plumbing system will be designed to comply with the OBC with respect to energy efficiency.
Hot Water Heating: The water heating system will be designed to comply with the OBC with respect to energy efficiency.
Exterior and Interior Lighting: Lighting specified in the building exterior and interior shall be LED type.
Construction Waste Handling: Qualified construction waste shall be diverted and/or recycled in accordance with good industry practice.

Appendix C
 File: 21.10916.000.000.MY
 Date: 08/14/21
 MIDDOT

8 DETAIL SCALE 1:25
 A1.0

7 DETAIL SCALE 1:25
 A1.0

6 DETAIL SCALE 1:25
 A1.0

5 DETAIL SCALE 1:25
 A1.0

4 DETAIL SCALE 1:25
 A1.0

3 DETAIL SCALE 1:25
 A1.0

2 DETAIL SCALE 1:25
 A1.0

1 DETAIL SCALE 1:25
 A1.0

SITE STATISTICS

Zoning: Office
 Official Plan Designation: Service Employment
 Zoning: Select Industrial and Limited Commercial MC 80X

Site Area
 Total Site Area: 11,660 sq.m. (2.88 Ac)

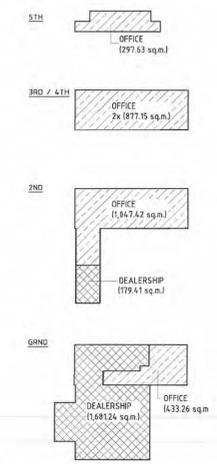
Lot Frontage
 PROPOSED: 110.9 m

Site Coverage
 Building Area: 5,214.10 sq.m. 44.7%
 Paved Area: 4,816.47 sq.m. 41.3%
 Landscaped Area: 1,622.53 sq.m. 14.0%
 Total Site Area: 11,660.00 sq.m. 100%

Building
 Ground Floor: 2,116.50 sq.m. (22,752 sq. ft.)
 Second Floor: 1,226.83 sq.m. (13,268 sq. ft.)
 Third Floor: 877.15 sq.m. (9,438 sq. ft.)
 Fourth Floor: 877.15 sq.m. (9,438 sq. ft.)
 Fifth Floor: 297.63 sq.m. (3,202 sq. ft.)
 Total: 5,395.26 sq.m. (58,030 sq. ft.)

Parking Structure
 Total: 14,535 sq.m. (156,397 sq. ft.)

Building - Area by Use
 Office: 3,532.61 sq.m. (38,010 sq. ft.) 66%
 Dealership: 1,862.65 sq.m. (20,020 sq. ft.) 34%
 Total: 5,395.26 sq.m. (58,030 sq. ft.) 100%



Parking Requirements

REQUIRED
 5,395.26 x 1 sp. per 25 sq. m = 215.73 216 sp.

PROVIDED
 Surface Parking (conforming to By-law) = 88 sp.
 Car Pool Parking = 1 sp.
 Barrier Free Parking = 11 sp.
 15% of req'd parking of 215 = 111 sp.
 Parking Structure (conforming to By-law) = 541 sp.
 Total Parking (CONFORMING TO BY-LAW) = 641 sp.

ITEM	CONTAINED BUILDING LOCAL DATA MATRIX PARTS 3 & 9	REQ. REFERENCE	PROVIDED	REMARKS
1	PROJECT DESCRIPTION	SEE PLAN	SEE PLAN	
2	GENERAL NOTES	SEE PLAN	SEE PLAN	
3	CONCRETE	SEE PLAN	SEE PLAN	
4	ASPHALT	SEE PLAN	SEE PLAN	
5	PAVING	SEE PLAN	SEE PLAN	
6	LANDSCAPING	SEE PLAN	SEE PLAN	
7	VEGETATION	SEE PLAN	SEE PLAN	
8	UTILITIES	SEE PLAN	SEE PLAN	
9	MECHANICAL	SEE PLAN	SEE PLAN	
10	ELECTRICAL	SEE PLAN	SEE PLAN	
11	PLUMBING	SEE PLAN	SEE PLAN	
12	GLAZING	SEE PLAN	SEE PLAN	
13	ROOFING	SEE PLAN	SEE PLAN	
14	FINISHES	SEE PLAN	SEE PLAN	
15	ACCESSIBILITY	SEE PLAN	SEE PLAN	
16	ENVIRONMENTAL	SEE PLAN	SEE PLAN	
17	SAFETY	SEE PLAN	SEE PLAN	
18	OTHER	SEE PLAN	SEE PLAN	

The Design Group has reviewed the site plan and elevation drawings for this development proposal and recommends their endorsement.
 Date: January 10, 2019
 Signature: [Signature]
 for City Architect
 LEGEND

- Plans endorsed in principle subject to compliance with conditions set out in Memorandum dated Jan 10/19
 Date: Jan 10/19
 Signature: [Signature]
 Senior Development Manager
- BOLLARD
 - FIRE HYDRANT
 - HEAVY DUTY ASPHALT PAVING
 - STANDARD DUTY ASPHALT PAVING
 - CONCRETE UNIT PAVING
 - VEHICULAR ACCESS DOOR
 - MAN DOOR
 - FIRE DEPT. SIAMSE CONNECTION
 - LIGHT STANDARD
 - RETAINING WALL
 - CATCH BASIN
 - MANHOLE
 - CATCH BASIN MANHOLE
 - SIGNAGE
 - CPP = CAR POOL PARKING
 - HCP = DISABLED PARKING
 - Rb-12 = 'NO LEFT TURN'
 - Rb-14 = 'DO NOT ENTER'
 - Wc-07 = 'PEDESTRIAN CROSSING'
 - FAR = 'FIRE ACCESS ROUTE'

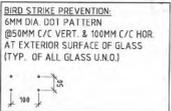
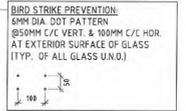
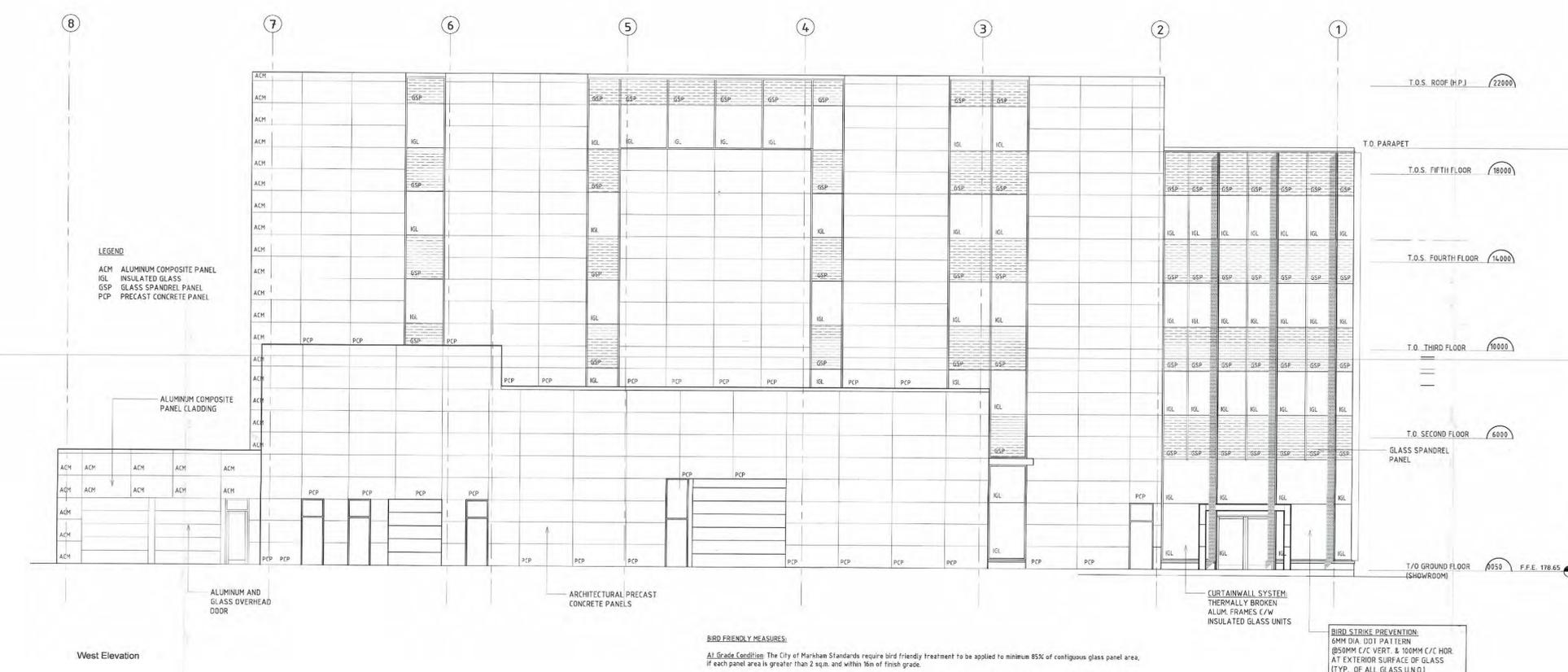
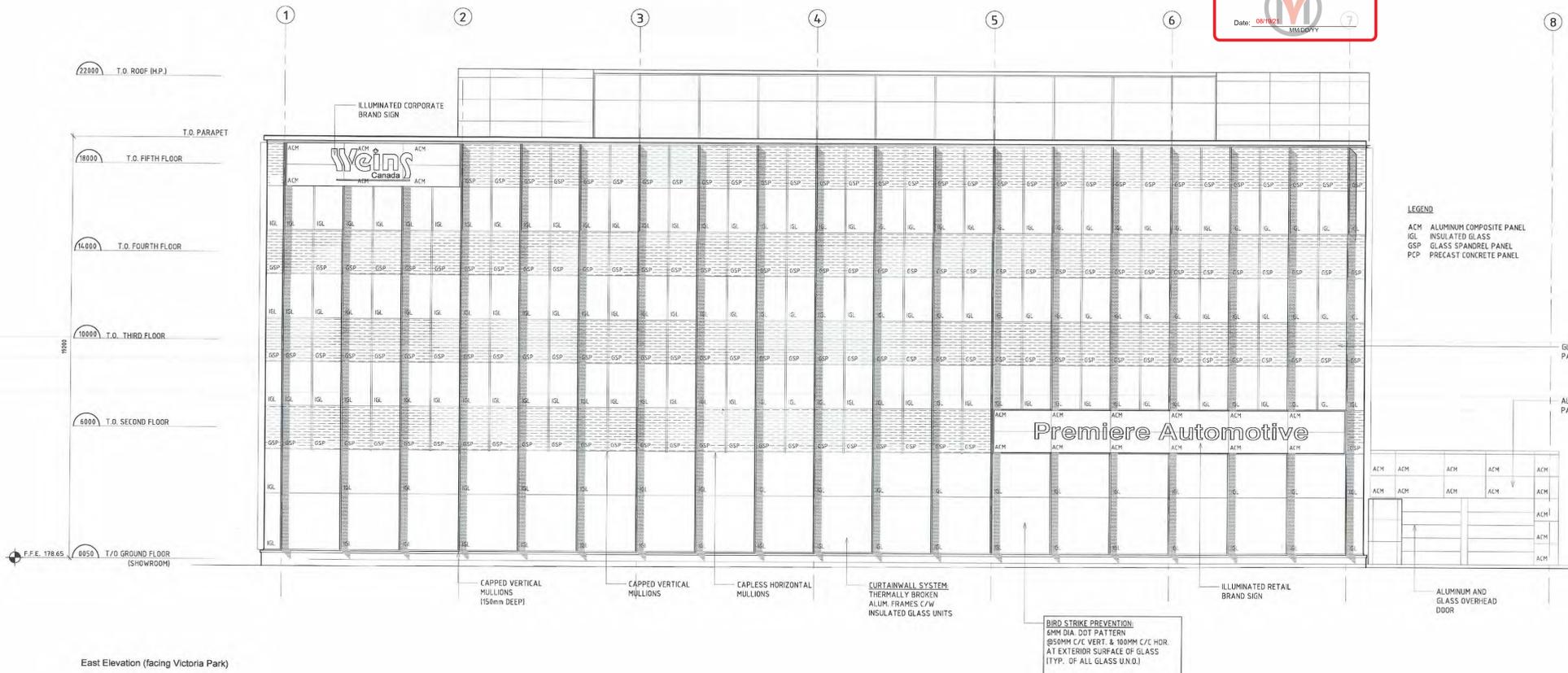
14	REV. SITE AREA STATISTICS	31-JUL-18
13	ADD RIGHT/LEFT ONLY SIGN	28-APR-18
12	REV PER MUNICIPAL COMMENTS	18-JAN-18
11	UPDATED CURBSIDE	03-NOV-17
10	UPDATED DRIVEWAY ENTRANCE	06-SEP-17
9	UPDATED SURVEY/ROAD WIDEG	31-AUG-17
8	REV RIGHT-IN DRIVEWAY WIDTH	11-AUG-17
7	ADD SNOW STORAGE	20-JUN-17
6	ADD TORBAY SETBACK DIM.	04-MAY-17
5	REV STATISTICS/C.C. SPACE	29-MAY-17
4	REV PER MUNICIPAL COMMENTS	24-FEB-17
3	REVIEW	21-FEB-17
2	REVIEW	08-FEB-17
1	SITE PLAN APPROVAL	15-JUN-16



eightspace inc
 ARCHITECTURE + DESIGN
 5098A Dundas Street West
 Toronto Ontario M9A 1C2
 416.622-7888
 eightspace.com

Weins H/O - Dealership
 Markham Ontario

Project: Weins H/O - Dealership
 Site Plan
 Project No: 1304 Date: JAN 2019
 Scale: 1:300



BIRD FRIENDLY MEASURES:

At Grade Condition: The City of Markham Standards require bird friendly treatment to be applied to minimum 85% of contiguous glass panel area, if each panel area is greater than 2 sqm. and within 16m of finish grade.

Roof Condition: The City of Markham Standards require bird friendly treatment to be applied to minimum 85% of contiguous glass panel area, if each panel area is greater than 2 sqm. and within 16m of roof finish level.

To comply with the above requirements, **ALL EXTERIOR GLASS IN THIS PROJECT**, with the exception of man-doors and overhead doors, SHALL BE TREATED with the following specified pattern:

Dots sized 5mm in diameter, spaced 5cm centre-to-centre vertically and 10cm centre-to-centre horizontally
 Dot pattern shall be applied as fritting to inside face of sealed glass unit.

MARKHAM BIRD FRIENDLY SPECIFICATION CHECKLISTS FOR APPLICANT

The City of Markham Council approved the Bird Friendly Guidelines on February 11, 2014. The development of Bird Friendly Guidelines was identified as a priority in the Greenprint - Markham's Sustainability Plan (2011) and Markham's new Official Plan (2013) in order to address and manage bird-window collisions over the long term. The Guidelines provide guidance on treatments and techniques for new development and retrofit design treatments, and identify appropriate implementation mechanisms consistent with City practices and guidelines.

As part of the Guidelines, the Bird Friendly Specification Checklists were also approved as an implementation tool to guide developers in the Site Plan Approval process. Refer to the following stages of the Site Plan Approval process for implementation requirements. It is the responsibility of the applicant to adhere to the Guidelines at first site plan submission in order for the application to be deemed complete.

The Checklists represent the mandatory requirements that apply to developments and redevelopments under the Site Plan Approval process. The application of secondary process is recommended and can be further discussed during the site plan review process. Please refer to Chapter 4.3 of the Guideline for details.

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)

Bird Friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)
 Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.

Development contains no glass panel within 16m from roof level finished grade.

Patterns (check to confirm one or more of the below are applied)

Stripes
 Horizontal strip spacing is less than 5cm on centre; vertical strip spacing is less than 10cm on centre; horizontal strip widths are greater than 3.1mm; and vertical strip widths are greater than 6.1mm.

Dots
 Dot size is larger than 5mm; horizontal strip spacing is less than 5cm on centre; and vertical strip spacing is less than 10cm on centre.

Specifications (check to confirm one or more of the below is applied)

Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.

Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

STEP 1: Applicant to complete and include Bird Friendly Specification Checklist as part of the Elevation Drawing(s) at first site plan submission. Drawing(s) are to be stamped and signed by an OAA member and identify all contiguous glass area that are larger than 2m².

STEP 2: Applicant to complete and submit the Bird Friendly Lighting Checklist. Drawing(s) to be stamped and signed by a P.Eng. Drawings to include Lighting Photometric and Light Fixture Specifications from catalogue. Provide cost estimate of light fixtures.

MARKHAM BIRD FRIENDLY LIGHTING CHECKLIST

Applicant to include checklist on Electrical Engineering Drawing(s) at first landscape plan submission. Drawing(s) to be stamped and signed by a P.Eng.

MANDATORY LIGHTING CRITERIA FOR ALL DEVELOPMENTS (check to confirm the below is applied)

The use of exterior up lighting is eliminated; there is no exterior light spill outside of property line.

Plans approved in accordance with site plan Agreement dated: March 12, 2019
 Date: June 07, 2019
 Signature: [Signature]
 Senior Development Manager

The Design Group has reviewed the site plan and elevation drawings for this development proposal and recommends their endorsement.
 Date: January 10, 2019
 Signature: [Signature]
 City Architect

Plans endorsed in principle subject to compliance with conditions set out in Memorandum dated: Jan 10/19
 Date: Jan 10/19
 Signature: [Signature]
 Senior Development Manager

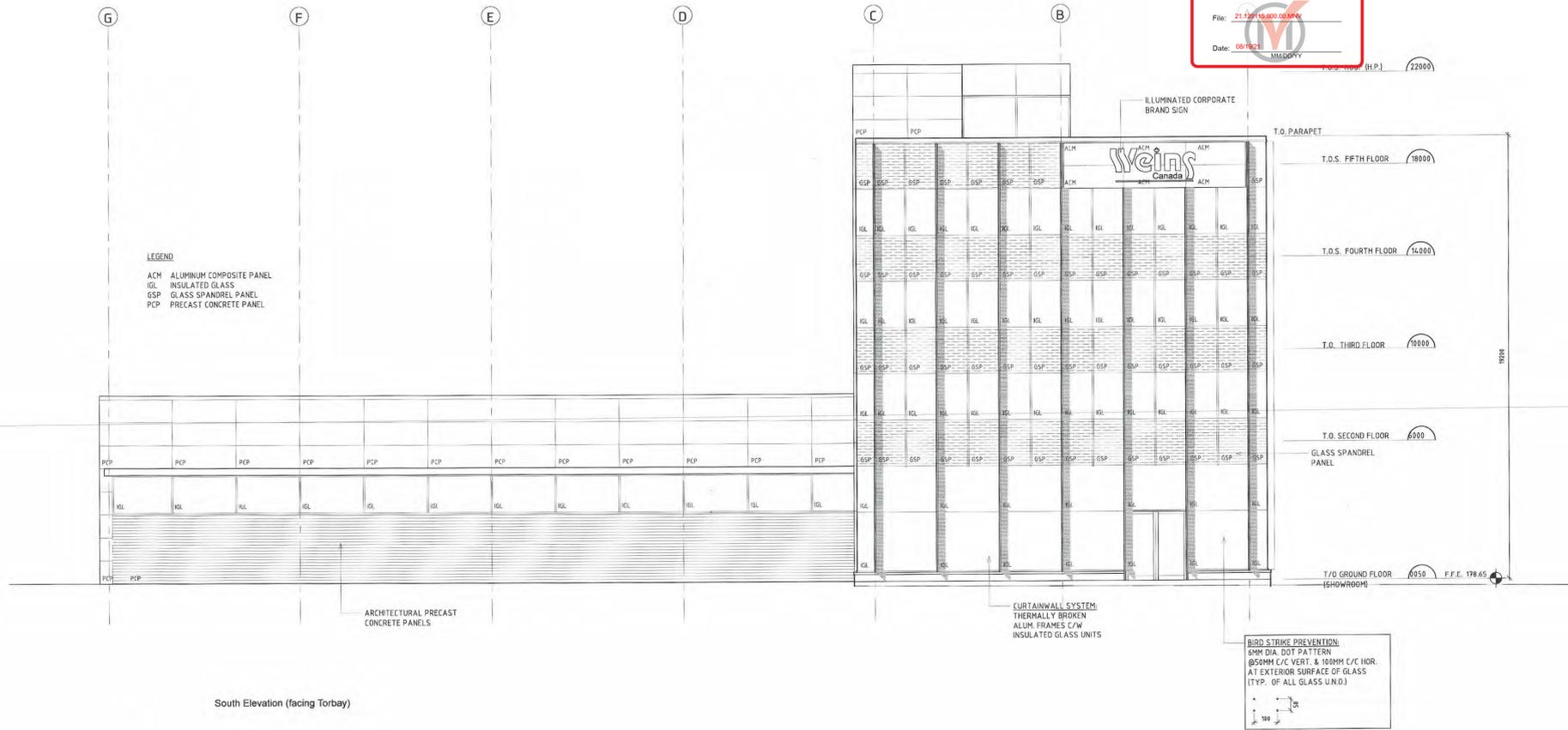
REV	PER MUNICIPAL COMMENTS	DATE
8	REV PER MUNICIPAL COMMENTS	24-FEB-17
4	ADD ADDL OFFICE STOREY	16-FEB-17
3	SITE PLAN APPROVAL	06-JUN-16
2	REVIEW	12-APR-16
1	REVIEW	24-MAR-16

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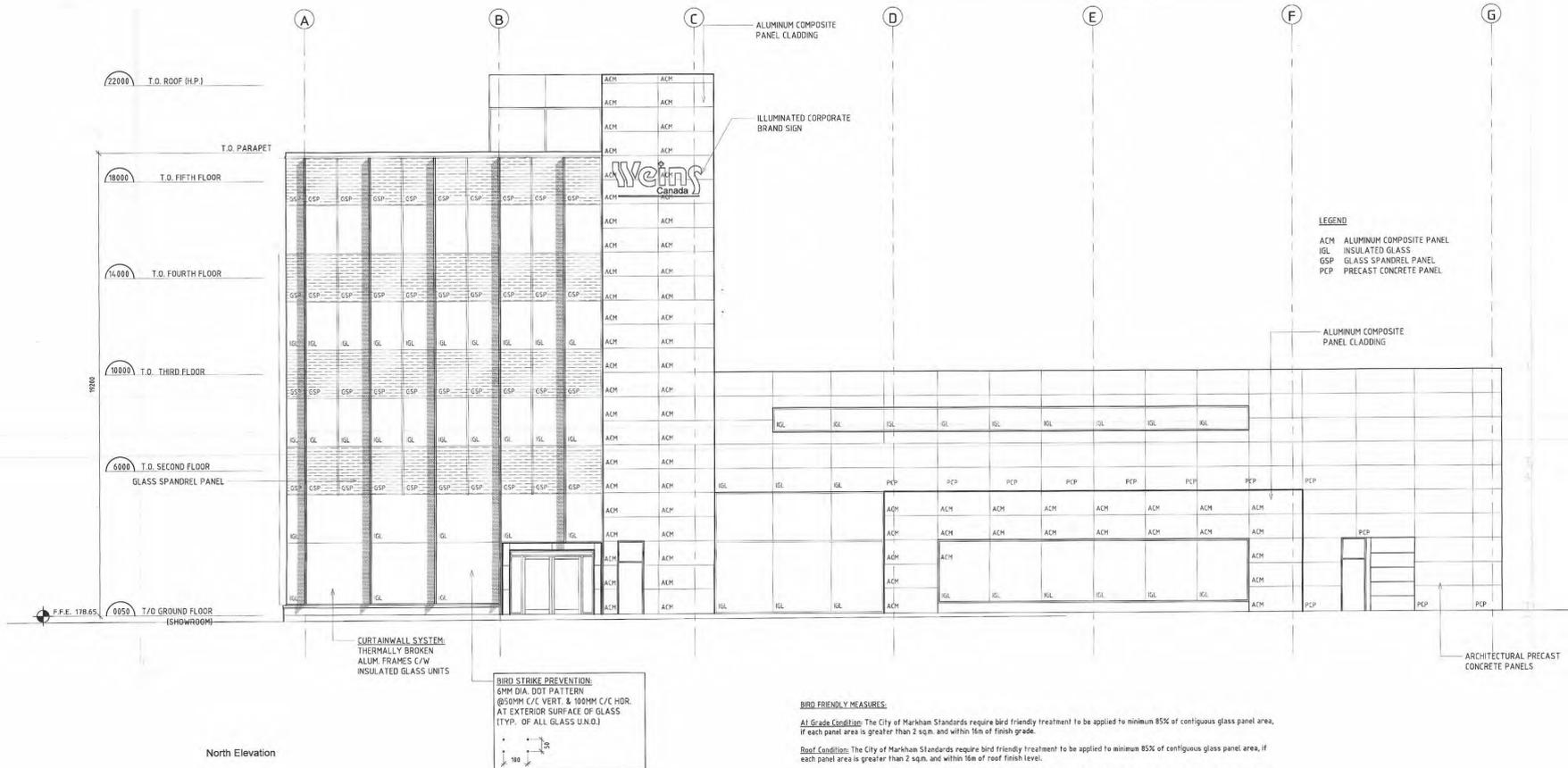


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 416-622-7888
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Weins H/O - Dealership
 Markham Ontario



South Elevation (facing Torbay)



North Elevation

MARKHAM BIRD FRIENDLY SPECIFICATION CHECKLISTS FOR APPLICANT

The City of Markham Council approved the Bird Friendly Guidelines on February 11, 2014. The development of Bird Friendly Guidelines was identified as a priority in the Greenprint - Markham's Sustainability Plan (2011) and Markham's new Official Plan (2013) in order to address and manage bird-window collisions over the long term. The Guidelines provide guidance on treatments and techniques for new development and retrofit design treatments, and identify appropriate implementation mechanisms consistent with City practices and guidelines.

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MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

- Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.
- MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)**
- Bird Friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.
 - Roof Landscape Condition (check to confirm one of the below is applied)
 - Bird Friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
 - Development contains no glass panel within 16m from roof level finished grade.
- Patterns (check to confirm one or more of the below are applied)**
- Stripes
 - Horizontal strip spacing is less than 5cm on centre;
 - vertical strip spacing is less than 10cm on centre;
 - horizontal strip widths are greater than 3.1mm; and
 - vertical strip widths are greater than 6.1mm.
 - Dots
 - Dot size is larger than 5mm;
 - horizontal strip spacing is less than 5cm on centre; and
 - vertical strip spacing is less than 10cm on centre.
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- Pattern is applied as fitting or etching of glass; and pattern colour are high contrast in relation to the background.
 - Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

MARKHAM BIRD FRIENDLY LIGHTING CHECKLIST

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Plans approved in accordance with site plan
 Agreement dated: March 12, 2019
 Date: June 07, 2019
 Signature: [Signature]
 Senior Development Manager

The Design Group has reviewed the site plan and elevation drawings for this development proposal and recommend their endorsement.
 Date: January 10, 2019
 Signature: [Signature]
 City Architect

Plans endorsed in principle subject to compliance with conditions set out in Memorandum dated: Jan. 10/19
 Date: Jan 10/19
 Signature: [Signature]
 Senior Development Manager

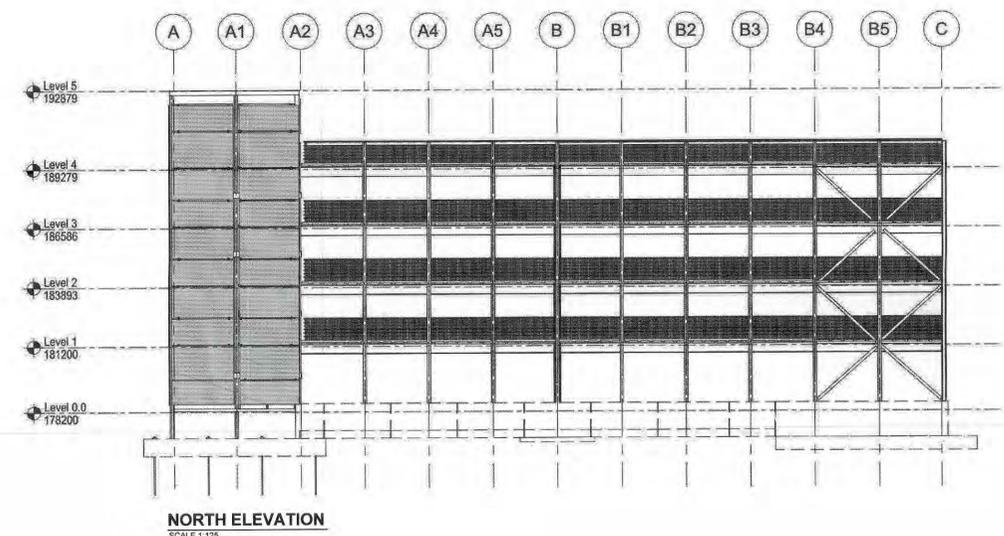
8	REV PER MUNICIPAL COMMENTS	24-FEB-17
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3	SITE PLAN APPROVAL	06-JUN-16
2	REVIEW	12-APR-16
1	REVIEW	24-MAR-16

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 ARCHITECTURE • DESIGN
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 416-622-7898
 8space.com

Appendix C
 File: 2112018.000.00.PRV
 Date: 08/10/21



NORTH ELEVATION
SCALE 1:125

EIGHTSPACE INC.
 ONTARIO ASSOCIATION
 OF ARCHITECTS
 TAYLOR ESTRAT
 LICENSE
 5691
 FOR MARKHAM BIRD
 FRIENDLY CHECKLIST ONLY

MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)

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Roof Landscape Condition (check to confirm one of the below is applied)

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Patterns (check to confirm one or more of the below are applied)

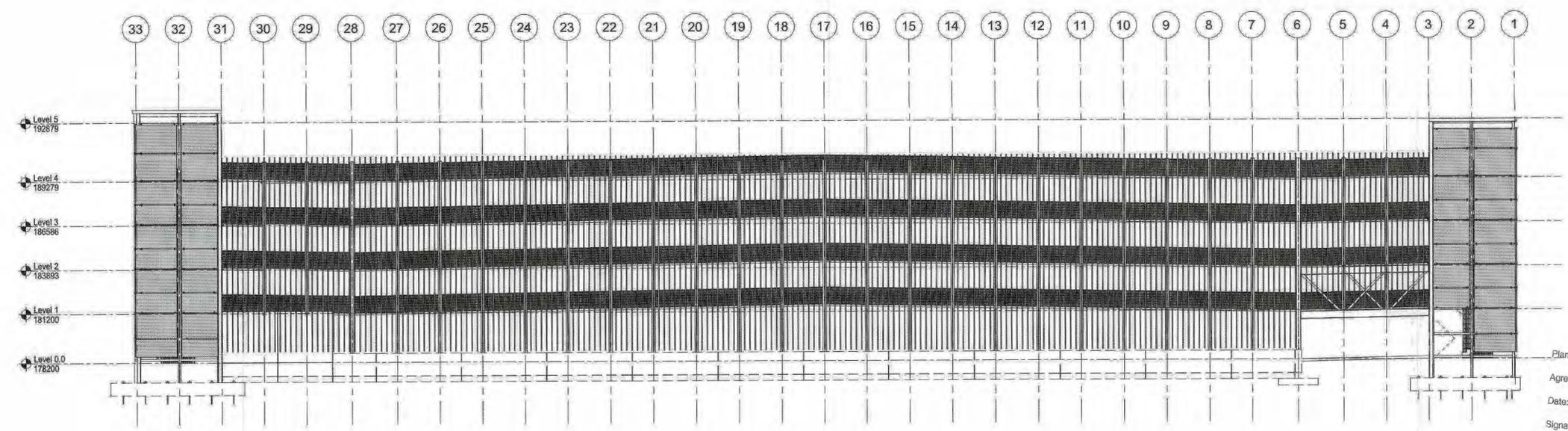
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Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.



EAST ELEVATION
SCALE 1:100

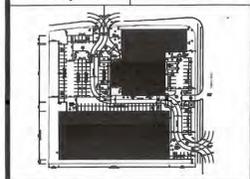
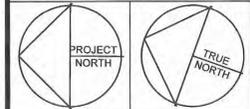
Plans approved in accordance with site plan
 Agreement dated: March 12, 2019
 Date: June 07, 2019
 Signature: [Signature]
 Senior Development Manager

The Design Group has reviewed the site plan and elevation drawings for this development proposal and recommend their endorsement.
 Date: January 10, 2019
 Signature: [Signature]
 for City Architect

Plans endorsed in principle subject to compliance with conditions set out in
 Memorandum dated: Jan 10, 2019
 Date: Jan 10, 2019
 Signature: [Signature]
 Senior Development Manager



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DEC 5 2018	REISSUED FOR SPA	
DEC 1 2016	REISSUED FOR SPA	
JUNE 6 2016	ISSUED FOR SPA	
JAN 06 2016	ISSUED FOR OWNER REVIEW	
No	Date	Revision

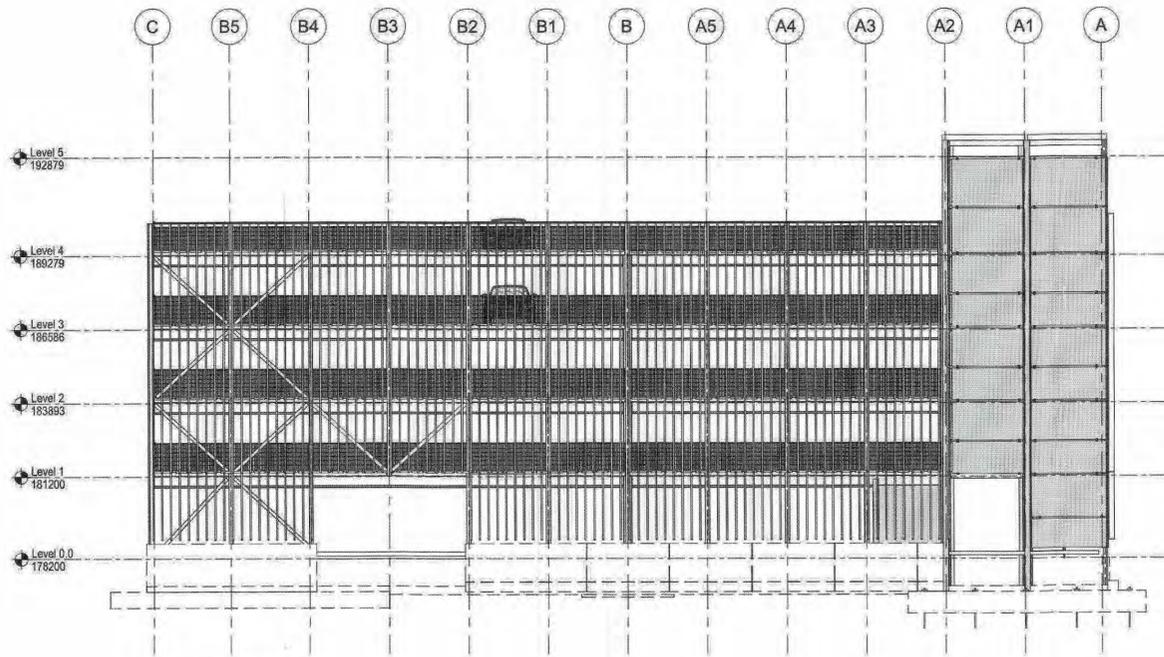
Newton Parking STRUCTURES LTD.
 41 Massey Road
 Guelph, Ontario N1H 7M6
 Tel: 519-822-5281
 www.kiwi-newton.com

Weins Canada
 3120 Steeles Ave. E.
 Markham, Ontario L3R 1G9
 T: 905 475 0308
 www.weinscanada.com

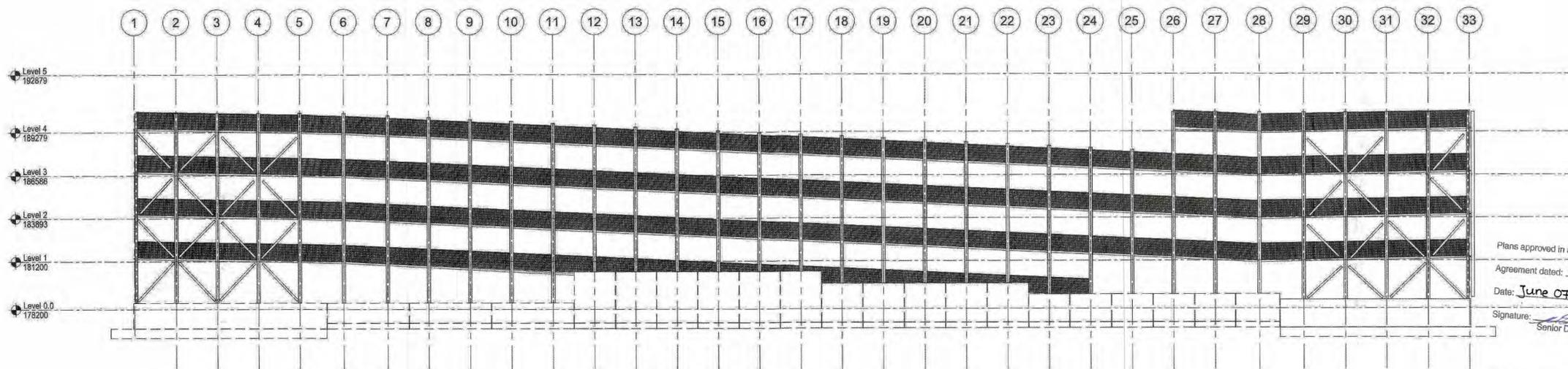
Project Title
PARKING STRUCTURE WEINS H/O DEALERSHIP
 MARKHAM, ON

Drawing
ELEVATIONS

Scale: 1:125
 Date: JAN 05 2016
 Drawn By: 1HR/CJNK
 Dwg. #
PSA3.0



SOUTH ELEVATION
SCALE 1:125



WEST ELEVATION
SCALE 1:125



MARKHAM BIRD FRIENDLY BUILDING CHECKLIST

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)

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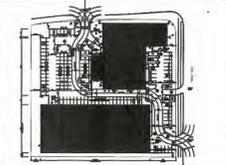
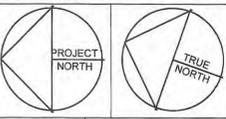
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Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

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DEC 5 2016	REISSUED FOR SPA	
DEC 1 2016	REISSUED FOR SPA	
JUNE 6 2016	ISSUED FOR SPA	
JAN 06 2016	ISSUED FOR OWNER REVIEW	
No.	Date	Revision

No.	Date	Revision
-----	------	----------

Newton Parking STRUCTURES LTD.
 41 Massey Road
 Guelph, Ontario N1H 7M6
 Tel: 519-822-5281
 www.kwi-newton.com

Weins Canada
 3120 Steeles Ave. E.
 Markham, Ontario L3R 1G9
 T: 905 475 0008
 www.weinscanada.com

Plans approved in accordance with site plan
 Agreement dated: March 12, 2019
 Date: June 07, 2019
 Signature: [Signature]
 Senior Development Manager

The Design Group has reviewed the site plan and elevation drawings for this development proposal and recommend their endorsement.

Date: January 10, 2019
 Signature: [Signature]
 City Architect

Plans endorsed in principle subject to compliance with conditions set out in

Memorandum dated: Jan. 16/19
 Date: Jan 16/19
 Signature: [Signature]
 Senior Development Manager

FAÇADE TYPE

[Pattern]	GLASS PANEL 5% OPEN AIR	[Pattern]	GALVANIZED BLANK MESH 50% OPEN AIR	[Pattern]	CONCRETE 0% OPEN AIR	[Pattern]	ANODIZED ALUMINUM PLASTER	[Pattern]	100% OPEN AIR	[Pattern]	GALVANIZED FRAMING
-----------	-------------------------	-----------	------------------------------------	-----------	----------------------	-----------	---------------------------	-----------	---------------	-----------	--------------------



Project Title
PARKING STRUCTURE WEINS H/O DEALERSHIP
 MARKHAM, ON

Drawing
ELEVATIONS

Scale 1:125
 Date JAN 05 2016
 Drawn By UR/CNK
 Project No. P1601
PSA3.1

APPENDIX "D"

CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/098/21

1. The variance applies only to the proposed development as long as it remains;
2. That the variance applies only to the subject development, in substantial conformity with the plan(s) attached as 'Appendix B' to this Staff Report; or further revised by any site plan 'endorsed' or 'approved' drawings under File No. SPC 21 129279.

CONDITIONS PREPARED BY:

A handwritten signature in black ink, appearing to read "Melissa Leung". The signature is cursive and somewhat stylized.

Melissa Leung, Planner, Central District