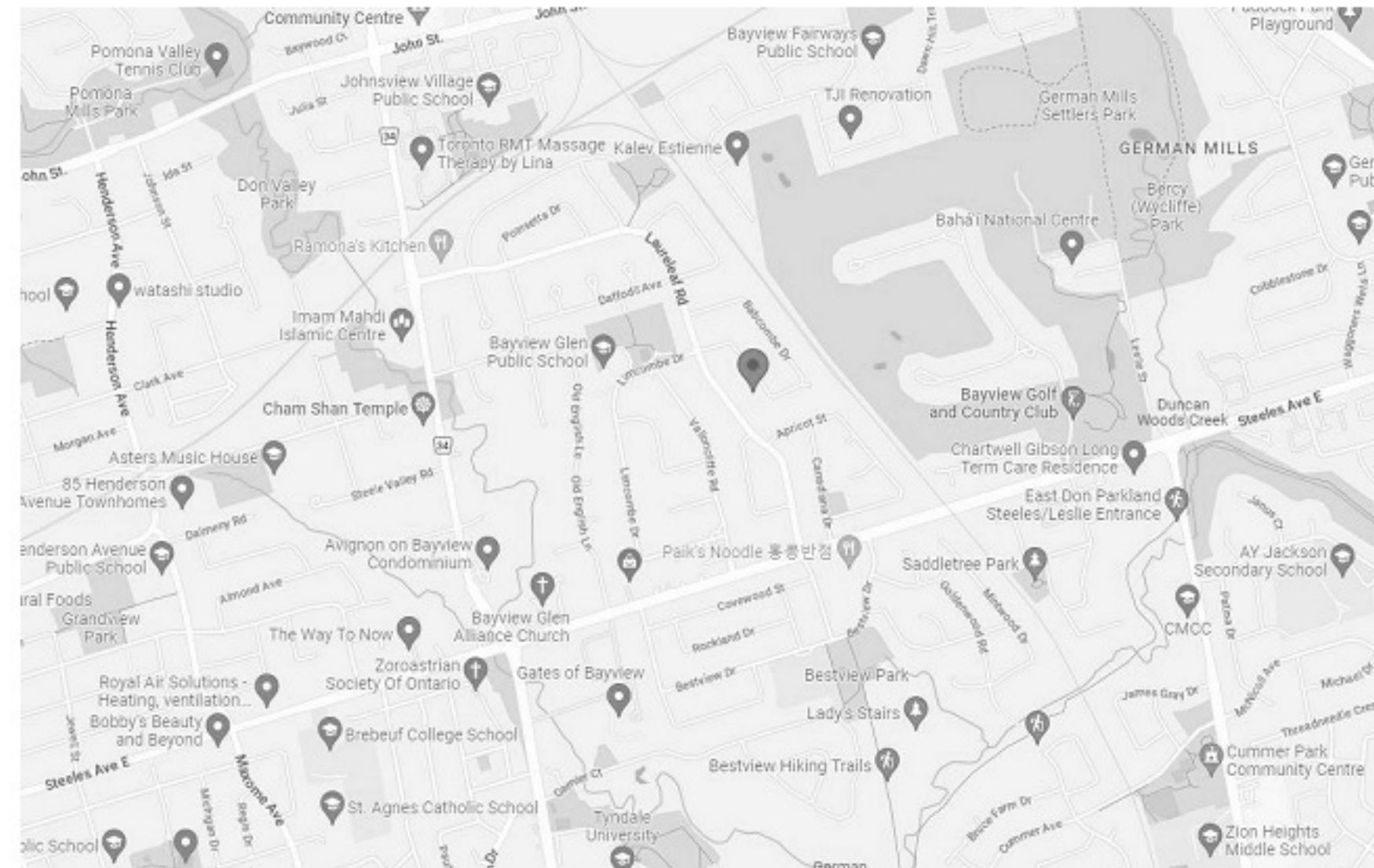


1 3D View 1



KEY MAP

PROJECT:  
**67 BABCOMBE DR**  
**THORNHILL, ON**

Project number: 2022-41  
 Date: MARCH, 2024  
 ISSUED FOR: ZONING

ARCHITECTURAL DESIGN    STRUCTURAL ENGINEERS    HVAC CONSULTANT  
**CONTEMPO STUDIO**

1140 THE QUEENSWAY  
 Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca  
 w. contempostudio.ca  
 t. 416 770 0071  
 f. 416 642 1691

**Sheet List**

Sheet Number	Sheet Name
--------------	------------

A0	COVER PAGE
A1	SITE PLAN
A2	BASEMENT PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	ROOF PLAN
A6	FRONT ELEVATION
A7	RIGHT ELEVATION
A8	REAR ELEVATION
A9	LEFT ELEVATION
A10	ELEVATION AREAS (HVAC ONLY)
A11	WINDOW SCHEDULE
A12	SECTION
A13	SECTION
A14	SECTION
A15	SECTION
A16	DETAILS
A17	DETAILS
A18	DETAILS
A19	3D VIEW
A20	3D VIEW

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2.	COA REVISION	2024-MAR-07

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Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.	
MARIN ZABZUNI	45250
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

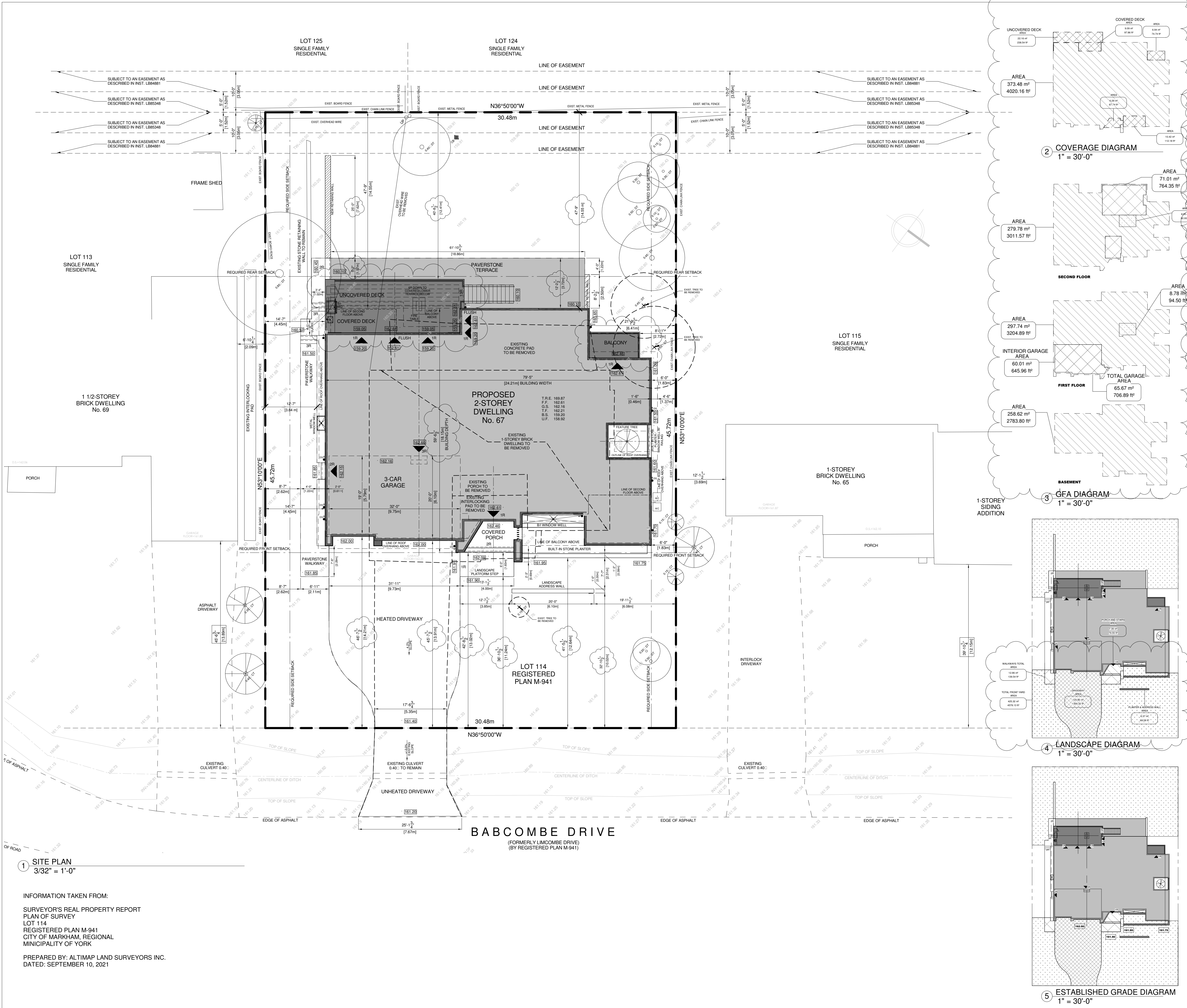
2 STOREY DWELLING  
 AT  
**67 BABCOMBE DR**  
**THORNHILL, ON**

COVER PAGE

Project number:	2022-41
Rev. no.:	
Scale:	
Date:	MARCH, 2024
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number:

**A0**



**PROJECT STATISTICS**

Address: 67 Babcombe Drive, Thornhill, ON  
Municipality: York (Markham)  
Legal Lot Description: Lot 114, Registered Plan M-941  
Date: 3/5/2024

Zoning Designation:	SR3
Lot Area	15,000.00 sq ft 1,383.55 m <sup>2</sup> 0.14 ha
Lot Frontage	102.00 m 334.65 ft
Lot Depth	146.80 m 481.72 ft

**GROSS FLOOR AREA (FSI)**

	Permitted	Proposed
Max FSI	47.00%	46.16%
Max GFA		
First Floor	3,204.89 sq ft	297.74 m <sup>2</sup>
Second Floor	3,011.57 sq ft	279.78 m <sup>2</sup>
GFA Sub-Total	6,216.46 sq ft	577.53 m <sup>2</sup>
Attached Garage	708.89 sq ft	65.67 m <sup>2</sup>
Garage Sub-Total	6,925.35 sq ft	643.20 m <sup>2</sup>
GFA Total	6,925.35 sq ft	643.20 m <sup>2</sup>

**LOT COVERAGE**

	Permitted	Proposed
House Footprint	4,020.16 sq ft	373.48 m <sup>2</sup>
Front Covered Porch	67.74 sq ft	6.29 m <sup>2</sup>
Rear Covered & Uncovered Deck	336.40 sq ft	31.25 m <sup>2</sup>
Front Balcony	112.19 sq ft	10.42 m <sup>2</sup>
Rear Balcony	74.74 sq ft	6.94 m <sup>2</sup>
Main Building Coverage	4,611.22 sq ft	428.40 m <sup>2</sup>
Subtotal	4,611.22 sq ft	428.40 m <sup>2</sup>

**BUILDING DEPTH**

	Permitted	Proposed
Max Building Depth	18.00 m 59.04 ft	18.15 m 59.55 ft

**ESTABLISHED GRADE CALCULATION**

Grade Point	Wall Length (m)	Product
Front Garage Wall	162.00	10.31
Front Porch	161.90	4.31
Front Terrace Left Side	151.85	4.81
Front Terrace Right Side	151.75	4.08
Total	647.60	24.21

**BUILDING HEIGHT**

Height From Established Grade	Permitted	Proposed
Max Top of Pitch Roof	N/A	N/A
Max Top of Parapet	26.08 m 85.88 ft	7.95 m 26.08 ft
Max Top of Flat Roof	26.25 m 86.12 ft	8.00 m 26.25 ft
Height From Crown of Road	9.80 m 32.15 ft	N/A
Max Top of Pitch Roof	8.00 m 26.25 ft	8.54 m 27.99 ft
Max Top of Flat Roof	8.00 m 26.25 ft	8.59 m 28.19 ft

**FRONT YARD SETBACK CALCULATION**

	Left Side	Right Side	Permitted
Avg. Neighbourly Setbacks	13.89 m 45.57 ft	12.15 m 39.88 ft	13.02 m 42.72 ft

**SETBACKS**

	Permitted	Proposed
Min Front (North-East)	13.02 m 42.72 ft	13.02 m 42.72 ft
Min Left (South-East)	1.83 m 5.99 ft	4.45 m 14.60 ft
Min Right (North-West)	1.83 m 5.99 ft	1.83 m 5.99 ft
Min Rear (South-West)	12.19 m 39.98 ft	14.55 m 47.75 ft
Combined Side Yard	6.10 m 20.00 ft	6.28 m 20.60 ft
Deck (0-1m high) Side	0.60 m 1.97 ft	0.00 m 0.00 ft
Deck (0-1m high) Rear	3.00 m 9.84 ft	3.00 m 9.84 ft
Deck (>1m high) Side	1.83 m 5.99 ft	1.83 m 5.99 ft
Deck (>1m high) Rear	3.00 m 9.84 ft	12.41 m 40.71 ft

**FRONT YARD LANDSCAPING**

	Permitted	Proposed
Total Front Yard Area	4,578.13 sq ft 425.32 m <sup>2</sup>	4,578.13 sq ft 425.32 m <sup>2</sup>
Porch & Steps	79.56 sq ft 7.39 m <sup>2</sup>	79.56 sq ft 7.39 m <sup>2</sup>
Less Driveway	1,300.32 sq ft 120.85 m <sup>2</sup>	1,300.32 sq ft 120.85 m <sup>2</sup>
Total Front Yard Landscaping Area	3,198.25 sq ft 297.13 m <sup>2</sup>	3,198.25 sq ft 297.13 m <sup>2</sup>
Less Hardscaping	68.58 sq ft 6.37 m <sup>2</sup>	68.58 sq ft 6.37 m <sup>2</sup>
Final Front Yard Landscaping Area	3,129.67 sq ft 290.76 m <sup>2</sup>	3,129.67 sq ft 290.76 m <sup>2</sup>

**GARAGE & DRIVEWAY**

	Permitted	Proposed
Garage Entry Width	N/A	3.00 m 9.84 ft
Max. Clear Height	N/A	2.10 m 6.89 ft
Garage Projection	2.10 m 6.89 ft	0.00 m 0.00 m
Max Driveway Width	10.23 m 33.56 ft	31.92 m 104.73 ft

**ENCROACHMENTS**

	Permitted	Proposed
Eaves	0.46 m 1.51 ft	0.46 m 1.51 ft
Chimney	0.46 m 1.51 ft	0.00 m 0.00 m
Architectural Feature	0.46 m 1.51 ft	0.00 m 0.00 m
Covered Platform	0.46 m 1.51 ft	0.00 m 0.00 m
Uncover'd Platform (front)	1.52 m 4.99 ft	0.00 m 0.00 m
Uncover'd Platform (rear)	1.52 m 4.99 ft	0.00 m 0.00 m
Uncover'd Platform (side)	0.46 m 1.51 ft	0.00 m 0.00 m

**2 COVERAGE DIAGRAM**  
1" = 30'-0"

**3 GFA DIAGRAM**  
1" = 30'-0"

**4 LANDSCAPE DIAGRAM**  
1" = 30'-0"

**5 ESTABLISHED GRADE DIAGRAM**  
1" = 30'-0"

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2. COA REVISION 2024-MAR-07

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REGISTRATION INFORMATION  
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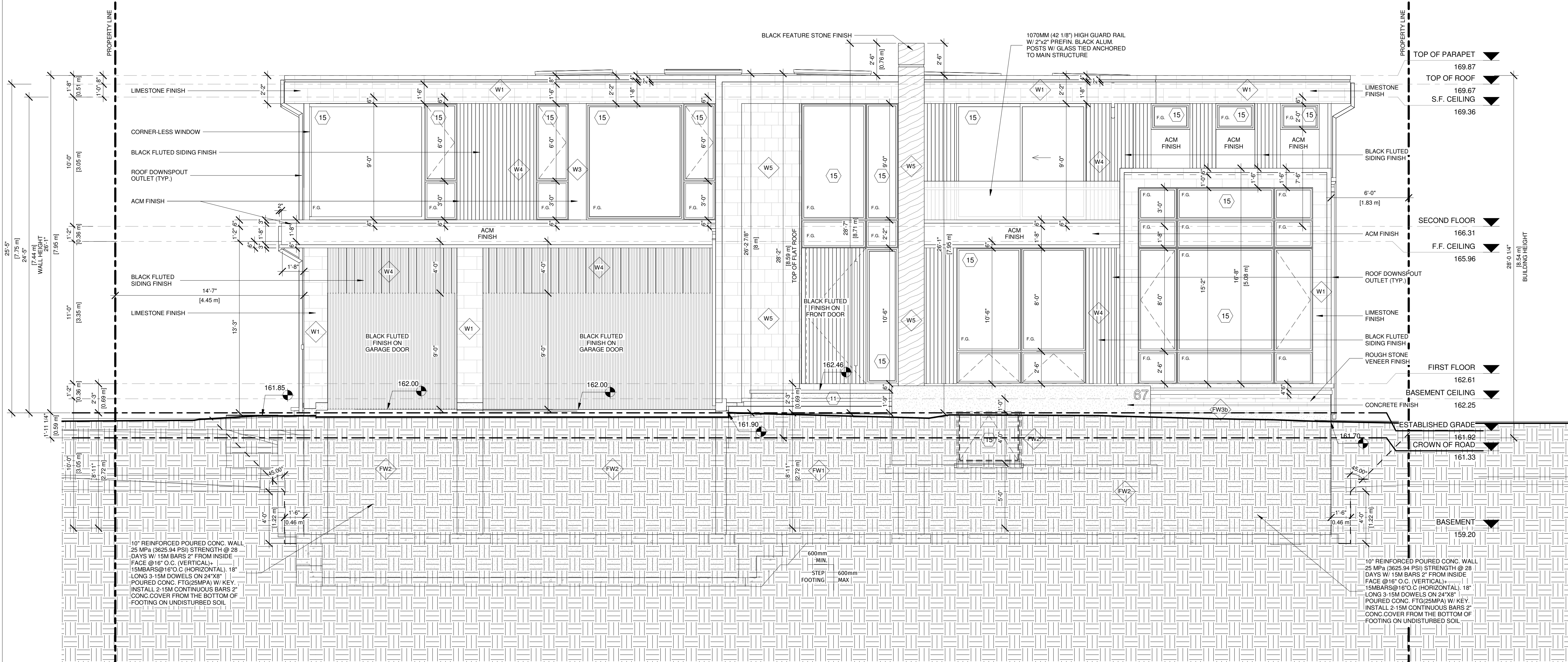
CONTEMPO STUDIO 46972 BCIN  
FIRM NAME

2 STOREY DWELLING  
AT  
67 BABCOMBE DR  
THORNHILL, ON  
SITE PLAN

Project number: 2022-41  
Rev. no.: As indicated  
Date: MARCH, 2024  
Drawn by: C.C.  
Approved by: M.Z.

Drawing number: A1





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 NAME SIGNATURE BCIN

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CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DWELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

FRONT ELEVATION

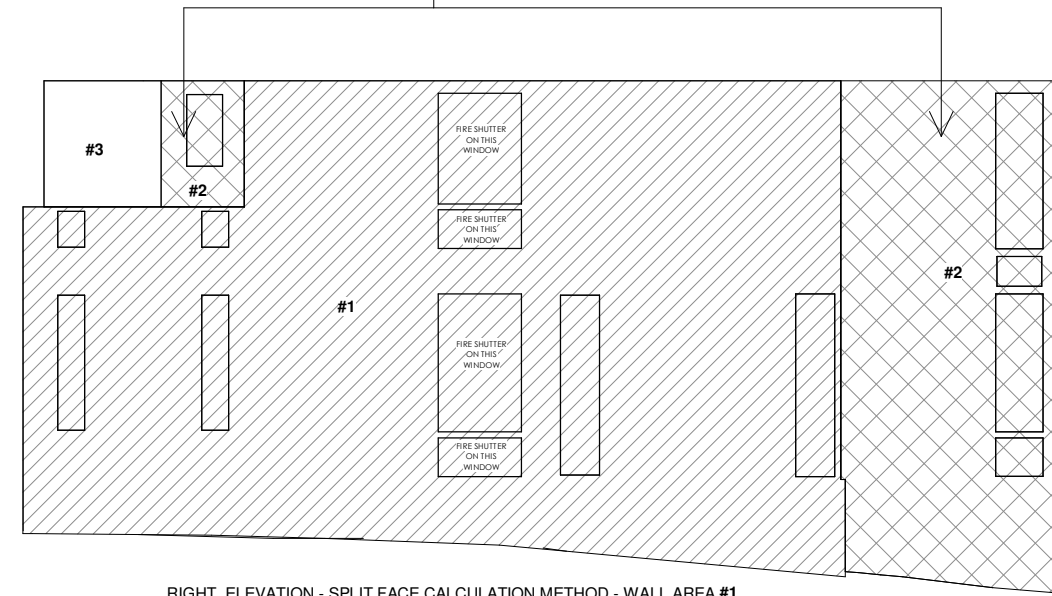
Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: MARCH, 2024  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A6**

1 North-East, Front Elevation  
 1/4" = 1'-0"

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2  
LIMITING DISTANCE (LD) = 6.41m

WALL AREA #2 OF EXPOSED BUILDING FACE = 375.57 SF (34.89m²)  
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1514.74 SF (140.72m²), LD = 6.41m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 20.85%  
ALLOWABLE UPO AREA: 375.57 SF @ 20.85% = 78.29 SF  
PROPOSED UPO AREA (WALL AREA #2) = 65.57 SF (GLAZING AREAS ONLY)  
(17.72% UNDER THE MAX ALLOWED)



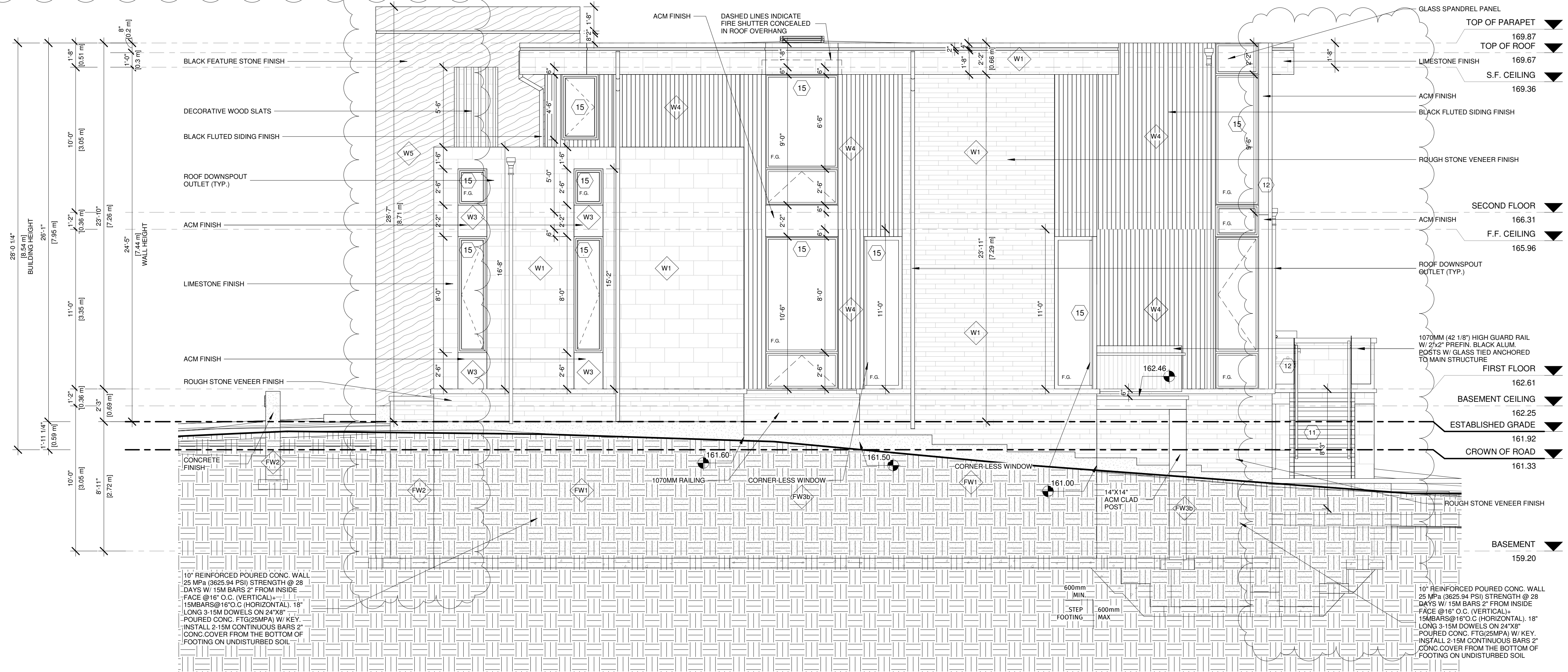
RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1  
LIMITING DISTANCE (LD) = 1.83m

WALL AREA #1 OF EXPOSED BUILDING FACE = 1,093.52 SF (101.59m²)  
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1514.74 SF (140.72m²), LD = 1.83m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 7.96%  
ALLOWABLE UPO AREA: 1,093.52 SF @ 7.96% = 87.06 SF  
PROPOSED UPO AREA (WALL AREA #1) = 72.40 SF (GLAZING AREAS ONLY)  
(11.39% UNDER THE MAX ALLOWED)

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3  
LIMITING DISTANCE (LD) = 15.72m

WALL AREA #3 OF EXPOSED BUILDING FACE = 45.65 SF (4.24m²)  
TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1514.74 SF (140.72m²), LD = 15.72m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 89.41%  
ALLOWABLE UPO AREA: 45.65 SF @ 89.41% = 40.82 SF  
PROPOSED UPO AREA (WALL AREA #3) = 0 SF (GLAZING AREAS ONLY)

RIGHT ELEVATION UNPROTECTED AREA CALCS.  
3/32" = 1'-0"



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2.	COA REVISION	2024-MAR-07

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NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
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CONTEMPO STUDIO		46972
FIRM NAME		BCIN

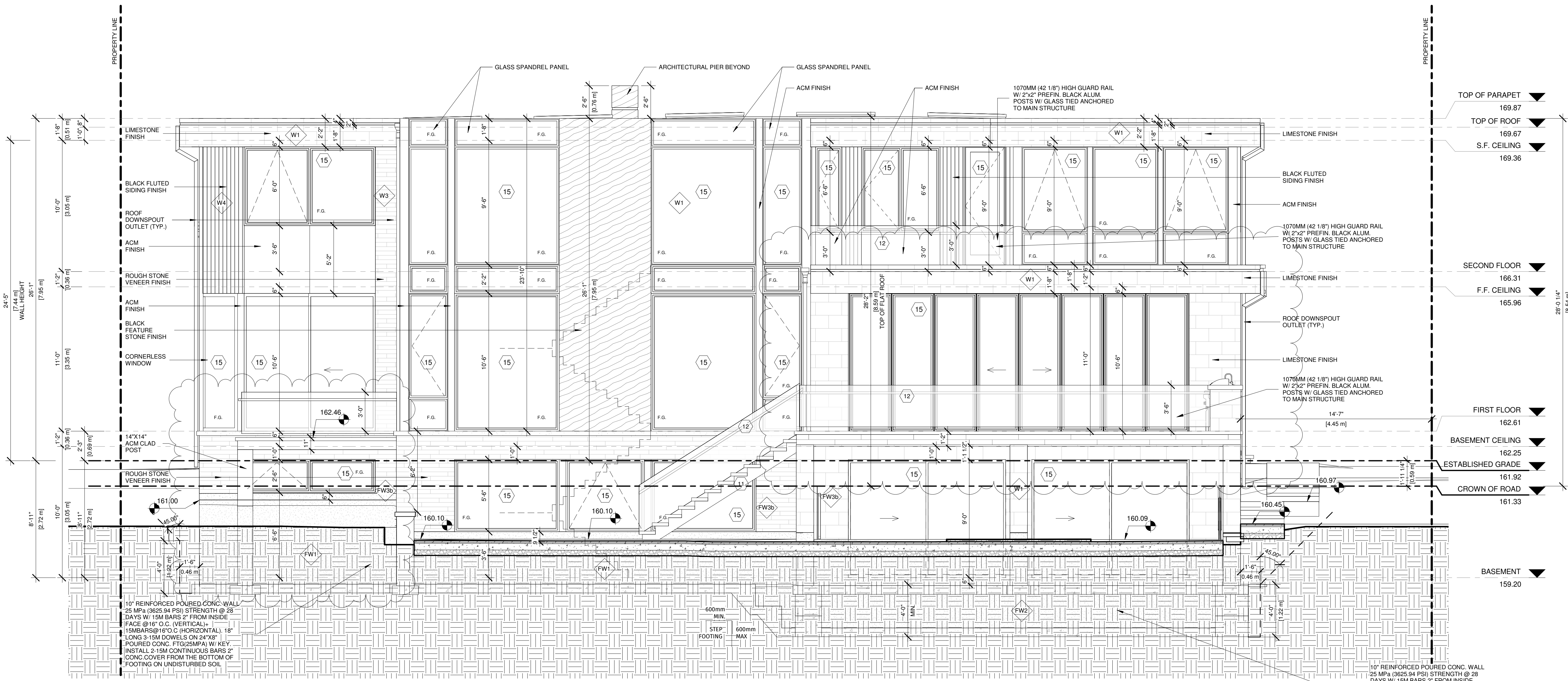
2 STOREY DWELLING  
AT  
67 BABCOMBE DR  
THORNHILL, ON

RIGHT ELEVATION

Project number:	2022-41
Rev. no.:	As indicated
Scale:	As indicated
Date:	MARCH, 2024
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number: **A7**

1 North-West Right Elevation  
1/4" = 1'-0"



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CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DWELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

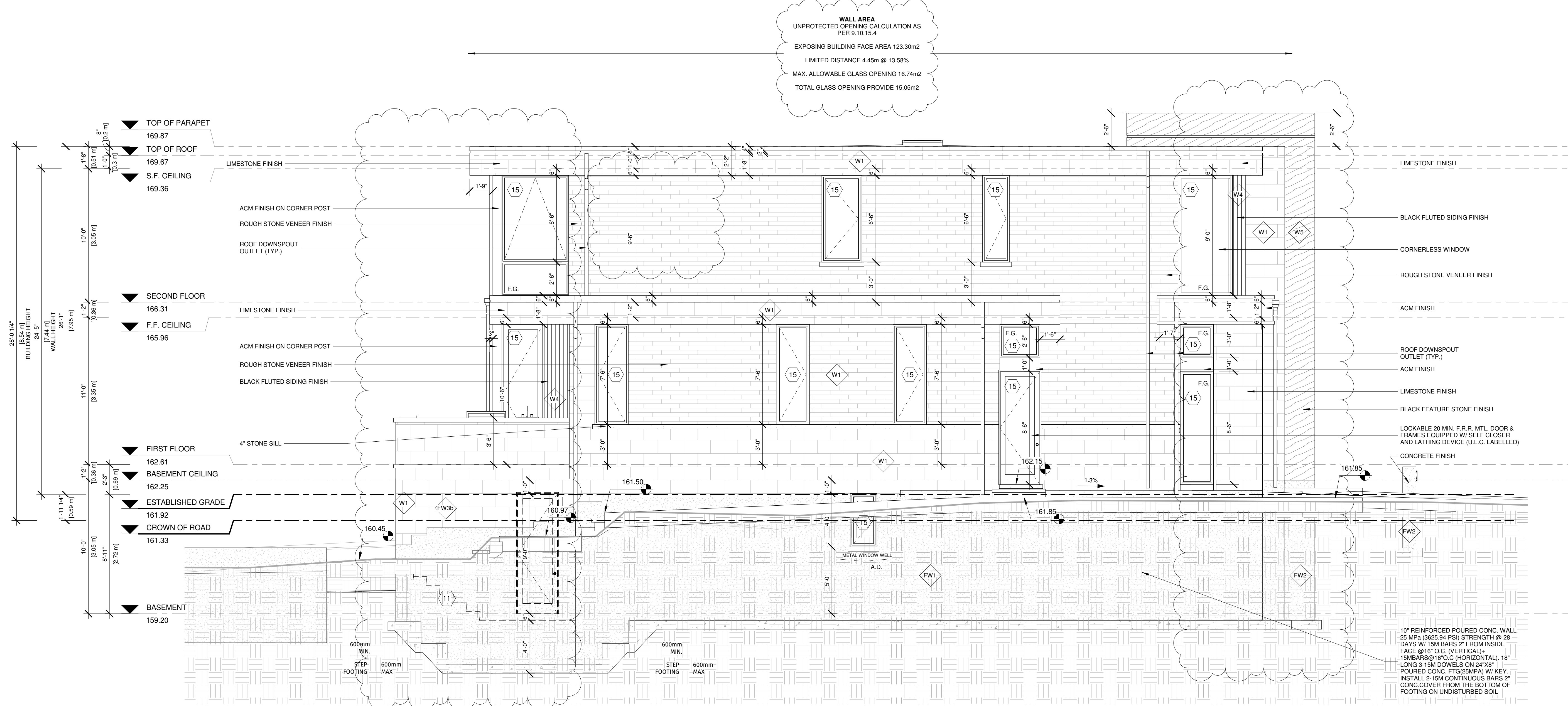
REAR ELEVATION

Project number: 2022-41  
 Rev. no.: 1  
 Scale: 1/4" = 1'-0"  
 Date: MARCH, 2024  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: A8

① South-West, Rear Elevation  
 1/4" = 1'-0"





1 South-East, Left Elevation  
1/4" = 1'-0"

WALL AREA  
UNPROTECTED OPENING CALCULATION AS  
PER S.10.15.4  
EXPOSING BUILDING FACE AREA 123.30m2  
LIMITED DISTANCE 4.45m @ 13.58%  
MAX. ALLOWABLE GLASS OPENING 16.74m2  
TOTAL GLASS OPENING PROVIDE 15.05m2

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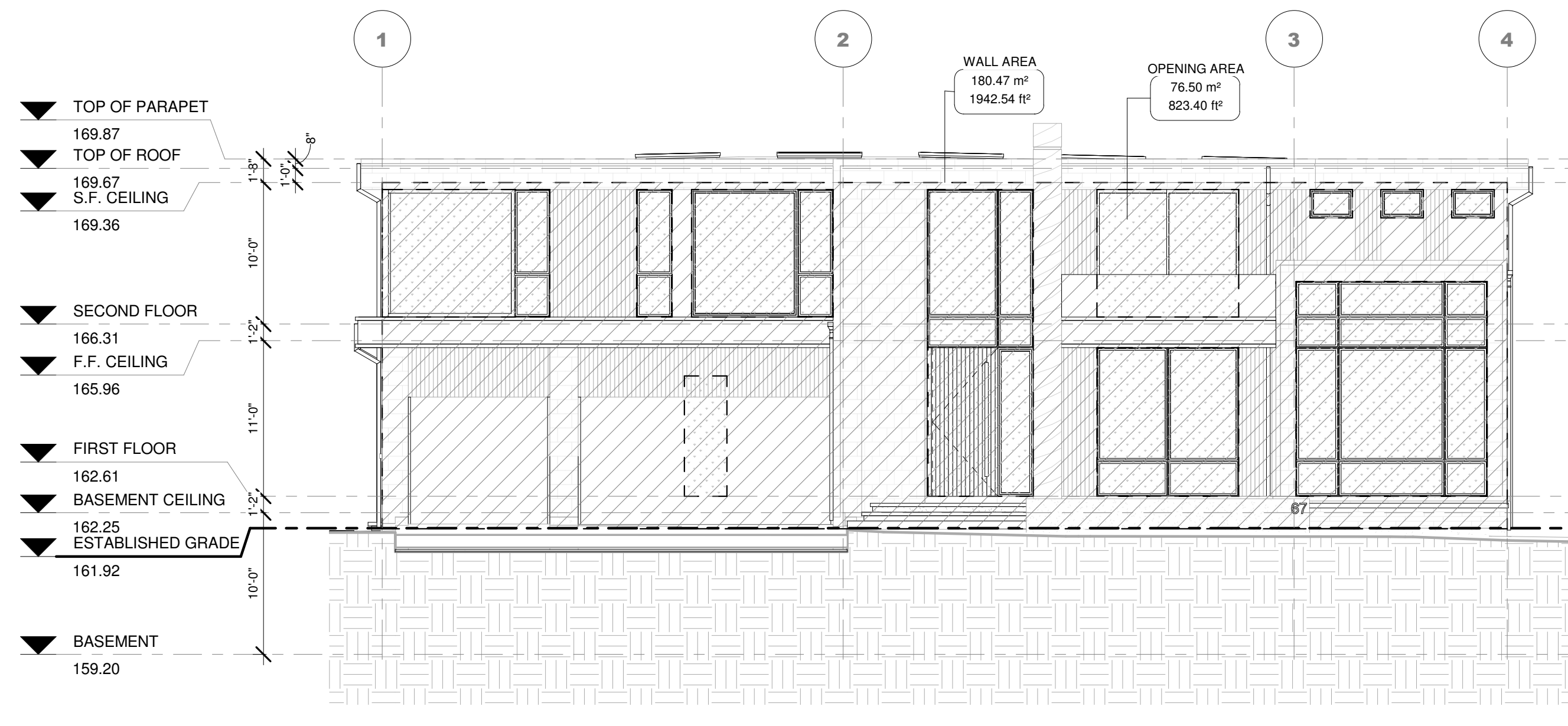
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CONTEMPO STUDIO		46972
FIRM NAME		BCIN

2 STOREY DWELLING  
AT  
67 BABCOMBE DR  
THORNHILL, ON

LEFT ELEVATION

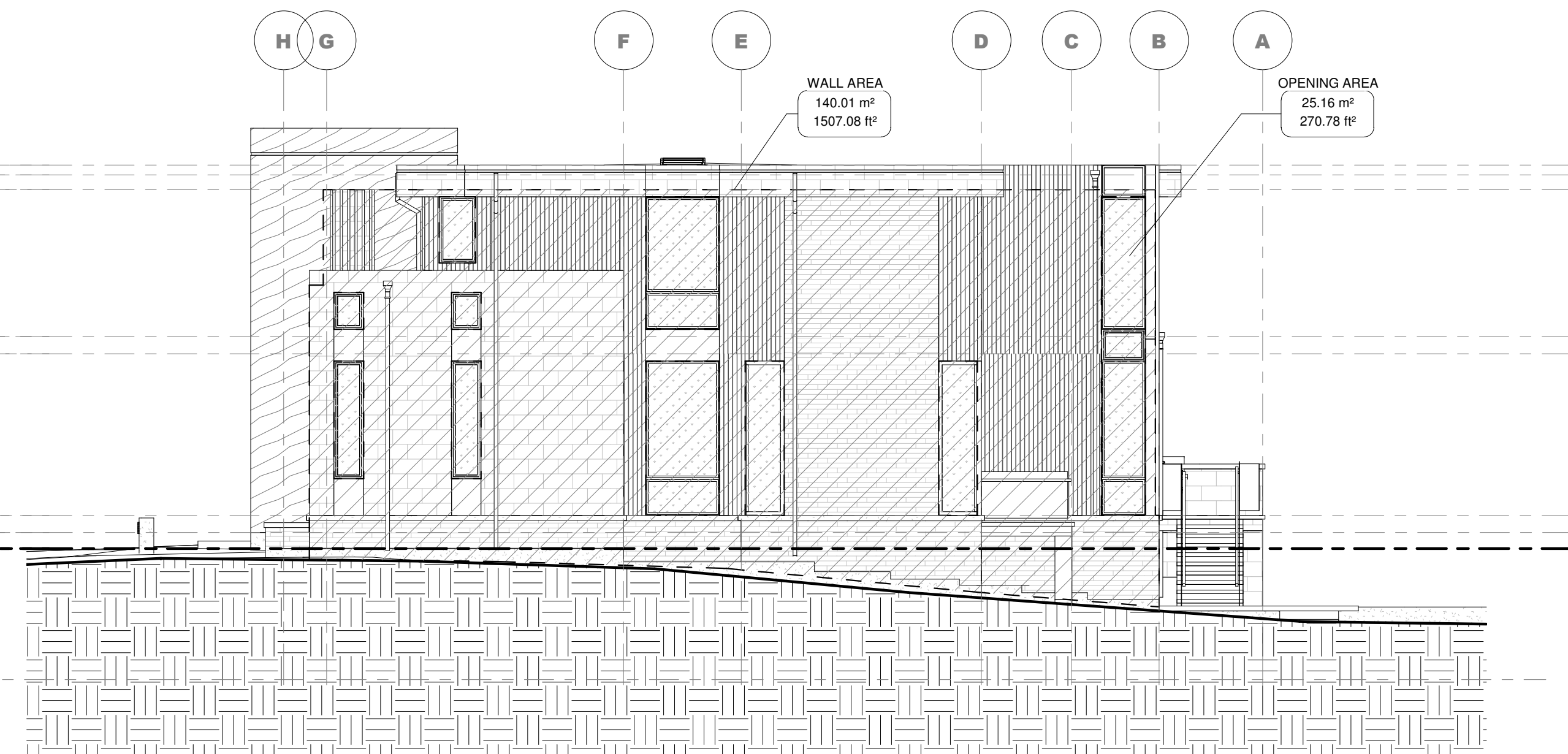
Project number:	2022-41
Rev. no.:	1
Scale:	1/4" = 1'-0"
Date:	MARCH, 2024
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number: **A9**

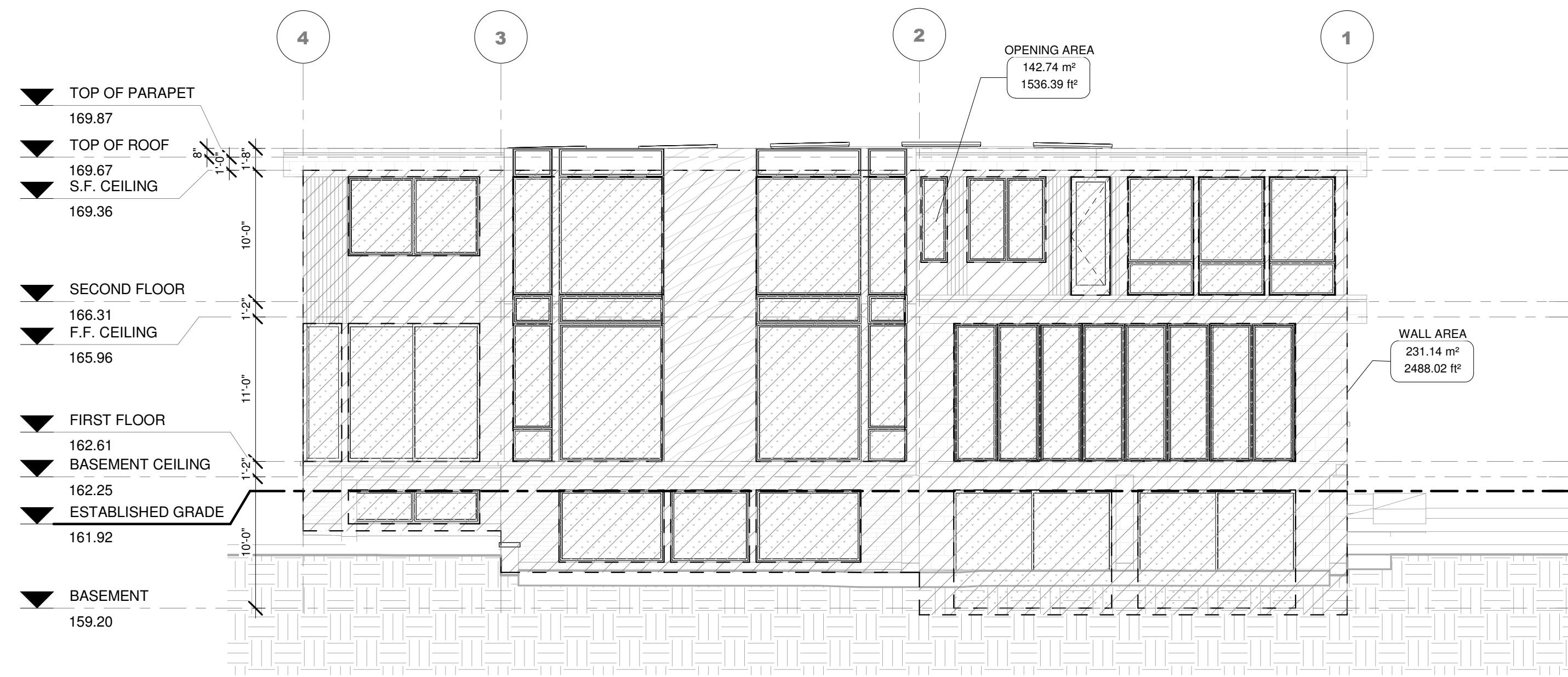


1 North-East, Front Elevation Area  
1/8" = 1'-0"

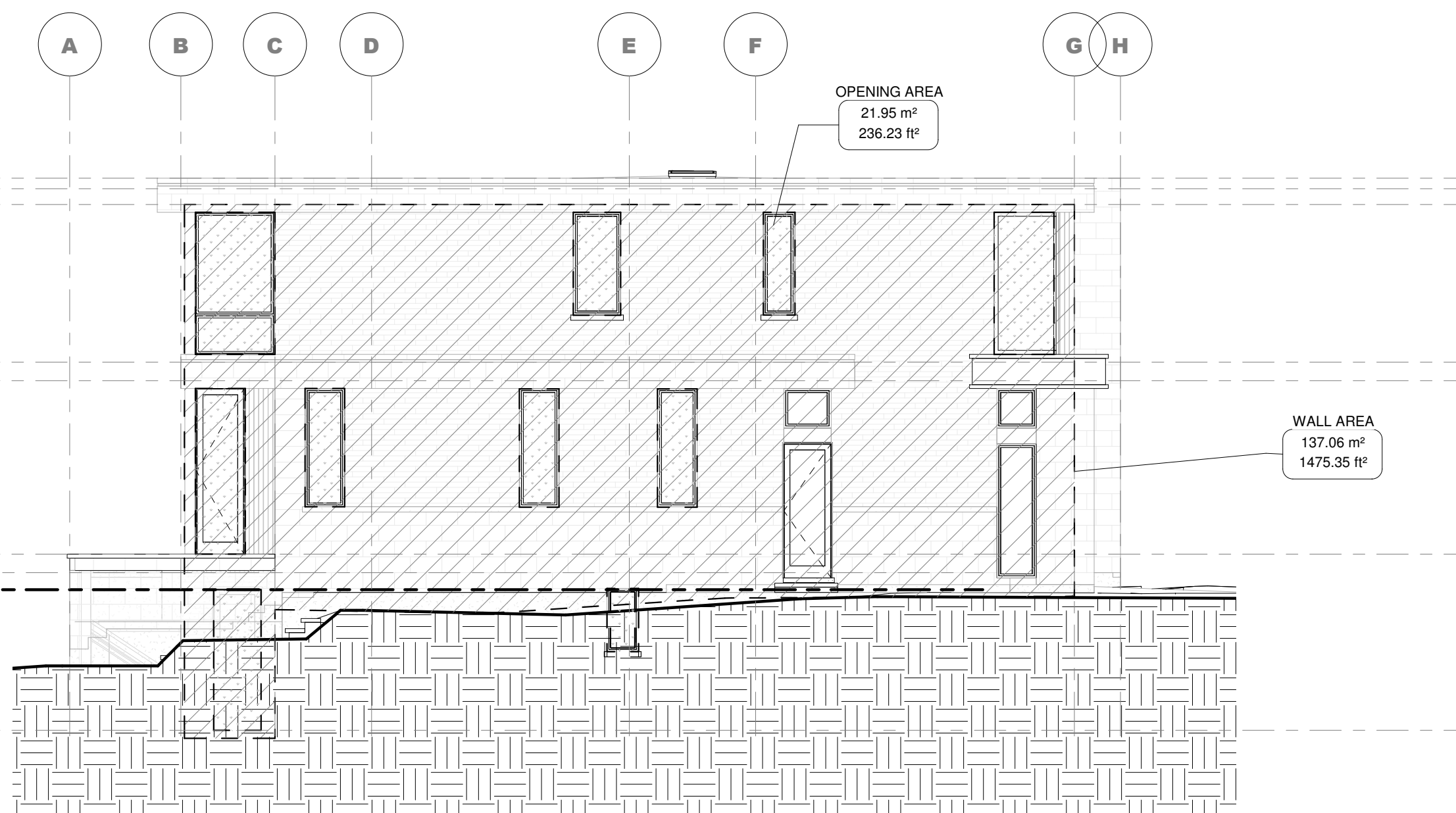
TOTAL WALL AREA: 793.22m<sup>2</sup>  
TOTAL GLAZED AREA: 299.03m<sup>2</sup> 37.70%



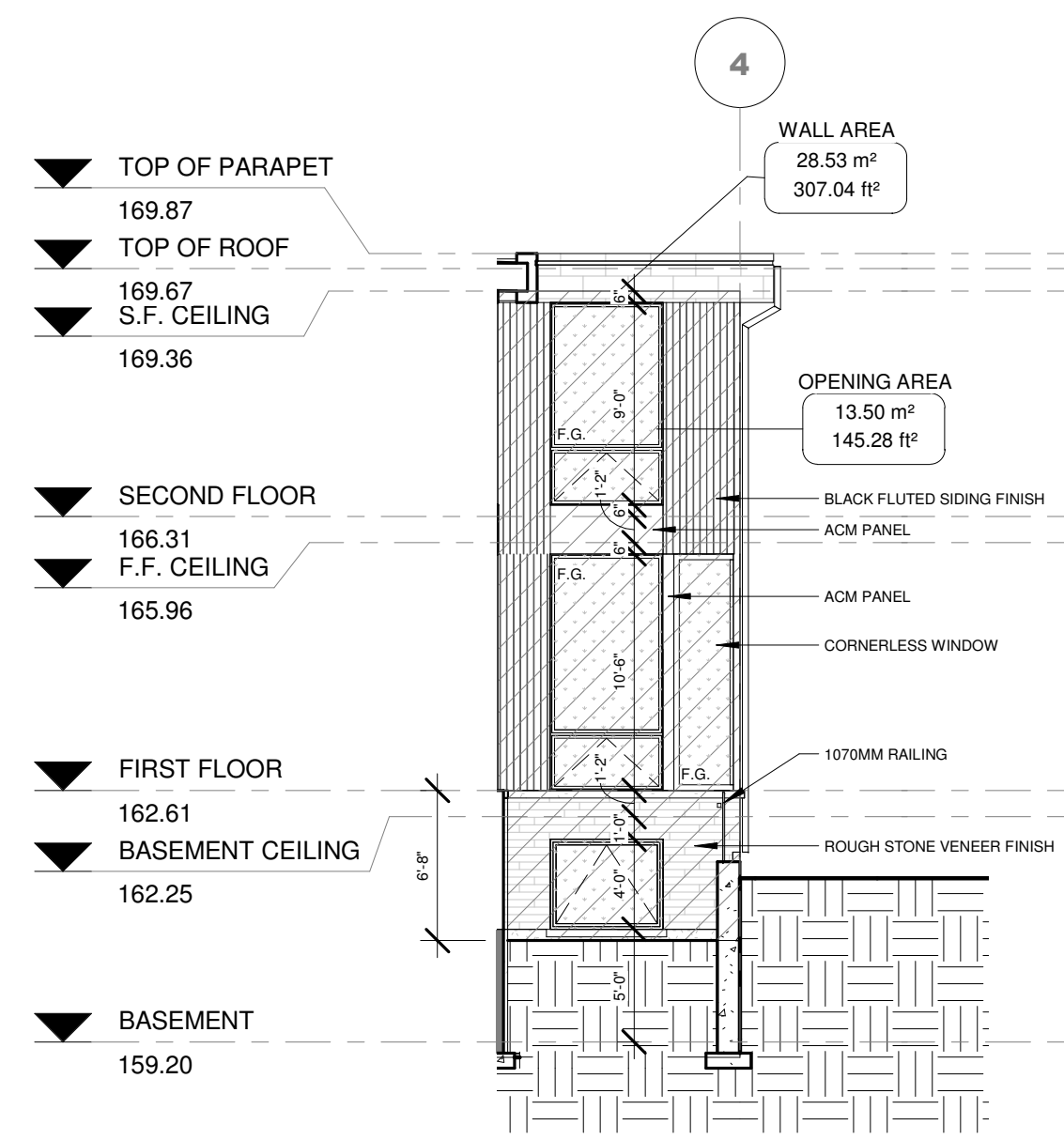
2 North-West Right Elevation Area  
1/8" = 1'-0"



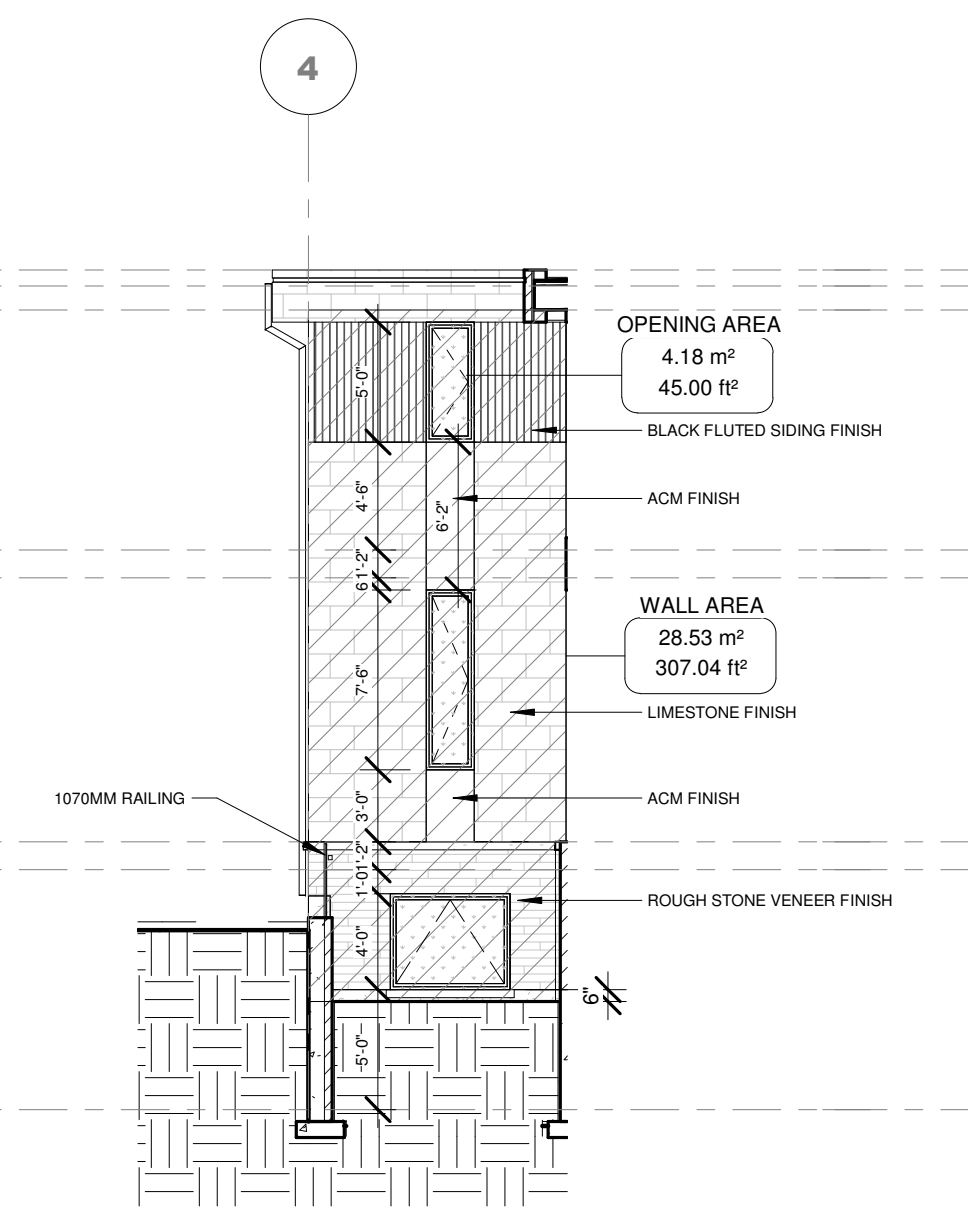
3 South-West, Rear Elevation Area  
1/8" = 1'-0"



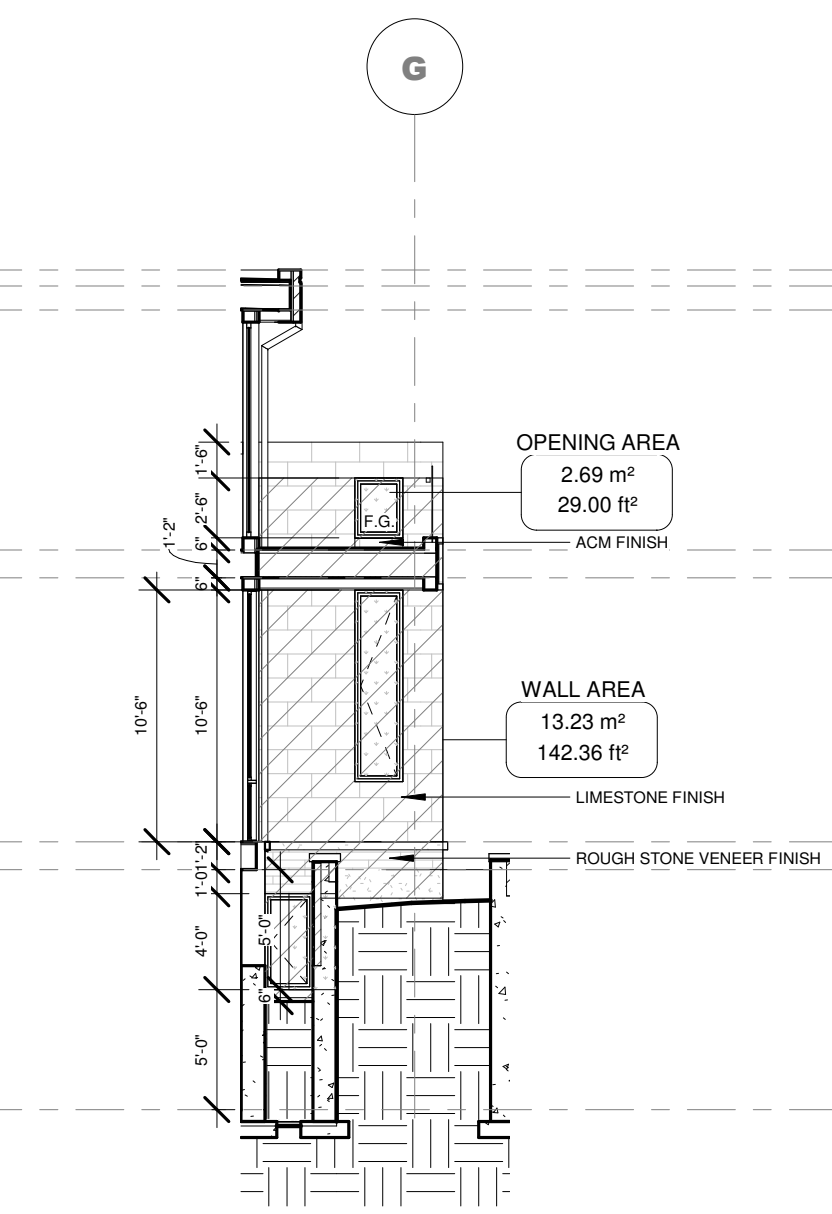
4 South-East, Left Elevation Area  
1/8" = 1'-0"



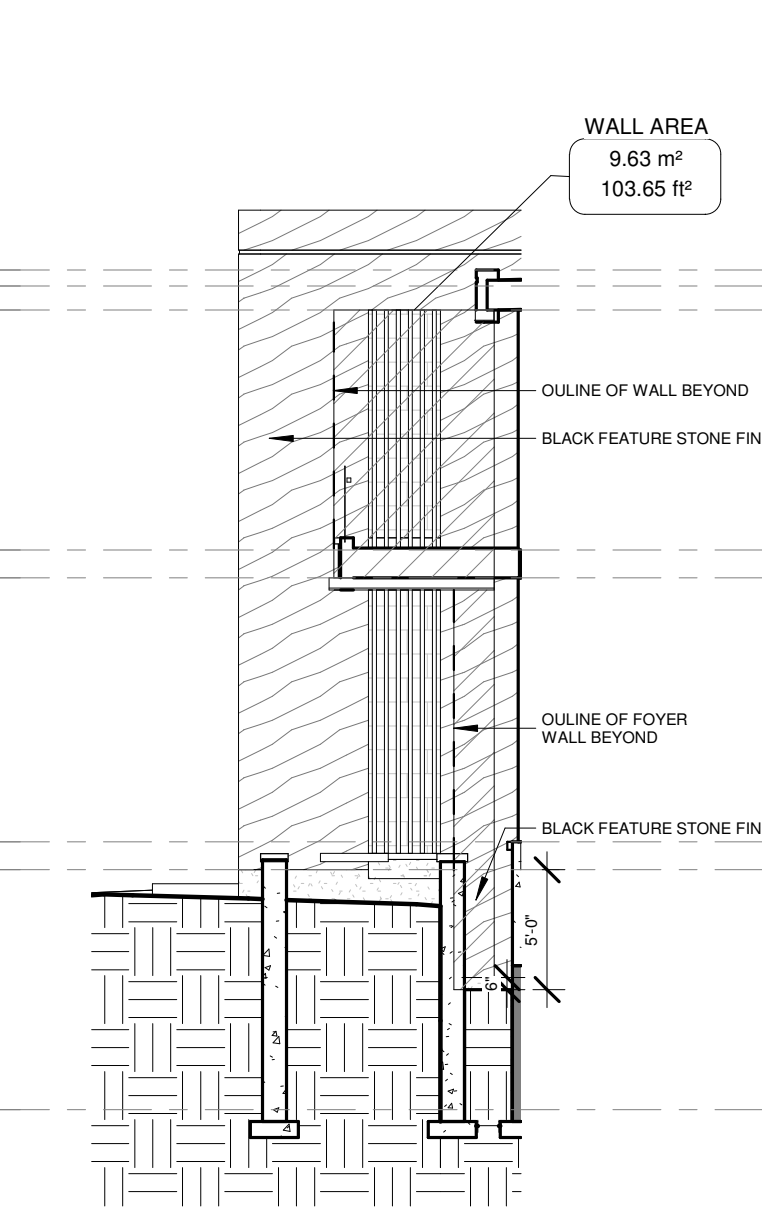
5 North-East, Elevation B Area  
1/8" = 1'-0"



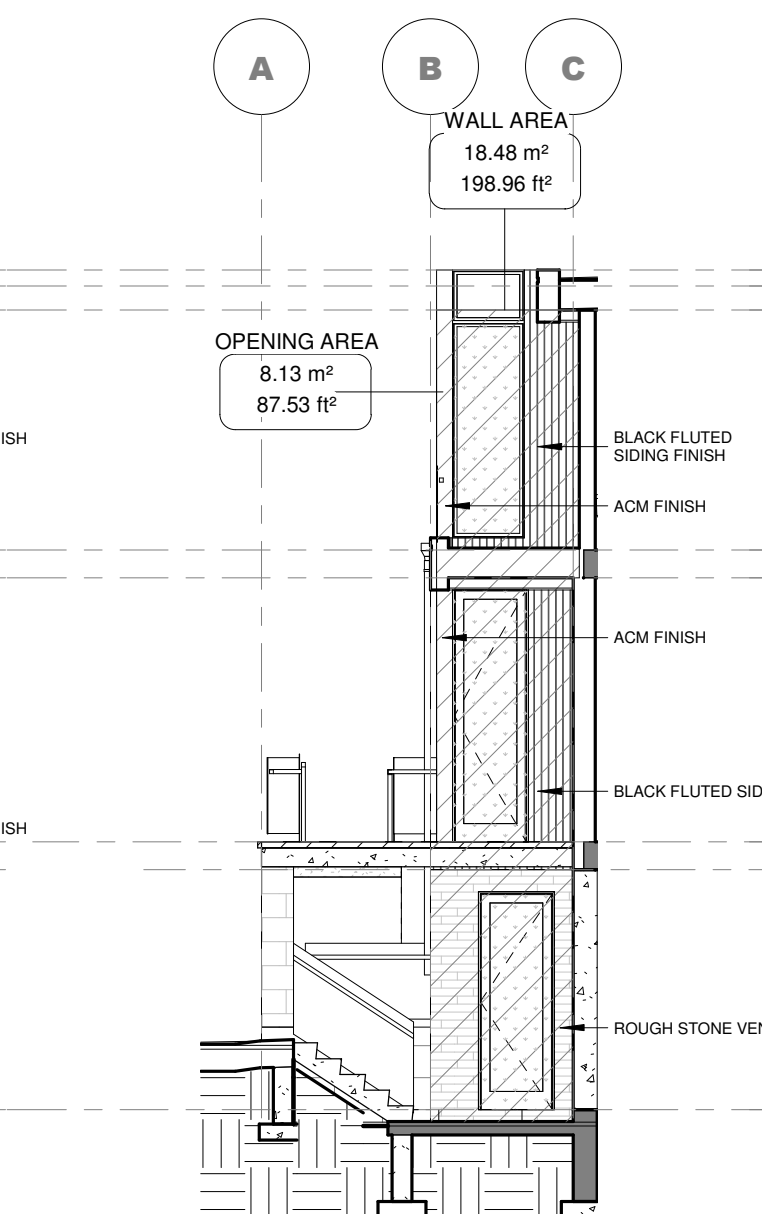
6 South-West, Elevation B Area  
1/8" = 1'-0"



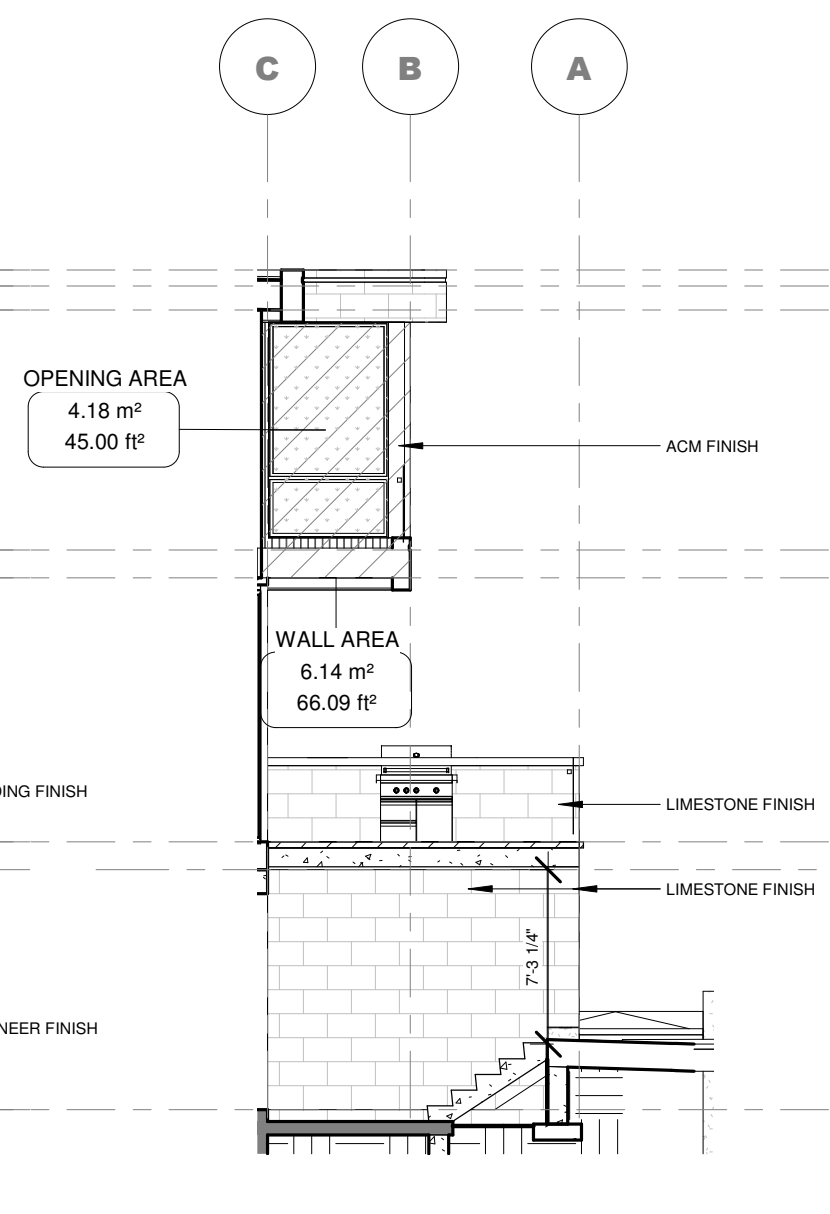
7 South-East, Elevation B Area  
1/8" = 1'-0"



8 North-West, Elevation B Area  
1/8" = 1'-0"



9 South-East, Left Elevation Area B  
1/8" = 1'-0"



10 North-West Elevation Area B  
1/8" = 1'-0"

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No.	Issued for:	Date
1.	ZONING REVISION	2023-SEP-15
2.	COA REVISION	2024-MAR-07

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION		
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.		
MARIN ZABZUNI	SIGNATURE	45250
NAME		BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.		
CONTEMPO STUDIO		46972
FIRM NAME		BCIN

2 STOREY DWELLING  
AT  
67 BABCOMBE DR  
THORNHILL, ON

ELEVATION AREAS (HVAC ONLY)

Project number:	2022-41
Rev. no.:	
Scale:	1/8" = 1'-0"
Date:	MARCH, 2024
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number:

# A10