

# Memorandum to the City of Markham Committee of Adjustment

February 07, 2024

**File:** A/114/22  
**Address:** 67 Babcombe Drive, Thornhill  
**Applicant:** Contempo Studio (Marin Zabzuni)  
**Hearing Date:** Wednesday, February 21, 2024

The following comments are provided on behalf of the West Team. The applicant is requesting relief from the following “Third Density Special Residential – (SR3)” zone requirements under By-law 1767, as amended, as they relate to a proposed two-storey detached dwelling. The variances requested are to permit:

- a) **By-law 100-90, Section 1.2(i):**  
a building height of 8.54 metres (22.01 feet), whereas the By-law permits a maximum flat roof building height of 8.0 metres (26.24 feet);
- b) **By-law 100-90, Section 1.2(iii):**  
a maximum building depth of 20.75 metres (68.07 feet), whereas the By-law permits a maximum building depth of 16.8 metres (55.12 feet);
- c) **By-law 1767, Section 9(i):**  
an encroachment of 29 inches for an architectural feature, whereas the by-law permits an encroachment of no more than 18 inches into the required front yard;
- d) **By-law 1767, Section 12 (iv)(a):**  
a minimum front yard setback of 36.12 feet (11.01 metres), whereas the By-law requires that the front yard setback of a dwelling to be erected between two existing dwellings shall comply with the corresponding yards of the two existing dwellings being 42.7 feet (13.01 metres);
- e) **By-law 1767, Section 18(ii)(b):**  
a lot coverage of 34.50 percent, whereas the By-law requires a maximum lot coverage of 33 1/3 percent; and
- f) **By-law 100-90, Section 1.2 (vi):**  
a floor area ratio of 48.10 percent, whereas the By-law permits a maximum floor area ratio of 47 percent.

## BACKGROUND

This application was deferred by the Committee of Adjustment (the “Committee”) at the August 16, 2023 hearing, to provide the applicant an opportunity to address the Committee’s concern regarding the cumulative impacts of the combined variances (Refer to Minutes - Appendix “D”). In revising the proposal, the applicant reduced the requested building depth, front yard setback, lot coverage, and floor area ratio. The applicant has eliminated the south side yard encroachment variance of 98 inches (2.48 metres) and has requested an encroachment variance for an architectural feature. The building height remains the same from the previous submission. The initial variances requested are identified in the August 1, 2023 Staff Report (Appendix “C”).

## COMMENTS

On December 4, 2023, the applicant submitted revised drawings with modifications to the requested variances, as outlined below. A Zoning Preliminary Review (ZPR) was

completed on December 1, 2023 to confirm the variances required for the proposed development.

**Increased Maximum Building Depth**

The Applicant is requesting relief to permit a maximum building depth of 20.75 metres (68.07 feet), whereas the By-law permits a maximum building depth of 16.80 metres (55.12 feet). This represents an increase of approximately 3.95 metres (12.96 feet). The main component of the building, excluding the front covered porch and covered deck projections has an approximate depth of 17.9 metres (58.73 feet.). As adequate amenity space is being provided in the rear yard, staff are of the opinion that the variance meets the general intent and purpose of the Zoning By-law.

**Increased Encroachment for Architectural Feature**

The Applicant is requesting to permit an encroachment of 29 inches into the required front yard for an architectural feature, whereas an encroachment of no more than 18 inches is permitted into the required front yard. The intent of the By-law's restriction of yard encroachments is to limit the overhang of architectural elements of a building to ensure that these elements do not project into the required yards in a manner that would adversely impact abutting properties. The proposed architectural feature is considered appropriate for the dwelling and will aid in improving the articulation of the front elevation. Staff consider the requested variance to be technical in nature and opine that this request will not negatively impact the proposed dwelling nor the streetscape.

**Reduced Front Yard Setback Variance**

The Applicant is requesting to permit a minimum front yard setback of 36.12 feet (11.01 metres), whereas the By-law requires that the front yard setback of a dwelling to be erected between two existing dwellings shall comply with the corresponding yards of the two existing dwellings being 42.7 feet (13.01 metres). Staff maintain the opinion that there are no anticipated adverse impacts as a result of the requested variance as the main front wall of the building is generally consistent with the established front yard setback pattern on the street.

**Increased Maximum Lot Coverage Variance**

The Applicant is requesting to permit a maximum lot coverage of 34.50 percent, whereas the By-law permits a maximum lot coverage of 33 1/3 percent. As previously stated, the proposed lot coverage includes the proposed pool cabana building in the rear which adds approximately 36.77 m<sup>2</sup> (395.78 ft<sup>2</sup>) to the overall building area. The main dwelling has a revised lot coverage 31.90% on its own, which would comply with the by-law requirement. Staff maintain the opinion that given that the main dwelling would comply with the by-law, that the proposed increase in lot coverage will not significantly add to the scale and massing of the dwelling and the resultant dwelling is generally consistent with what the by-law permits.

**Increased Maximum Floor Area Ratio Variance**

The revised floor area ratio variance will facilitate the construction of a two-storey detached dwelling with an approximate total net floor area of 670.17 m<sup>2</sup> (7,213.64 ft<sup>2</sup>). This represents an increase of 15.2 m<sup>2</sup> (163.611 ft<sup>2</sup>) above the maximum permitted floor area ratio of 47%. Consequently, the Applicant has reduced the size of the proposed dwelling by 18.43 m<sup>2</sup> (198.37 ft<sup>2</sup>). The proposed dwelling layout will comply with the minimum required side and rear yard setback provisions, which will provide an appropriate

separation from adjacent homes, thereby ensuring that the proposed dwelling will be in keeping with the intended scale of residential infill developments for the neighbourhood.

Metrolinx Requirements

The subject property is located within 300 m of Metrolinx's Bala Subdivision which carries Metrolinx's Stouffville GO Train service. Metrolinx provided comments on this application on June 23, 2022 (Appendix "E"), requiring that an environmental easement is provided in accordance with Section 3.9 of the Federation of Canadian Municipalities and Railway Associate of Canada's Guidelines for New Development in Proximity to Railway Operations. The environmental easement provides clear notification to those who may acquire an interest in the subject property and reduces the potential for future land use conflicts. The environmental easement shall be registered on title of the subject property.

Staff recommend that the proposed development is subject to the associated condition of approval provided in Appendix "A".

**PUBLIC INPUT SUMMARY**

As of February 12, 2024, the City received ten (10) letters of opposition expressing concerns over scale and massing. Staff opine that the above-noted revisions to the proposed dwelling have addressed these concerns. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

**CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



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Brashanthe Manoharan, Planner II, Planning and Urban Design

REVIEWED BY:



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Rick Cefaratti, MCIP, RPP Senior Planner, West District

**APPENDIX "A"**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/114/22**

1. The variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix "B" to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the Owner satisfies the requirements of Metrolinx, financial or otherwise, as indicated in their letter to the Secretary-Treasurer, attached as Appendix "C" to this Staff Report, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of Metrolinx.
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City's Streetscape Manual (2009), as amended, to be reviewed and approved by the Director of Planning and Urban Design, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
5. That tree replacements be provided and/or tree replacement fees be paid to the Director of Planning and Urban Design, or their designate, if required, in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
6. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, including street trees, in accordance with the City's Streetscape Manual (2009), as amended, and inspected by the Tree Preservation Technician, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.

CONDITIONS PREPARED BY:



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Brashanthe Manoharan, Planner II, Planning and Urban Design

**PROJECT STATISTICS**

Address: 67 Babcombe Drive, Thornhill, ON  
 Municipality: York (Markham)  
 Legal Lot Description: Lot 114, Registered Plan M-941  
 Date: 12-4-2023

Zoning Designation:	RS3
Lot Area:	15,000.00 sq ft / 1,393.55 m <sup>2</sup> / 0.14 ha
Lot Frontage:	150.00 ft / 45.72 m
Lot Depth:	100.00 ft / 30.48 m
GROSS FLOOR AREA (GFA)	
Max FSI	Permitted: 47.00% / Proposed: 48.00%
Max GFA	Permitted: 3,296.33 sq ft / 306.15 m <sup>2</sup> / 48.00%
First Floor	3,296.33 sq ft / 306.15 m <sup>2</sup> / 48.00%
Second Floor	3,296.33 sq ft / 306.15 m <sup>2</sup> / 48.00%
GFA Sub-Total	6,592.66 sq ft / 612.30 m <sup>2</sup> / 86.00%
Accessory Structure	395.79 sq ft / 36.77 m <sup>2</sup> / 5.34%
GFA Total	6,988.45 sq ft / 649.07 m <sup>2</sup> / 91.34%
Garage Volume	660.17 sq ft / 61.33 m <sup>2</sup> / 8.74%
Finished Basement	2,798.22 sq ft / 258.25 m <sup>2</sup> / 39.83%
Unfinished Basement	1,111.87 sq ft / 103.17 m <sup>2</sup> / 15.57%
Basement Sub-Total	3,910.09 sq ft / 361.42 m <sup>2</sup> / 55.40%
Basement Volume	7,820.18 cu ft / 220.56 cu m
Basement Area	3,910.09 sq ft / 361.42 m <sup>2</sup> / 55.40%

LOT COVERAGE	
Permitted	Proposed
House Footprint	4,252.99 sq ft / 395.11 m <sup>2</sup> / 61.54%
Front Covered Porch	79.55 sq ft / 7.39 m <sup>2</sup> / 1.14%
Rear Covered Deck	223.65 sq ft / 20.78 m <sup>2</sup> / 3.44%
Front Balcony	108.40 sq ft / 10.02 m <sup>2</sup> / 1.64%
Rear Balcony	120.33 sq ft / 11.18 m <sup>2</sup> / 1.84%
Main Building	4,784.91 sq ft / 444.53 m <sup>2</sup> / 72.56%
Accessory Structure	395.79 sq ft / 36.77 m <sup>2</sup> / 5.96%
Coverage Subtotal	5,180.70 sq ft / 481.28 m <sup>2</sup> / 77.52%
Total Coverage	464.95 m <sup>2</sup> / 5,180.70 sq ft / 34.54%

BUILDING DEPTH	
Permitted	Proposed
Max Building Depth	16.80 m / 68.08 ft / 20.75 m

ESTABLISHED GRADE CALCULATION		
Grade Point	Wall Length (m)	Product
Front Garage Wall	162.00	10.31 / 1,670.22
Front Porch	161.60	4.31 / 697.79
Front Planter Left Side	161.95	4.79 / 772.74
Front Planter Right Side	161.75	4.79 / 774.78
<b>Total</b>	<b>647.40</b>	<b>3,915.53</b>
<b>Total Product / Total Wall Length = Est. Grade =</b>		<b>161.92</b>

BUILDING HEIGHT	
Permitted	Proposed
Height From Established Grade	N/A ft / 0.00 m
Max Top of Pitch Roof	N/A ft / N/A m
Max Top of Parapet	26.08 ft / 7.95 m
Max Top of Flat Roof	26.25 ft / 8.00 m
Height From Crown of Road	(Crown of Road Grade = +16.38)
Max Top of Pitch Roof	9.80 m / N/A ft / N/A m
Max Top of Parapet	8.00 m / 26.08 ft / 8.54 m
Max Top of Flat Roof	8.00 m / 26.18 ft / 8.59 m
Max Storeys	2

FRONT YARD SETBACK CALCULATION		
Left Side	Right Side	Permitted
Neighbour Setbacks	13.89 m / 45.87 ft	13.82 m / 45.67 ft
Neighbour Setbacks	45.57 m / 149.48 ft	42.72 m / 140.14 ft

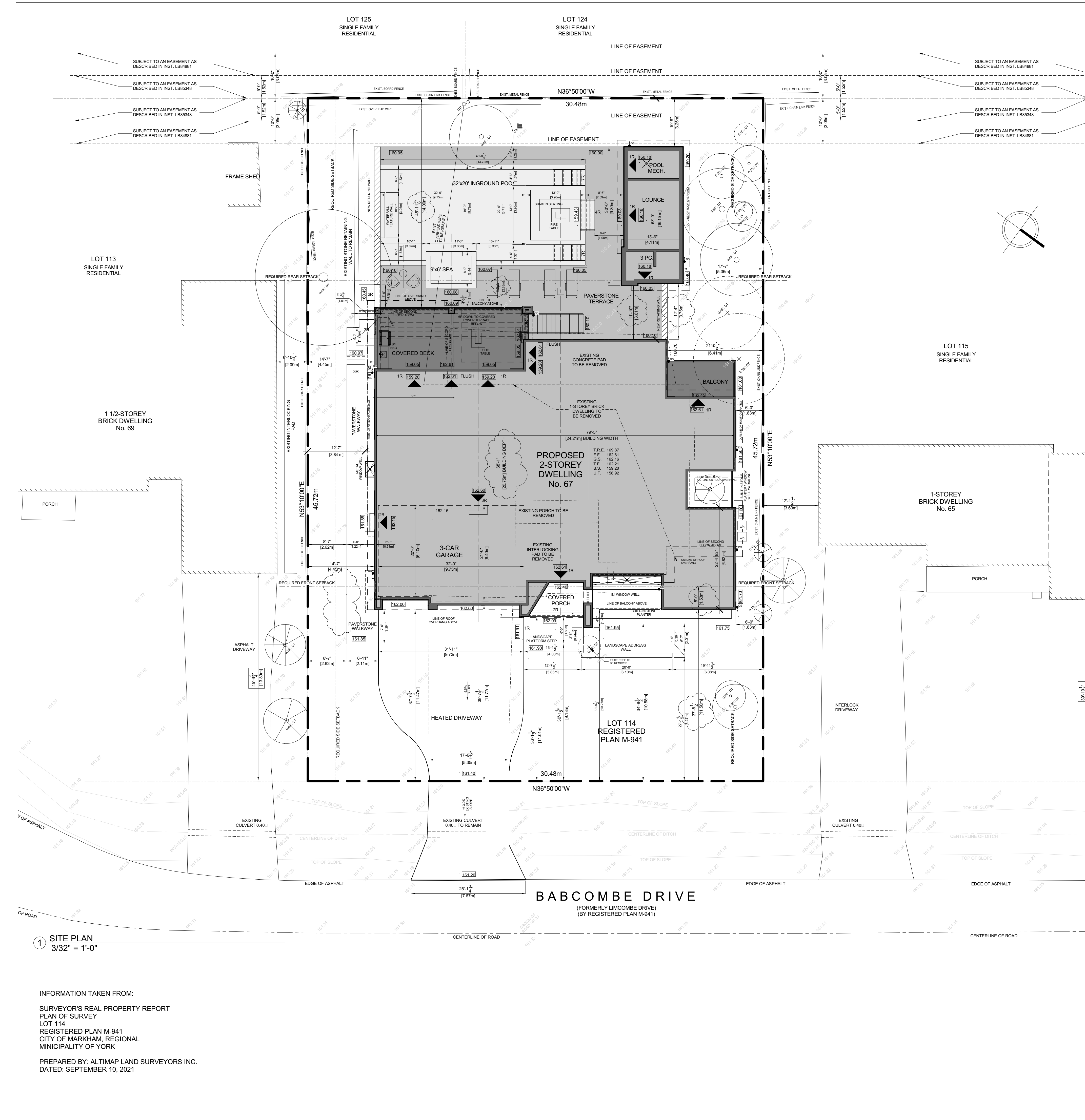
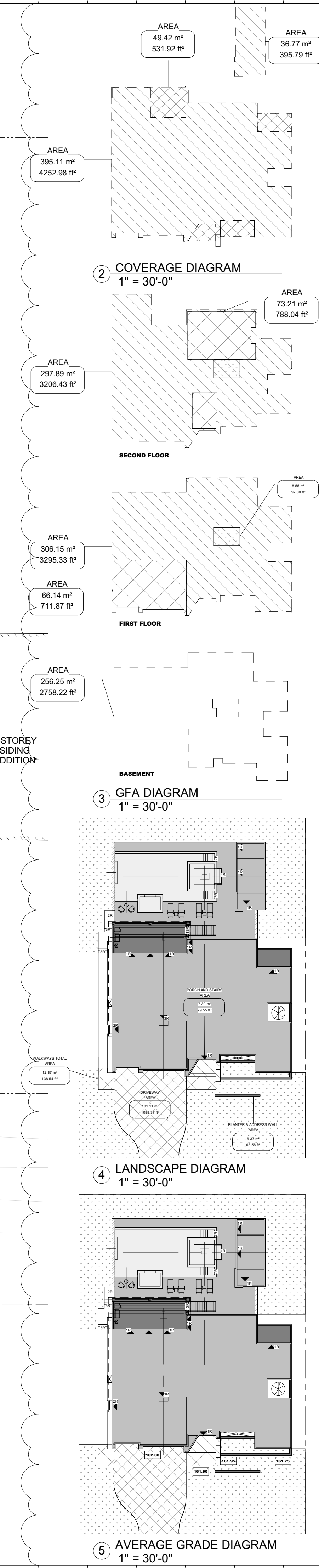
SETBACKS		
Permitted	Proposed	Min
Min Front (North-East)	13.82 m / 45.67 ft	11.91 m / 39.08 ft
Min Left (South-East)	1.83 m / 6.00 ft	4.45 m / 14.60 ft
Min Right (North-West)	1.83 m / 6.00 ft	1.83 m / 6.00 ft
Min Rear (South-West)	12.19 m / 39.98 ft	14.00 m / 45.93 ft
Combined Side Yard	6.10 m / 20.00 ft	6.28 m / 20.60 ft
Deck (0.6-1m high) Side	0.00 m / 0.00 ft	0.00 m / 0.00 ft
Deck (0.6-1m high) Rear	3.00 m / 9.84 ft	0.00 m / 0.00 ft
Deck (1-1m high) Side	1.83 m / 6.00 ft	1.83 m / 6.00 ft
Deck (1-1m high) Rear	3.00 m / 9.84 ft	14.00 m / 45.93 ft

FRONT YARD LANDSCAPING		
Permitted	Proposed	Min
Total Front Yard Area	3,899.47 sq ft / 362.27 m <sup>2</sup>	3,899.47 sq ft / 362.27 m <sup>2</sup>
Plants/Deck	67.75 sq ft / 6.29 m <sup>2</sup>	6.29 m <sup>2</sup>
Shrub	11.80 sq ft / 1.10 m <sup>2</sup>	1.10 m <sup>2</sup>
Less Driveway	1,088.37 sq ft / 101.11 m <sup>2</sup>	101.11 m <sup>2</sup>
Less Feature Arch	10.93 sq ft / 1.01 m <sup>2</sup>	1.01 m <sup>2</sup>
Total Front Yard Landscaping Area	2,720.72 sq ft / 252.70 m <sup>2</sup>	252.70 m <sup>2</sup>
Less Landscaping	138.54 sq ft / 12.87 m <sup>2</sup>	12.87 m <sup>2</sup>
Retaining & Planter Wall	68.58 sq ft / 6.37 m <sup>2</sup>	6.37 m <sup>2</sup>
Total Front Yard Landscaping Area	191.11 m <sup>2</sup> / 2,051.60 sq ft	2,051.60 sq ft / 191.11 m <sup>2</sup>
Landscaping Area	60.00%	64.64%

GARAGE & DRIVEWAY		
Permitted	Proposed	Min
Garage Entry Width	N/A m / 0.00 ft	9.14 m / 30.00 ft
Clearance	2.10 m / 6.89 ft	2.10 m / 6.89 ft
Garage Projection	2.10 m / 6.89 ft	0.00 m / 0.00 ft
Max Driveway Width	10.23 m / 33.56 ft	31.92 m / 104.73 ft

ENCROACHMENTS		
Permitted	Proposed	Min
Deck	0.46 m / 1.51 ft	0.76 m / 2.49 ft
Chimney	0.46 m / 1.51 ft	0.00 m / 0.00 ft
Architectural Features	0.46 m / 1.51 ft	2.42 m / 7.94 ft
Covered Platform	0.46 m / 1.51 ft	0.00 m / 0.00 ft

ACCESSORY STRUCTURES		
Permitted	Proposed	Min
Max Coverage	395.79 sq ft / 36.77 m <sup>2</sup>	36.77 m <sup>2</sup>
Max Height	TBC m / 11.00 m	2.64 m
Max Floor Setback	TBC m / 17.50 m	5.30 m
Max Rear Setback	TBC m / 13.67 m	3.20 m



This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled. The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from this work.

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Issued for: ZONING REVISION Date: 2023-SEP-15

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 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI SIGNATURE 45250 BCIN  
 NAME REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON  
 SITE PLAN

Project number: 2022-41  
 Rev. no.: As indicated  
 Scale: SEPTEMBER, 2023  
 Date: C.C.  
 Drawn by: M.Z.  
 Approved by:

Drawing number: **A1**

INFORMATION TAKEN FROM:  
 SURVEYOR'S REAL PROPERTY REPORT  
 PLAN OF SURVEY  
 LOT 114  
 REGISTERED PLAN M-941  
 CITY OF MARKHAM, REGIONAL  
 MUNICIPALITY OF YORK  
 PREPARED BY: ALTIMAP LAND SURVEYORS INC.  
 DATED: SEPTEMBER 10, 2021

Type Mark	Type	Description	Comments
10	Interior - (P6) 2" x 4" Wood Studs	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 6MIL POLY COINT. VAPOUR BARRIER. OFF-SET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK, R19 EPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS (BETWEEN FIN. WALL & STUD) TOTAL R-VALUE = R-19.0 (CONTINUOUS)	
FW1	Foundation	300mm (12") REINFORCED POURED CONC. WALL 25 MPa 208mm (8") STRONGTITE 25 280mm (10") FRIM INSIDE FACE @ 16" O.C. (VERTICAL). +15MBARS@16" O.C. 18" LONG 3/16" DOWELS ON 24" O.C. POURED CONC. FOOTING. SET 4" IN 18" CONTINUOUS BARS 2" CONC. COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL. APPLY 2 COATS OF RUB-B WALL WATERPROOFING & INSTALL DRAINAGE LAYER WHEN SEAMT INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE. WATERPROOF THE EXTERIOR FACE OF WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.2.5.3 OF THE O.B.C. & DAMPROOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE W/ SECTION 9.1.2.3 OF THE O.B.C. & PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO 8.1.2.3 OF THE O.B.C. SEAL JOINTS (CARBING AND FORM HOLES) W/ CEMENT MORTAR TO CREATE SMOOTH FINISH. DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE BOTTOM OF FOUNDATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE. 4" BRICK W/ 15mm (5/8") POLYETHYLENE VAPOUR BARRIER CONFORMING TO SUBSECTION 9.2.5.4 OF THE O.B.C. TO EXTEND FROM THE EXTERIOR OF THE FOUNDATION TO FULL BASSMENT HEIGHT. MOISTURE BARRIER CONFORMING TO SUBSECTION 9.2.5.3 OF THE O.B.C. & BUSH DOWN TO FULL BASSMENT HEIGHT. PROVIDE CONTINUOUS 2" x 6" S.L. SILL PLATE FASTENED W/ 12" DIA. 1/2" LONG ANCHOR BOLTS 6" ON TIES @ 16" O.C. SET MIN. 6" INTO CONCRETE. SILL PLATE TO BE ON A FLEXIBLE SILL GASKET.	
FW2	Foundation	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 6MIL POLY COINT. VAPOUR BARRIER. OFF-SET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK, R19 EPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS (BETWEEN FIN. WALL & STUD) TOTAL R-VALUE = R-19.0 (CONTINUOUS)	
FW3	Foundation	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 6MIL POLY COINT. VAPOUR BARRIER. OFF-SET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK, R19 EPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS (BETWEEN FIN. WALL & STUD) TOTAL R-VALUE = R-19.0 (CONTINUOUS)	
GLASS	Curtain Wall	388mm (2'x4") @ 400mm (16") O.C. FOR LOAD BEARING WALLS. 388mm (2'x4") @ 600mm (24") O.C. NON LOAD BEARING WALLS. 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES. 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES. PROVIDE TRIPLE STUDS @ CORNERS. PROVIDE DOUBLE STUDS AT OTHER CORNERS WHERE NOTED.	
P2	Interior - (P2) 2" x 4" Wood Studs	300mm (12") @ 400mm (16") O.C. FOR WALL THICKNESS ON 150mm (6") ANCHOR BOLTS EMBEDDED IN 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") MORTAR ON UNDISTURBED SOIL. 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES. 388mm (2'x4") BOTTOM PLATE. 2-388mm (2'x4") TOP PLATE PROVIDE 38x140mm (2"x4") STUDS PLATES WHERE NOTED & ALLOW SET CONC. CURB TO ALLOW FOR WOOD STUDS TO BEAR ON CONC.	
P4	Interior - (P4) Garage	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN ROSES & GARAGE. RSI 4.23 (R21) INS. IN 38x140mm (2"x4") WALLS CONFORMING TO CANCODES 9.3.4 & SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. ON WARM SIDE OF INS. ALL JOINTS OF GYPSUM WALLBOARD TO BE TAPE & SMOOTH. NOTE: APPLY FIRECALKING AT ALL JOINTS AND GAPS AT STUDS & ALLOW SET CONC. CURB TO ALLOW FOR WOOD STUDS TO BEAR ON CONC.	
W1	Interior - (W1) Aluminum Siding	150mm (6") ANCHOR BOLTS EMBEDDED IN 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") MORTAR ON UNDISTURBED SOIL. 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES. 388mm (2'x4") BOTTOM PLATE. 2-388mm (2'x4") TOP PLATE PROVIDE 38x140mm (2"x4") STUDS PLATES WHERE NOTED & ALLOW SET CONC. CURB TO ALLOW FOR WOOD STUDS TO BEAR ON CONC.	
W3	Exterior - (W3) Aluminum Siding	2" x 4" WOOD OR CONCRETE COMPOSITE RANSREEN CLADDING 2 SYSTEM CONTINUOUS AIR BARRIER. 15.8mm (5/8") EXTERIOR GRADE PLYWOOD SHEATHING OR 12.7 (1/2) DENSGLASS GOLD GYPSUM BOARD. 38x140mm (2"x4") WOOD STUDS @ 400mm (16") O.C. RSI 3.87 (R22) MINERAL WOOL INSULATION R12 IN 2" x 4" STUDS. 0.15mm (0.007) AIR VAPOUR BARRIER TO CONFORM TO CANCODES 9.3.4 & SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. 12.7mm (1/2") INTERIOR GYP. WALL BOARD FINISH. ALUMINUM SIDING AS PER PLANS. INSTALLED OVER 1" X 2" OR 1" X 1" BATT INSULATION. 60MM (2") C.M. VERTICAL TUBING STRIPS W/ GALVANIZED OR STAINLESS STEEL NAILS PENETRATION 38x140mm (2"x4") WOOD STUDS @ 400mm (16") O.C. MIN. 15mm (5/8") AIR SPACES OVER GROUND. 1" RSI 3.87 (R22) INTERIOR GYP. WALL BOARD FINISH. 15.8mm (5/8") EXTERIOR GRADE PLYWOOD SHEATHING OR 12.7 (1/2) DENSGLASS GOLD GYPSUM BOARD. 38x140mm (2"x4") WOOD STUDS @ 400mm (16") O.C. RSI 3.87 (R22) INTERIOR GYP. WALL BOARD FINISH. UNLESS SPECIFIED INTERIOR AIR BARRIER OVER GROUND. 1" RSI 3.87 (R22) INSULATION R12 IN 2" x 4" STUDS. 0.15mm (0.007) AIR VAPOUR BARRIER TO CONFORM TO CANCODES 9.3.4 & SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. MN. 90mm (3/8") FACE BRICK 254x178x76mm (1"x2"x3") GALVANIZED METAL TIES @ 400mm (16") HORIZONTAL. 4.800mm (24") VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING. 25mm (1") AIR SPACE. 0.7kg/m² (45) BUILDING PAPER (AIR BARRIER) OR BLUEKIN UP 100 TO OVERLAP @ JOINTS. 12.7mm (1/2") EXTERIOR PLYWOOD SHEATHING. 38x140mm (2"x4") WOOD STUDS @ 400mm (16") O.C. MINERAL WOOL THERMAL RSI 3.87 (R22) COMPLIANCE PACKAGE A1 INSULATION 6 M POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER. WARM SIDE FINISH. 15.8mm (5/8") EXTERIOR GRADE PLYWOOD SHEATHING OR 12.7 (1/2) DENSGLASS GOLD GYPSUM BOARD. 38x140mm (2"x4") WOOD STUDS @ 400mm (16") O.C. IN STUDS @ CORNERS. PROVIDE BASE FLASHING UP MIN. 150mm (6") OR BLUEKIN UP 100 BEHIND BUILDING PAPER. PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILL.	
W4	Exterior - (W4) Aluminum Siding	150mm (6") ANCHOR BOLTS EMBEDDED IN 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") MORTAR ON UNDISTURBED SOIL. 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES. 388mm (2'x4") BOTTOM PLATE. 2-388mm (2'x4") TOP PLATE PROVIDE 38x140mm (2"x4") STUDS PLATES WHERE NOTED & ALLOW SET CONC. CURB TO ALLOW FOR WOOD STUDS TO BEAR ON CONC.	
W5	Exterior - (W5) Aluminum Siding	150mm (6") ANCHOR BOLTS EMBEDDED IN 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") MORTAR ON UNDISTURBED SOIL. 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES. 388mm (2'x4") BOTTOM PLATE. 2-388mm (2'x4") TOP PLATE PROVIDE 38x140mm (2"x4") STUDS PLATES WHERE NOTED & ALLOW SET CONC. CURB TO ALLOW FOR WOOD STUDS TO BEAR ON CONC.	
FL1	Basement (FL1) Baseboard	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB REINFC. W/ 8 X 6 X 6 (HEAVY) WARNING TUBE (AS PER MECHANICAL) 150mm (6") PERIMETER RIGID INSULATION UNDER SLAB AT ALL AREAS OF FLOOR HEATING. 60MM (2") MIN. R18 AIR VAPOUR BARRIER ON WARM SIDE ON MN. 8" COMPACTED GRANULAR "A" OR CLEAR GRANULED STONE PER GEOTECH REPORT. NO WOODEN GLOUSE TERRAZO 2700 OR EQUIVALENT UNDISTURBED SOIL. LOCATE AND COORDINATE FLOOR DRAINS WITH PLUMBING SLOPE TO DRAINS AS REQUIRED TRADE.	
FL2	Basement (FL2) Slab on Grade	150mm (6") PERIMETER RIGID INSULATION UNDER SLAB. PROVIDE 12" (3") IMPERVIOUS BOARD FOR RIGID BOND AT EDGE. 9" (3") MIN. INSULATION UNDER SLAB. 4" (1") OF PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SAB ON GRADE CONDITIONS 7" R19 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12) 11.1" (9") LOCATE AND COORDINATE FLOOR DRAINS WITH PLUMBING TRADE. SLOPE TO DRAINS AS REQUIRED.	
FL3	Basement (FL3) Slab on Grade	6" CONCRETE SLAB (MINIMUM REINF. W/ 6 X 6 @ 9" ON 12" FROM TOP OF SLAB). 32 MPa 4660 PSI MIN. CONCRETE. 6" MN. AIR ENTRAINMENT S.M. VAPOR BARRIER OR WARM SILL. ON MN. 8" (12") DIA. CLEAR STONE STONE COMPACTED TO 99% S.P. @ 3" O.C. MINIMUM 1% TO GARAGE FLOOR. IF HEATED 1/2" (38mm) MAXIMUM DENSITY TOPPING W/ RADIANT HEATING PER DRAWINGS. PROVIDE 2" EPS RIGID INSULATION W/ TAPED JOINTS UNDER SLAB & POLY. FLOOR FINISH AS SPECIFIED ON FLOOR PLANS 1 & 2 PLYWOOD PER STRUCTURAL NOTES. FLOOR JOISTS AS SPECIFIED 12" CIPSLIM BOARD. CEILING TREATMENT UNLESS INDICATED OTHERWISE AS SHOWN IN CONSTRUCTION DOCUMENTS DOUBLE JOISTS. UNDERSIDE PARTITION WALLS PARALLEL TO JOISTS. NOTE: FOR AREAS WITH THE ABOVE FLOOR JOISTS SPACING 12" O.C. TYP.	
FL4	Basement (FL4) Porch Slab	1 1/2" FLASSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER. 6" CONCRETE SLAB ON GRADE CW MN. 2% SLOPE AROUND FND. ON 3" DIA. CLEAR CRUSHED STONE ON GRADE. NOTE: TOP OF ALL FINISH FLOORS TO BE FINISH REPLACE WALL FINISH W/ CONC. BOARD AND SCHLUTER KERD. WATERPROOFING SYSTEM.	

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Issued for:  
ZONING REVISION  
Date:  
2023-SEP-15

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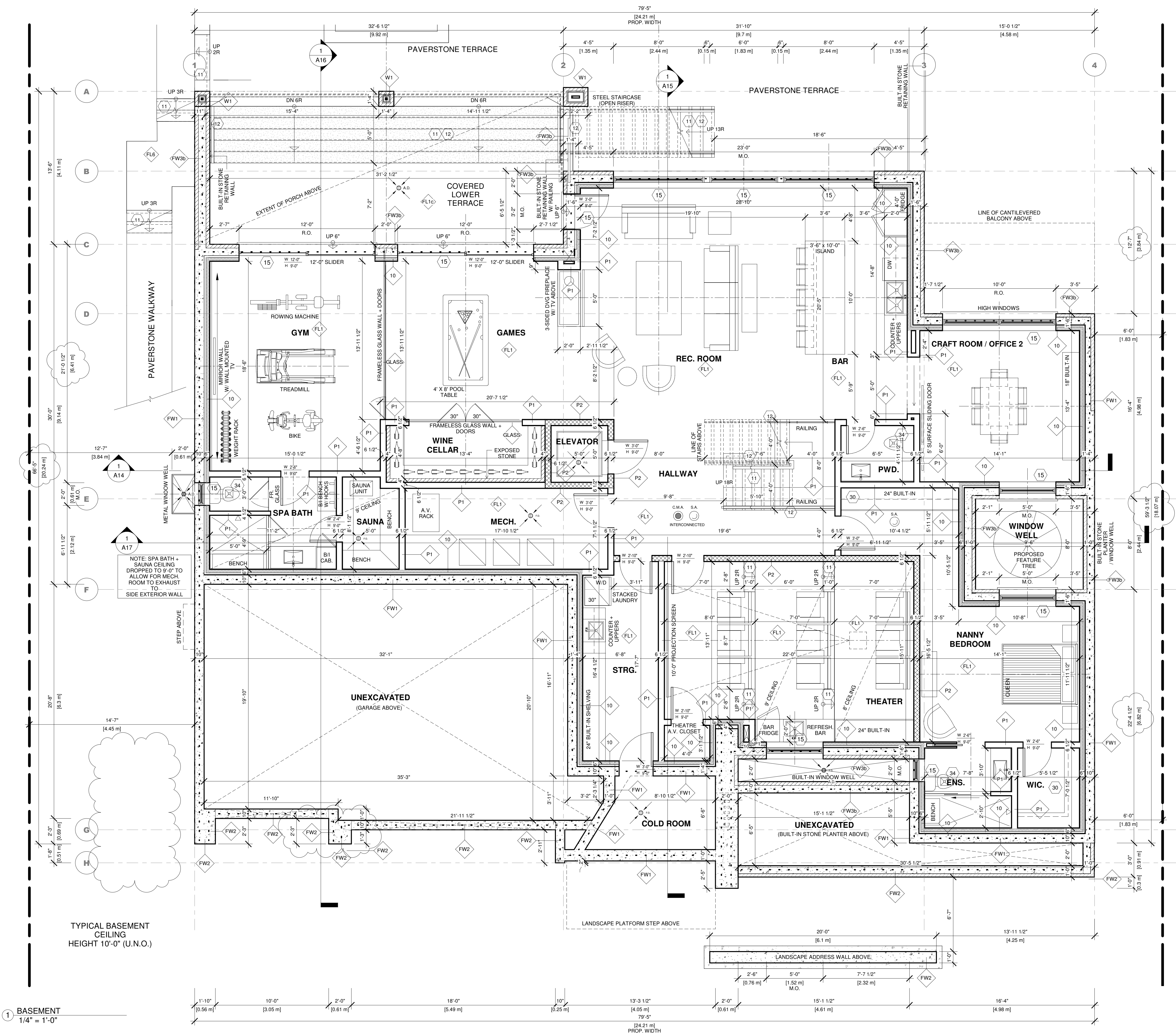
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

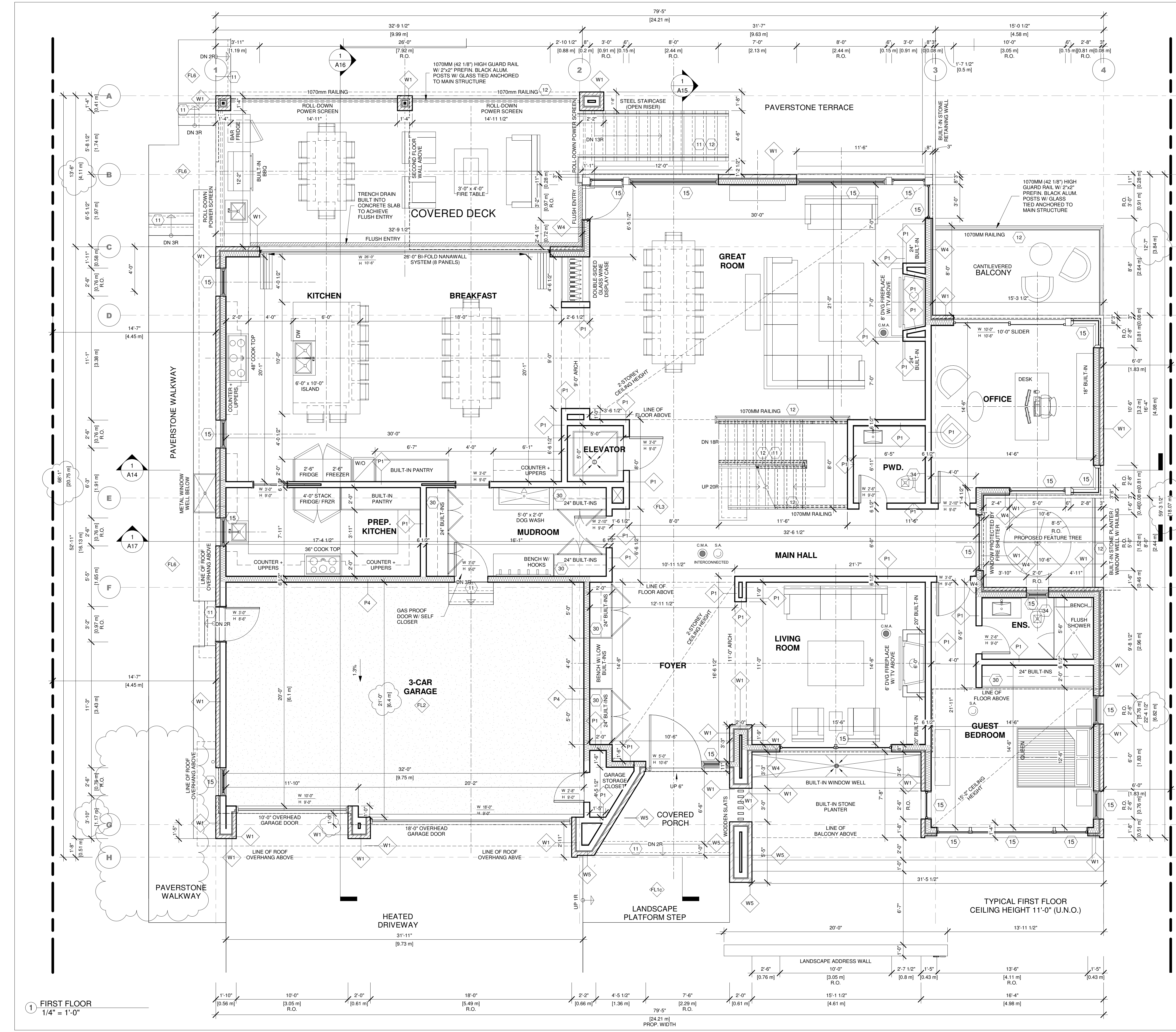
QUALIFICATION INFORMATION  
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
MARIN ZABZUNI  
NAME: MARIN ZABZUNI  
SIGNATURE: *Marin Zabzuni*  
REGISTRATION INFORMATION  
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
CONTEMPO STUDIO  
FIRM NAME: CONTEMPO STUDIO  
46972  
BCIN

2 STOREY DETACHED WELLING  
AT  
67 BABCOMBE DR  
THORNHILL, ON  
BASEMENT PLAN

Project number: 2022-41  
Rev. no.: 1  
Scale: 1/4" = 1'-0"  
Date: SEPTEMBER, 2023  
Drawn by: C.C.  
Approved by: M.Z.

Drawing number: A2





**Wall Schedule**

Type Mark	Type	Description	Comments
10	Interior - (P6)	2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FIN. WALL & STUD TOTAL R VALUE =12-0 (CONTINUOUS))	
		2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FIN. WALL & STUD TOTAL R VALUE =12-0 (CONTINUOUS))	
		2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FIN. WALL & STUD TOTAL R VALUE =12-0 (CONTINUOUS))	

**Floor Schedule**

Type Mark	Type	Description	Comments
F1	F1	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB AS PER STRUCTURAL. SEE NOTE F1.1 W/ WAGNET FLOOR WARMING TUBE (AS PER MECHANICAL) (Heated)	
F1c	(F1c)	Basement Slab on Grade	
F2	(F2)	Garage Slab on Grade	
F3	(F3)	Floor Joist Assembly (11 7/8" Top)	
F6	(F6)	Concrete Porch Slab on Grade	

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No. 1.	Issued for:	Date
2.	ZONING REVISION	2023-SEP-15

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI *Signature* 45250 BCIN  
 NAME

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

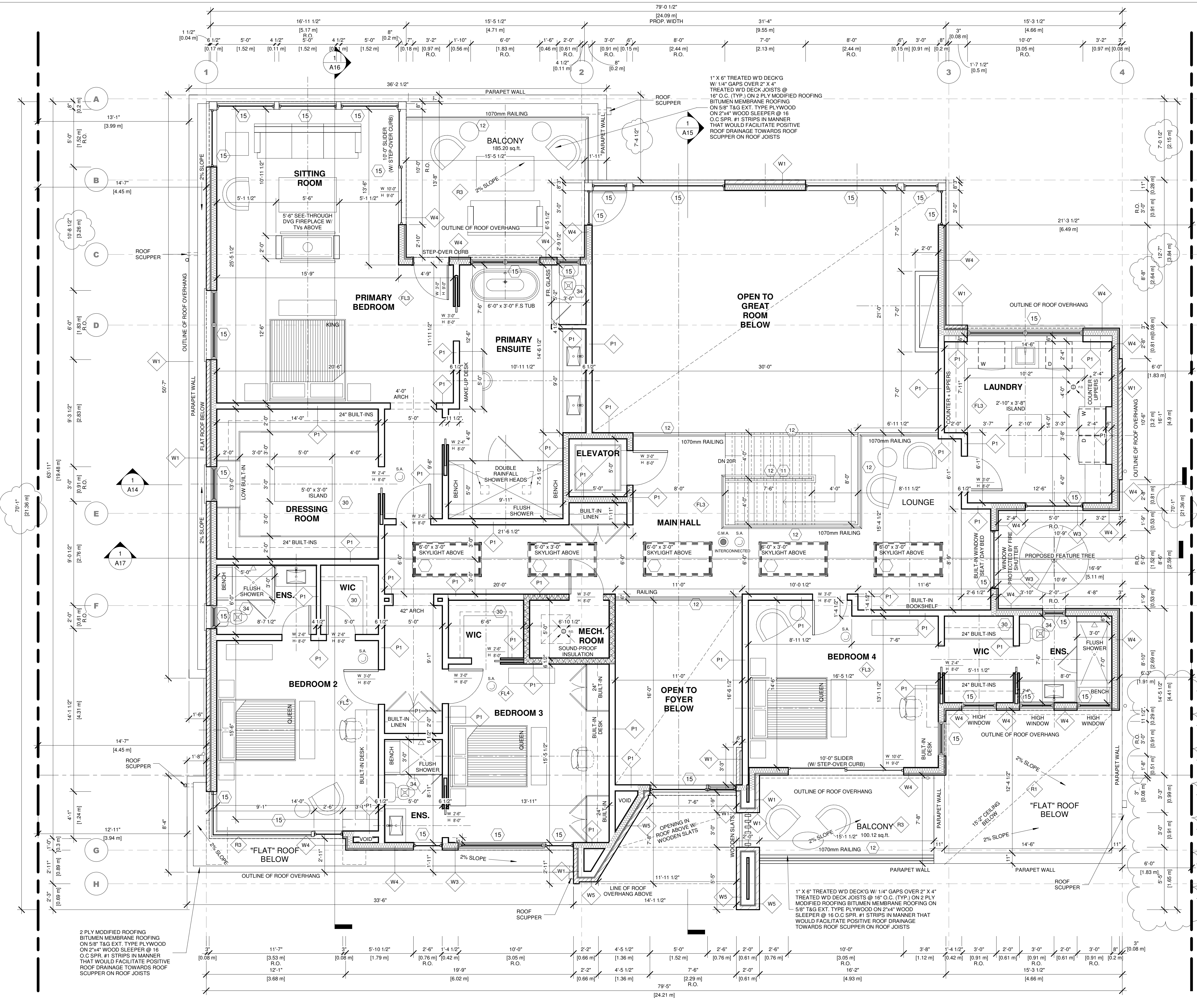
CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

**2 STOREY DETACHED WELLING**  
 AT  
**67 BABCOMBE DR**  
**THORNHILL, ON**  
**FIRST FLOOR PLAN**

Project number: 2022-41  
 Rev. no.: 14" = 1'-0"  
 Date: SEPTEMBER, 2023  
 Drawn by: C.C. M.C.  
 Approved by: M.C.

Drawing number: **A3**

H:\Shared drives\CONTEMPO PROJECTS\OFFICIALS\2022 Projects\2023-41 67 BABCOMBE DR.6. Permit Drawings\Phase\5.4 Rev1 Files\67 BABCOMBE DR - WORKING DRAWINGS\20230901.rvt



Type Mark	Type	Description	Comments
10	Interior - (P1)	2" X 4" WOOD STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R-VALUE = R15-100 CONTINUOUS.	
FW1	Foundation	250mm (10") REINFORCED POURED CONC. WALL 25 MPa (3800 PSI) STRENGTH IN 28 DAYS W/ 10MM (3/8") FIRM INSIDE FACE @ 16" O.C. (VERTICAL) + 10MM (3/8") @ 400MM (16") O.C. HORIZONTAL. 1" LONG 3" DIA. ANCHORS @ 24" O.C. (VERTICAL) POURED CONC. FOOTING W/ 10MM (3/8") CONTINUOUS BARS 2" CONC. COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL. APPLY 2 COATS OF RUB-B-WALL WATERPROOFING & INSTALL DRAINAGE LAYER WHEN SEMI INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE.	
FW2	Foundation	UNCONCRETE FOUNDATION WALL AS PER ENG.	
FW3	Foundation	4" BRICK W/ 6" POURED CONC. BACK-UP TIED TOGETHER W/ 3" DIA. (3/8") GALV. ROD TIE @ 18" O.C. EACH WAY FILL VOID BETWEEN BRICK & BRICK SOLID W/ 3/4" CONC. CONCRETE GROUT.	
P1	Curian Wall	388mm (24") @ 400mm (16") O.C. FOR LOAD BEARING WALLS. 388mm (24") @ 600mm (24") O.C. NON LOAD BEARING.	
P2	Interior - (P2)	2" X 4" WOOD STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R-VALUE = R15-100 CONTINUOUS.	
P3	Interior - (P3)	2" X 4" WOOD STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. 5/8" POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R-VALUE = R15-100 CONTINUOUS.	
P4	Interior - (P4)	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN HOUSE & GARAGE. RSI 4.23 (R4) INT. INS. IN 3814mm (24") WALLS. RSI 4.45 (R5) INT. INS. IN 3814mm (24") WALLS. 0.15mm (0.006") AIR VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INT. ALL JOINTS OF WY. WALL BOARD TO BE TAPED & SEALED TO PREVENT CONDENSATION ENTERING LIVING AREA GAS PROOFED AS PER 080 3.3.6. SEE NOTE TO INT.	
W1	Window	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN HOUSE & GARAGE. RSI 4.23 (R4) INT. INS. IN 3814mm (24") WALLS. RSI 4.45 (R5) INT. INS. IN 3814mm (24") WALLS. 0.15mm (0.006") AIR VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INT. ALL JOINTS OF WY. WALL BOARD TO BE TAPED & SEALED TO PREVENT CONDENSATION ENTERING LIVING AREA GAS PROOFED AS PER 080 3.3.6. SEE NOTE TO INT.	
W2	Window	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN HOUSE & GARAGE. RSI 4.23 (R4) INT. INS. IN 3814mm (24") WALLS. RSI 4.45 (R5) INT. INS. IN 3814mm (24") WALLS. 0.15mm (0.006") AIR VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INT. ALL JOINTS OF WY. WALL BOARD TO BE TAPED & SEALED TO PREVENT CONDENSATION ENTERING LIVING AREA GAS PROOFED AS PER 080 3.3.6. SEE NOTE TO INT.	
W3	Window	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN HOUSE & GARAGE. RSI 4.23 (R4) INT. INS. IN 3814mm (24") WALLS. RSI 4.45 (R5) INT. INS. IN 3814mm (24") WALLS. 0.15mm (0.006") AIR VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INT. ALL JOINTS OF WY. WALL BOARD TO BE TAPED & SEALED TO PREVENT CONDENSATION ENTERING LIVING AREA GAS PROOFED AS PER 080 3.3.6. SEE NOTE TO INT.	
W4	Window	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN HOUSE & GARAGE. RSI 4.23 (R4) INT. INS. IN 3814mm (24") WALLS. RSI 4.45 (R5) INT. INS. IN 3814mm (24") WALLS. 0.15mm (0.006") AIR VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INT. ALL JOINTS OF WY. WALL BOARD TO BE TAPED & SEALED TO PREVENT CONDENSATION ENTERING LIVING AREA GAS PROOFED AS PER 080 3.3.6. SEE NOTE TO INT.	
W5	Window	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILINGS BETWEEN HOUSE & GARAGE. RSI 4.23 (R4) INT. INS. IN 3814mm (24") WALLS. RSI 4.45 (R5) INT. INS. IN 3814mm (24") WALLS. 0.15mm (0.006") AIR VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INT. ALL JOINTS OF WY. WALL BOARD TO BE TAPED & SEALED TO PREVENT CONDENSATION ENTERING LIVING AREA GAS PROOFED AS PER 080 3.3.6. SEE NOTE TO INT.	
FL1	Floor Slab	34" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB AS PER STRUCTURAL. SEE NOTE FL1 W/ W/ AGENT FLOOR FINISH. W/ 1/2" PERIMETER RIGID INSULATION UNDER SLAB AT ALL AREAS OF FLOOR FINISH. 1" DIA. CLEAR STONE STONE COMPACTED TO 8% (3" O.C.) CONC. MINIMUM 1% TO GARAGE FLOOR. PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SLAB ON GRADE CONDITIONS PER 810 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	
FL2	Floor Slab	6" CONCRETE SLAB (4" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.8% AIR ENTRAINMENT. 1.5" VAPOR BARRIER. MIN. 1% TO GARAGE FLOOR. ON MIN. 6" (150mm) 3/4" DIA. CLEAR STONE STONE COMPACTED TO 8% (3" O.C.) CONC. MINIMUM 1% TO GARAGE FLOOR. PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SLAB ON GRADE CONDITIONS PER 810 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	
FL3	Floor Slab	12" CONCRETE SLAB (8" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.8% AIR ENTRAINMENT. 1.5" VAPOR BARRIER. MIN. 1% TO GARAGE FLOOR. ON MIN. 6" (150mm) 3/4" DIA. CLEAR STONE STONE COMPACTED TO 8% (3" O.C.) CONC. MINIMUM 1% TO GARAGE FLOOR. PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SLAB ON GRADE CONDITIONS PER 810 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	
FL4	Floor Slab	12" CONCRETE SLAB (8" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.8% AIR ENTRAINMENT. 1.5" VAPOR BARRIER. MIN. 1% TO GARAGE FLOOR. ON MIN. 6" (150mm) 3/4" DIA. CLEAR STONE STONE COMPACTED TO 8% (3" O.C.) CONC. MINIMUM 1% TO GARAGE FLOOR. PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SLAB ON GRADE CONDITIONS PER 810 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	
FL5	Floor Slab	12" CONCRETE SLAB (8" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.8% AIR ENTRAINMENT. 1.5" VAPOR BARRIER. MIN. 1% TO GARAGE FLOOR. ON MIN. 6" (150mm) 3/4" DIA. CLEAR STONE STONE COMPACTED TO 8% (3" O.C.) CONC. MINIMUM 1% TO GARAGE FLOOR. PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SLAB ON GRADE CONDITIONS PER 810 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	
FL6	Floor Slab	12" CONCRETE SLAB (8" MINIMUM REIN. W/ 6 X 6 @ 600MM (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.8% AIR ENTRAINMENT. 1.5" VAPOR BARRIER. MIN. 1% TO GARAGE FLOOR. ON MIN. 6" (150mm) 3/4" DIA. CLEAR STONE STONE COMPACTED TO 8% (3" O.C.) CONC. MINIMUM 1% TO GARAGE FLOOR. PERIMETER EXTENDING MIN. 24" (8") BELOW GRADE. FOR SLAB ON GRADE CONDITIONS PER 810 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	

**1 SECOND FLOOR**  
 1/4" = 1'-0"

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2.	ZONING REVISION	2023-SEP-15

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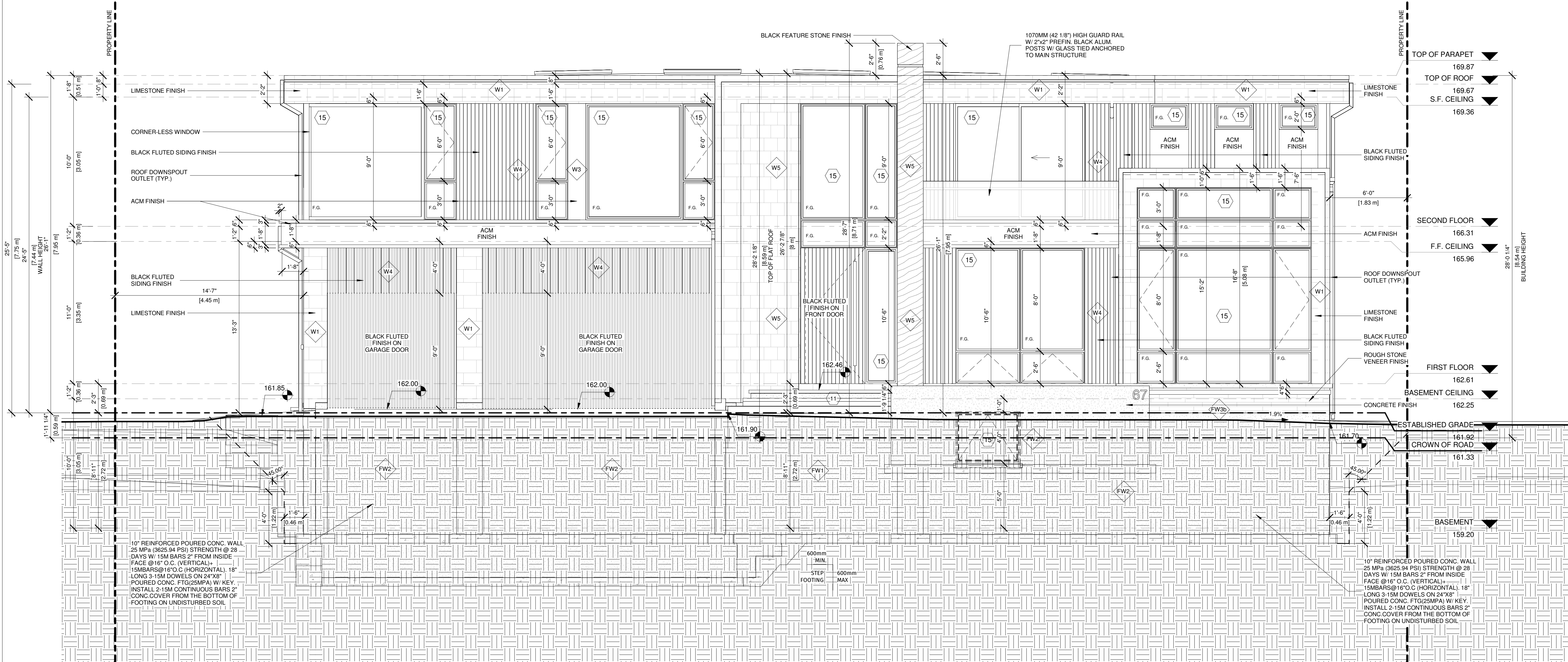
**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.3. (5) Division C of the Ontario Building Code.  
 MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPTUDIO 46972  
 FIRM NAME BCIN

**2 STOREY DETACHED WELLING**  
 AT  
**67 BABCOMBE DR**  
**THORNHILL, ON**  
**SECOND FLOOR PLAN**

Project number: 2022-41  
 Rev. no.: 1  
 Scale: 1/4" = 1'-0"  
 Date: SEPTEMBER, 2023  
 C.C. M.C.  
 Drawn by:  
 Approved by:  
 Drawing number:





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 1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

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 MARIN ZABZUNI SIGNATURE 45250 BCIN  
**REGISTRATION INFORMATION**  
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 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

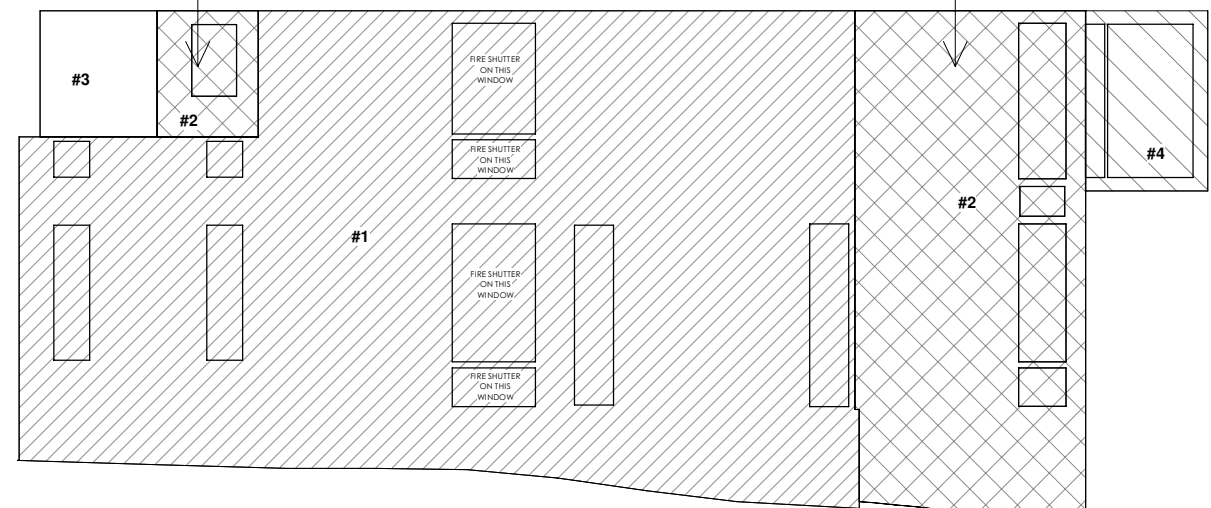
FRONT ELEVATION

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: SEPTEMBER, 2023  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A6**

1 North-East, Front Elevation  
 1/4" = 1'-0"

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2  
 LIMITING DISTANCE (LD) = 6.41m  
 WALL AREA #2 OF EXPOSED BUILDING FACE = 396.87 SF (36.87m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1618.57 SF (150.37m²), LD = 6.41m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 20.85%  
 ALLOWABLE UPO AREA: 396.87 SF @ 20.85% = 82.75 SF  
 PROPOSED UPO AREA (WALL AREA #2) = 82.57 SF (GLAZING AREAS ONLY)  
 (0.18 SF UNDER THE MAX ALLOWED)

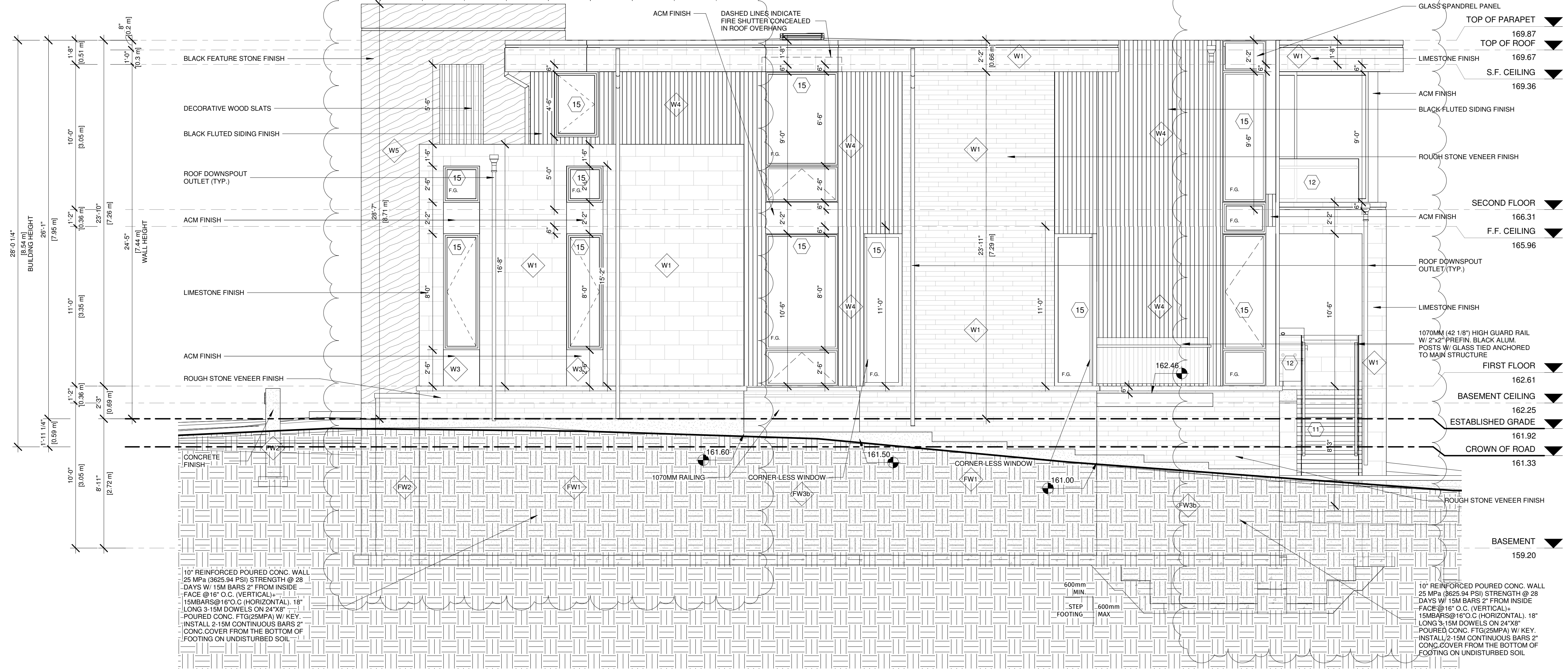


RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #4  
 LIMITING DISTANCE (LD) = 20.79m  
 WALL AREA #4 OF EXPOSED BUILDING FACE = 67.92 SF (6.31m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1618.57 SF (150.37m²), LD = 20.79m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 100.00%  
 ALLOWABLE UPO AREA: 67.92 SF @ 100.00% = 67.92 SF  
 PROPOSED UPO AREA (WALL AREA #4) = 43.22 SF (GLAZING AREAS ONLY)  
 (24.70 SF UNDER THE MAX ALLOWED)

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3  
 LIMITING DISTANCE (LD) = 15.72m  
 WALL AREA #3 OF EXPOSED BUILDING FACE = 45.65 SF (4.24m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1618.57 SF (150.37m²), LD = 15.72m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 89.41%  
 ALLOWABLE UPO AREA: 45.65 SF @ 89.41% = 40.68 SF  
 PROPOSED UPO AREA (WALL AREA #3) = 0 SF (GLAZING AREAS ONLY)

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1  
 LIMITING DISTANCE (LD) = 1.83m  
 WALL AREA #1 OF EXPOSED BUILDING FACE = 1,113.51 SF (103.45m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1618.57 SF (150.37m²), LD = 1.83m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 7.66%  
 ALLOWABLE UPO AREA: 1,113.51 SF @ 7.66% = 85.29 SF  
 PROPOSED UPO AREA (WALL AREA #1) = 85.00 SF (GLAZING AREAS ONLY)  
 (0.29 SF UNDER THE MAX ALLOWED)

**RIGHT ELEVATION UNPROTECTED AREA CALCS.**  
 3/32" = 1'-0"



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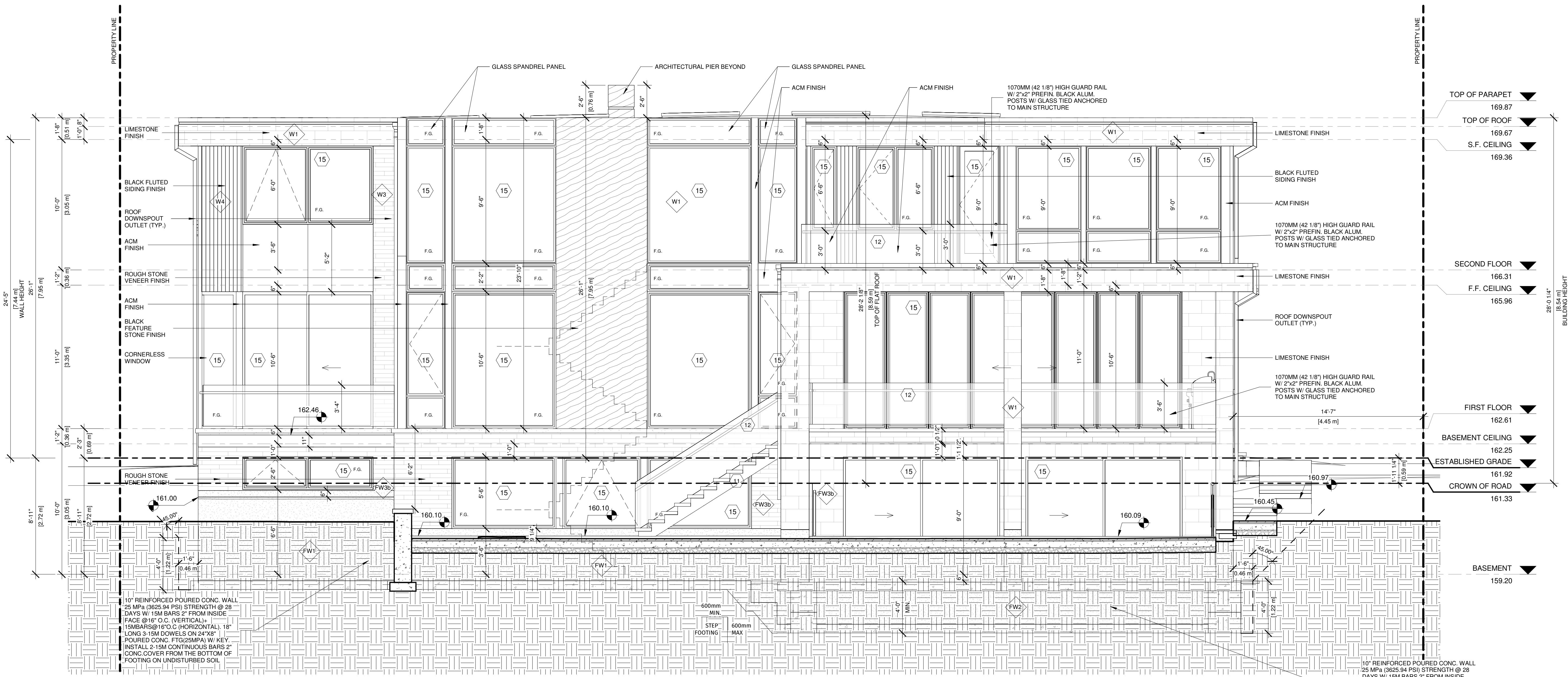
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 REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

RIGHT ELEVATION

Project number: 2022-41  
 Rev. no.: As indicated  
 Scale: As indicated  
 Date: SEPTEMBER, 2023  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A7**



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MARIN ZABZUNI SIGNATURE 45250 BCIN  
 NAME

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

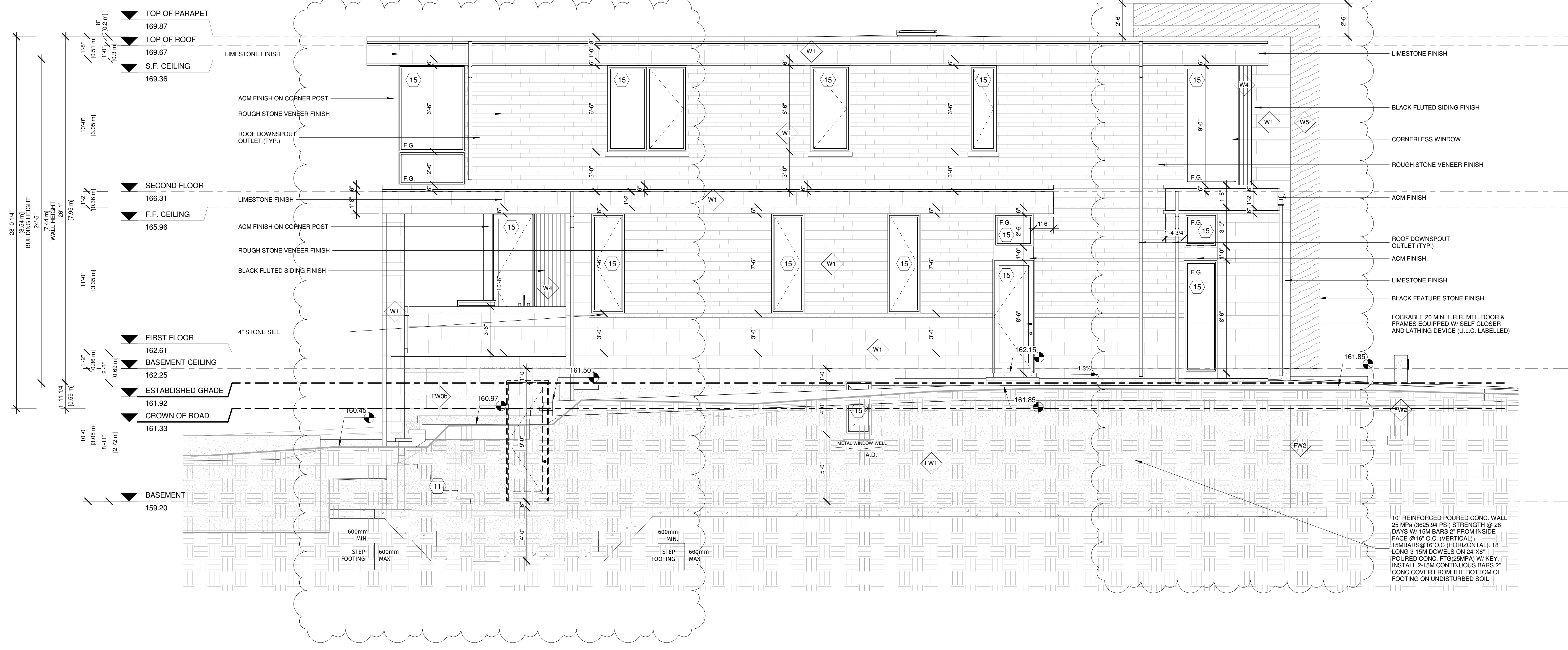
REAR ELEVATION

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: SEPTEMBER, 2023  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A8**

① South-West, Rear Elevation  
 1/4" = 1'-0"

**WALL AREA**  
 UNPROTECTED OPENING CALCULATION AS  
 PER S.10.15.4  
 EXPOSING BUILDING FACE AREA 134.03m<sup>2</sup>  
 LIMITED DISTANCE 4.45m @ 13.58%  
 MAX. ALLOWABLE GLASS OPENING 18.20m<sup>2</sup>  
 TOTAL GLASS OPENING PROVIDE 18.12m<sup>2</sup>



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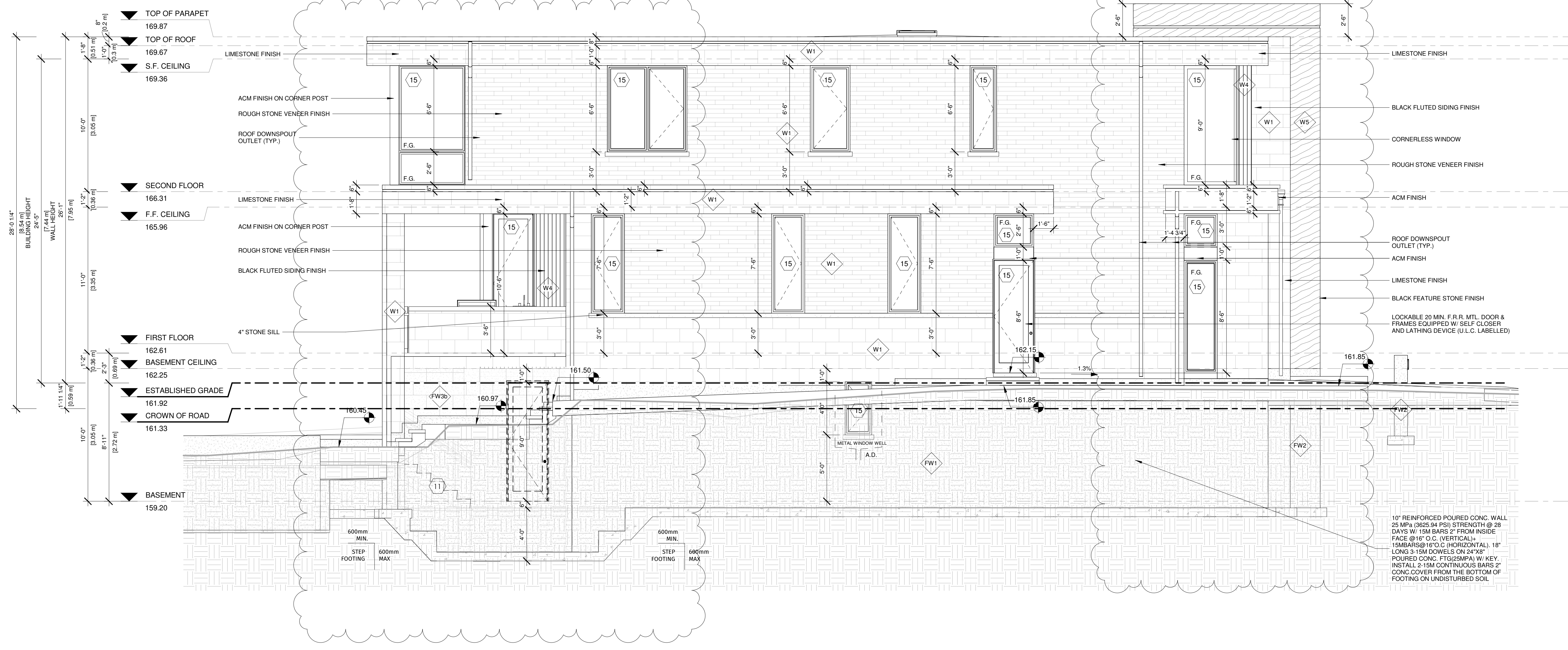
LEFT ELEVATION

Project number: 2022-41  
 Rev. no.: 1  
 Scale: 1/4" = 1'-0"  
 Date: SEPTEMBER, 2023  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A9**

1 South-East, Left Elevation  
 1/4" = 1'-0"

**WALL AREA**  
 UNPROTECTED OPENING CALCULATION AS  
 PER S.10.15.4  
 EXPOSING BUILDING FACE AREA 134.03m<sup>2</sup>  
 LIMITED DISTANCE 4.45m @ 13.58%  
 MAX. ALLOWABLE GLASS OPENING 18.20m<sup>2</sup>  
 TOTAL GLASS OPENING PROVIDE 18.12m<sup>2</sup>



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 FIRM NAME BCIN

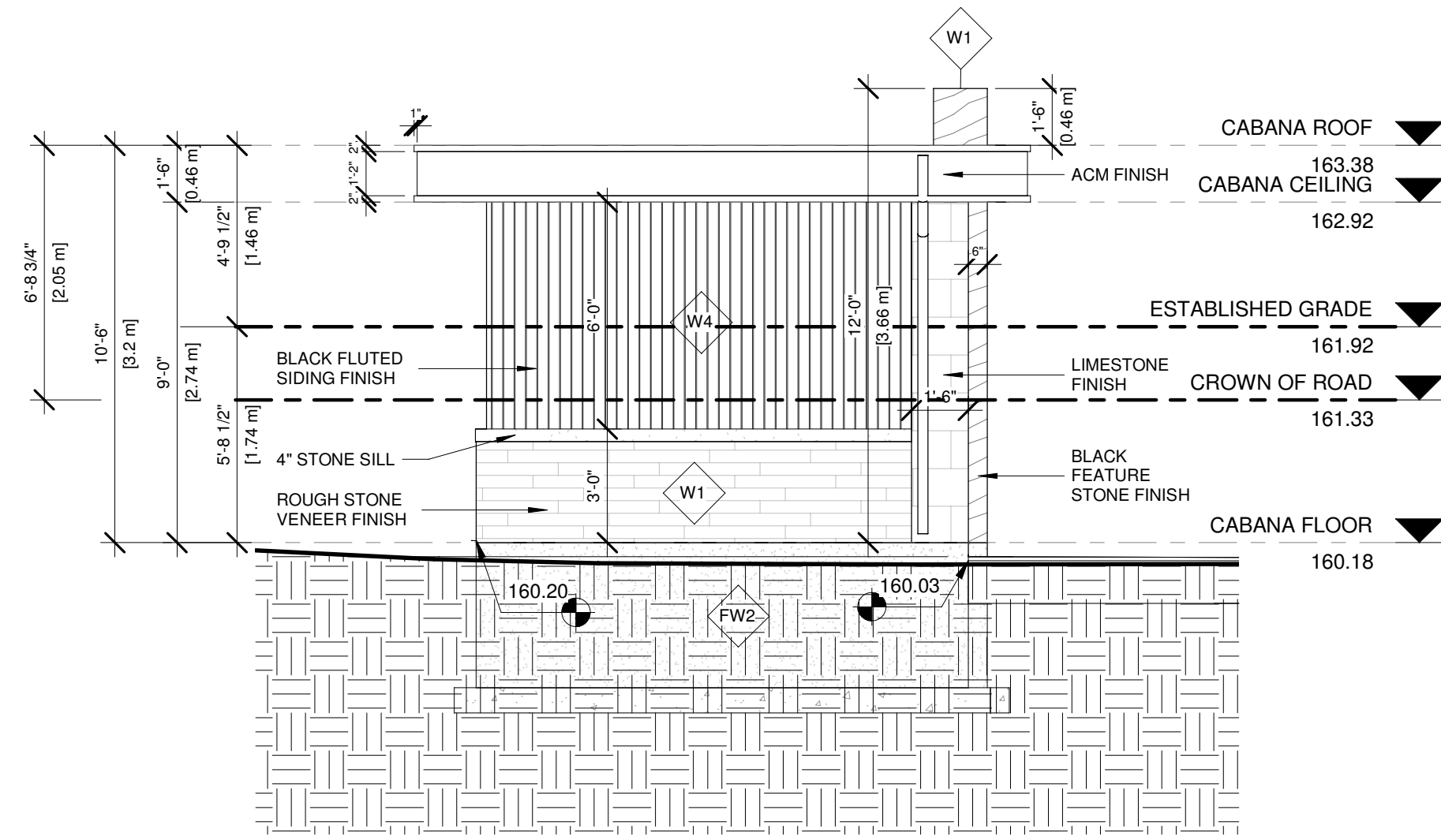
2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

LEFT ELEVATION

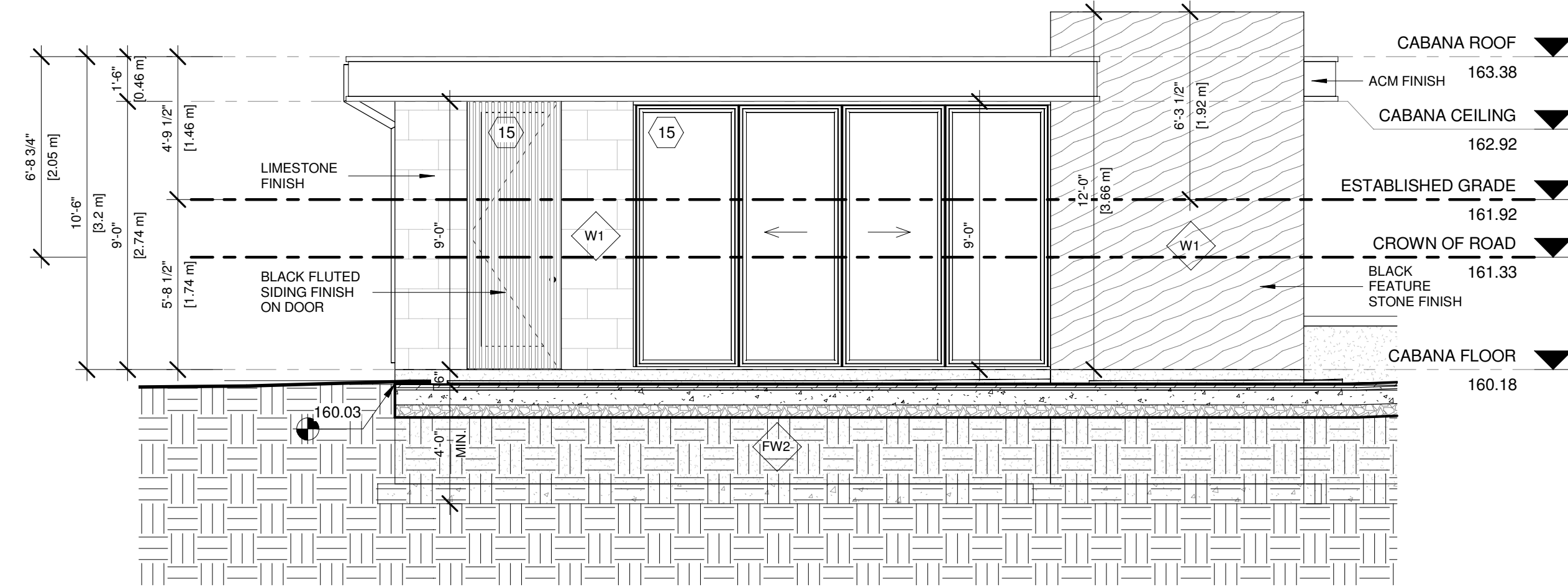
Project number: 2022-41  
 Rev. no.: 1  
 Scale: 1/4" = 1'-0"  
 Date: SEPTEMBER, 2023  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A9**

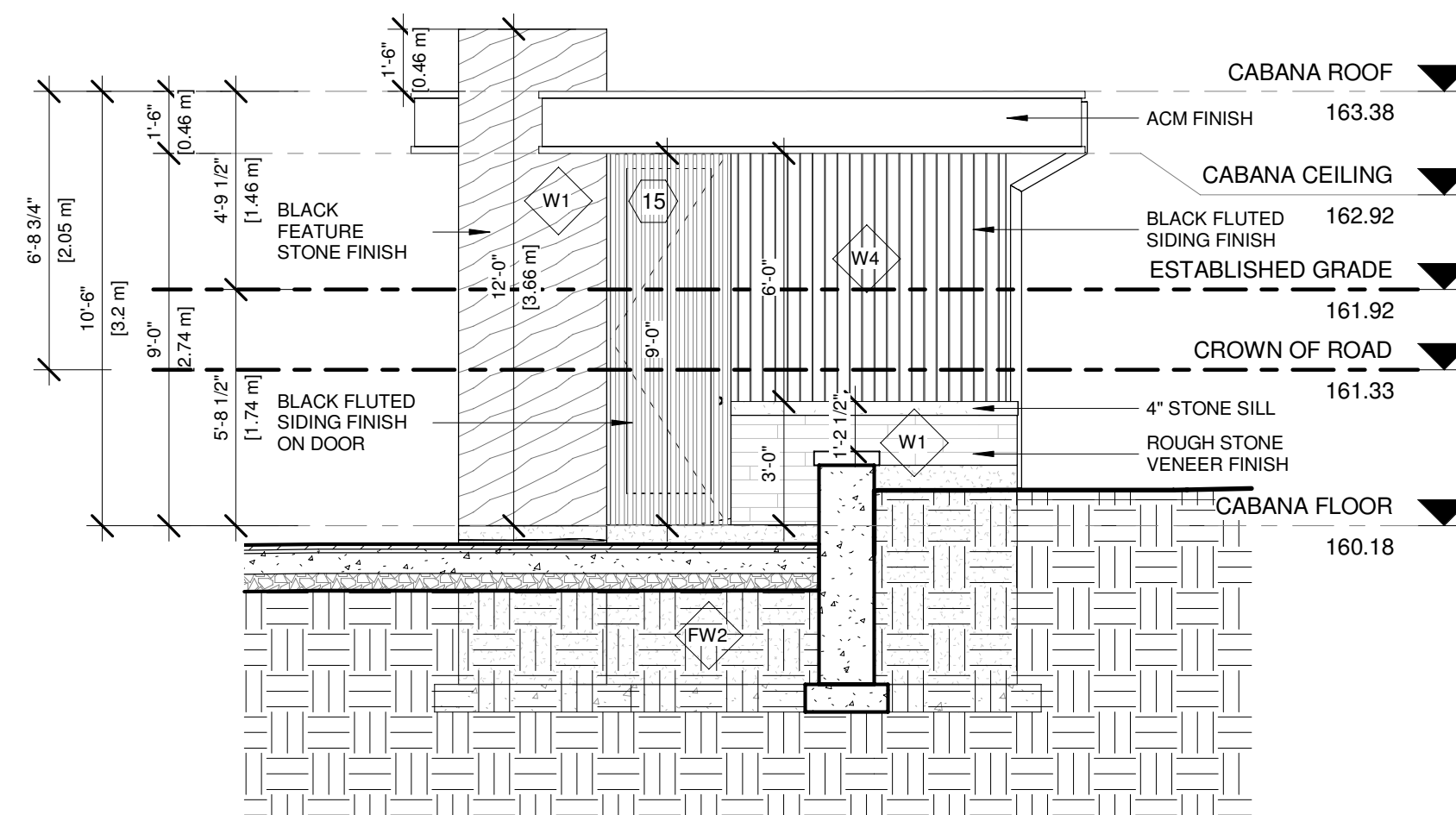
1 South-East, Left Elevation  
 1/4" = 1'-0"



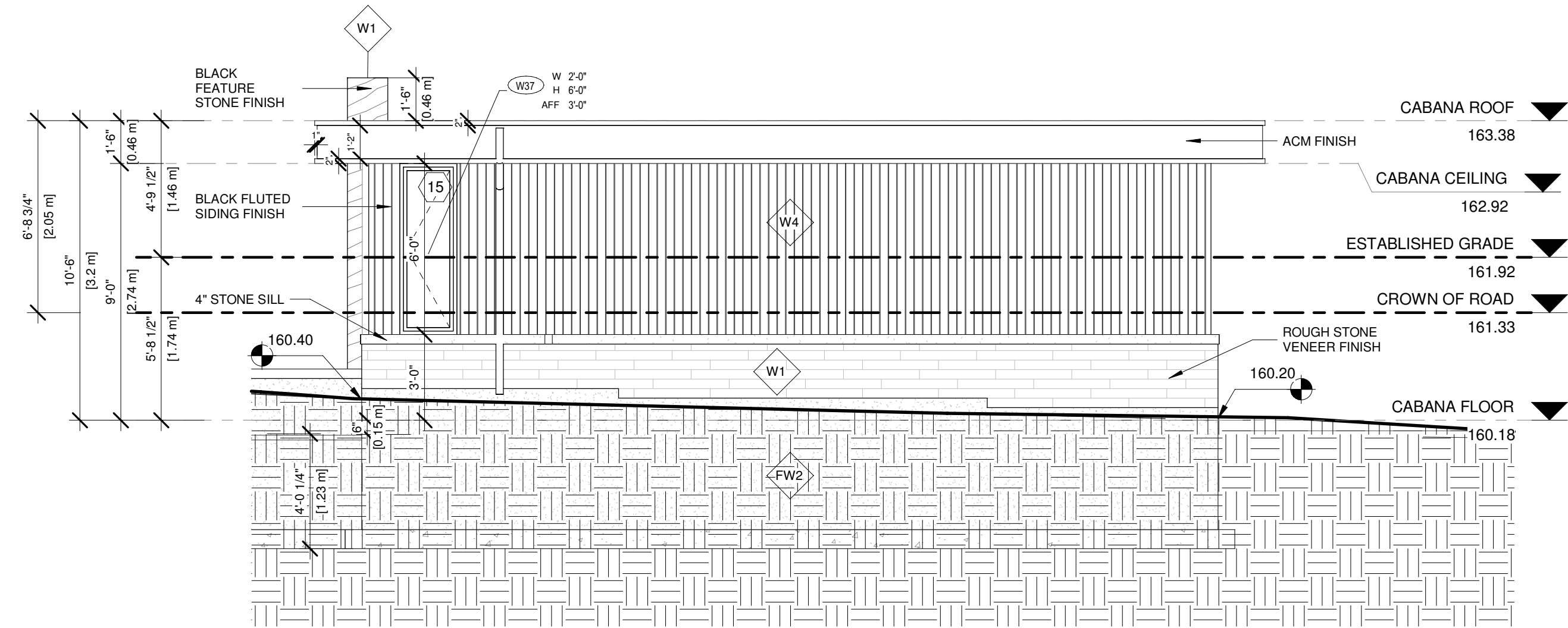
1 Cabana - South-West Elevation  
 1/4" = 1'-0"



2 Cabana - South-East Elevation  
 1/4" = 1'-0"



3 Cabana - North-East Elevation  
 1/4" = 1'-0"



4 Cabana - North-West Elevation  
 1/4" = 1'-0"

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2.		

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MARIN ZABZUNI	45250
NAME	SIGNATURE
	BCIN
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

2 STOREY DETACHED WELLING

AT  
 67 BABCOMBE DR  
 THORNHILL, ON

**CABANA ELEVATIONS**

Project number:	2022-41
Rev. no.:	
Scale:	1/4" = 1'-0"
Date:	SEMPTEMBER, 2023
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number:

**A13**

## Appendix C

File: 22.245498.000.00.MNV

Date: 02/15/24  
MM/DD/YY

# Memorandum to the City of Markham Committee of Adjustment

August 01, 2023

**File:** A/114/22  
**Address:** 67 Babcombe Drive, Thornhill  
**Applicant:** Contempo Studio (Marin Zabzuni)  
**Hearing Date:** Wednesday, August 16, 2023

The following comments are provided on behalf of the West Team. The applicant is requesting relief from the following “Third Density Special Residential – (SR3)” zone requirements under By-law 1767, as amended, as they relate to a proposed two-storey detached dwelling. The variances requested are to permit:

- a) **By-law 100-90, Section 1.2(i):**  
a building height of 8.54 meters (22.01 feet), whereas the By-law permits a maximum flat roof building height of 8.0 meters (26.24 feet);
- b) **By-law 100-90, Section 1.2(iii):**  
a maximum building depth of 21.36 metres (70.07 feet), whereas the By-law permits a maximum building depth of 16.8 metres (55.12 feet);
- c) **By-law 1767, Section 9(i):**  
a south side yard roof encroachment of 98 inches (2.48 metres), whereas the By-law permits a maximum encroachment of no more than 18 inches (0.45 metres) into the required side yard setback;
- d) **By-law 1767, Section 12 (iv)(a):**  
a minimum front yard setback of 33.4 feet (10.18 metres), whereas the By-law requires that the front yard setback of a dwelling to be erected between two existing dwellings shall comply with the corresponding yards of the two existing dwellings being 42.7 feet (13.01 metres);
- e) **By-law 1767, Section 18(ii)(b):**  
a lot coverage of 36.2 percent, whereas the By-law requires a maximum lot coverage of 33 1/3 percent; and
- f) **By-law 100-90, Section 1.2 (vi):**  
a floor area ratio of 49.4 percent, whereas the By-law permits a maximum floor area ratio of 47 percent.

## BACKGROUND

### Property Description

The 1,392.98 m<sup>2</sup> (14,993.91 ft<sup>2</sup>) subject property is located on the west side of Babcombe Drive, north of Steeles Avenue East and east of Bayview Avenue. There is an existing 205.27 m<sup>2</sup> (2,209.50 ft<sup>2</sup>) one-storey detached dwelling on the subject property with mature vegetation located in the side and rear yards. The surrounding area is undergoing a transition with newer dwellings being developed as infill developments.

### Proposal

The applicant is proposing to construct a two-storey detached dwelling with an integral garage with an approximate gross floor area of 688.59 m<sup>2</sup> (7,412 ft<sup>2</sup>).

## **Official Plan and Zoning**

Official Plan 2014 (partially approved on November 24/17, and updated on April 9/18)

The Official Plan designates the subject property “Residential Low Rise”, which provides for low rise housing forms including single detached dwellings. Section 8.2.3.5 of the Official Plan outlines infill development criteria for the “Residential Low Rise” designation with respect to height, massing, and setbacks. These criteria are established to ensure that infill development is appropriate for the site and generally consistent with the zoning requirements for adjacent properties and properties along the same street, while accommodating a diversity of building styles. In considering applications for development approval in a “Residential Low Rise” area, which includes variances, development is required to meet the general intent of these development criteria. Regard shall also be had for the retention of existing trees and vegetation.

### Zoning By-Law 1767

The subject property is zoned “Third Density Special Residential– (SR3)” under By-law 1767, as amended, which permits one single detached dwelling per lot.

### Residential Infill Zoning By-law 100-90

The subject property is also subject to the Residential Infill Zoning By-law 100-90. The intent of this By-law is to ensure the built form of new residential construction will maintain the character of existing neighbourhoods. It specifies development standards for building depth, garage projection, garage width, net floor area ratio, height, yard setbacks and number of storeys. The proposed development does not comply with the infill By-law requirements with respect to building height, building depth, and floor area ratio.

## **Zoning Preliminary Review (ZPR) Undertaken**

The owner has completed a Zoning Preliminary Review (ZPR) on May 18, 2023 to confirm the variances required for the proposed development.

## **COMMENTS**

The Planning Act states that four tests must be met in order for a variance to be granted by the Committee of Adjustment:

- a) The variance must be minor in nature;
- b) The variance must be desirable, in the opinion of the Committee of Adjustment, for the appropriate development or use of land, building or structure;
- c) The general intent and purpose of the Zoning By-law must be maintained;
- d) The general intent and purpose of the Official Plan must be maintained.

### Increases Maximum Floor Area Ratio Variance

The applicant is requesting relief to permit a floor area ratio of 49.4 percent, whereas a maximum floor area ratio of 47 percent is permitted. The variance will facilitate the construction of a two-storey detached dwelling with a floor area of 688.59 m<sup>2</sup> (7,412 ft<sup>2</sup>), whereas the By-law a maximum floor area of 654.96 m<sup>2</sup> (7,050 ft<sup>2</sup>) is permitted. This represents an increase of approximately 33.63 m<sup>2</sup> (361.99 ft<sup>2</sup>).

Floor Area Ratio is a measure of the interior square footage of the dwelling as a percentage of the net lot area however; it is not a definitive measure of the mass of the



dwelling, since it does not include “open to below” areas that may exist within the dwelling (e.g. two-storey foyers, atriums and/or stairs).

The proposed increase in floor area represents a relatively minor deviation from the By-law requirement and is in keeping with the intended scale of residential infill developments for this neighbourhood. Staff are satisfied that the requested floor area ratio will not result in an overdevelopment of the site, and are of the opinion that the variance is generally consistent with what the By-law permits.

#### **Increased Maximum Lot Coverage Variance**

The applicant is requesting relief for a maximum lot coverage of 36.2 percent, whereas a maximum floor area ratio of 33 1/3 percent is permitted. The proposed lot coverage includes the accessory building in the rear which adds approximately 36.77 m<sup>2</sup> (395.78 ft<sup>2</sup>) to the overall building area. Excluding the accessory building, the detached dwelling a lot coverage of 32.84 percent and would comply with the by-law requirement. Given that the main dwelling is below the by-law requirement, staff are of the opinion that the proposed increase in lot coverage will not significantly add to the scale and massing of the dwelling and the resultant dwelling is generally consistent with what the by-law permits.

#### **Increased Maximum Building Depth Variance**

The applicant is requesting relief to permit a maximum building depth of 21.36 m (70.07 ft.), whereas a maximum building depth of 16.8 m (55.11 ft.) is permitted. This represents an increase of approximately 4.56 m (14.96 ft.).

Building depth is measured based on the shortest distance between two lines, both parallel to the front lot line, one passing through the point on the dwelling which is the nearest and the other through the point on the dwelling which is the farthest from the front lot line. This variance is being requested to facilitate a building footprint that is irregular in shape. Staff note that approximately 0.76 m (2.49 ft.) of the proposed increased depth is attributed to the front covered porch and 2.3 m (7.54 ft.) for the projection of the rear covered deck. The main component of the building, excluding the aforementioned projections has a depth of 18.3 m (60.03 ft.). As adequate amenity space is being provided in the rear yard, staff are of the opinion that the variance meets the general intent and purpose of the Zoning By-law.

#### **Increase in Maximum Building Height**

The applicant is requesting relief to permit a maximum building height of 8.54 m (28.01 ft.), whereas a maximum building height of 8.0 m (26.24 ft.) for a flat roof is permitted. This represents an increase of 0.54 m (1.77 ft.).

The By-law calculates building height using the vertical distance of building or structure measured between the level of the crown of the street and highest point of the roof surface. It should be noted that the proposed grade of the front of the house is approximately 0.4 m (1.31ft) above the crown of road. Staff considers the proposed increase in height to be consistent and compatible with existing infill development along Balcombe Drive. Staff further note the existing trees on the property will provide screening to mitigate any visual impacts to the streetscape or neighbouring properties.

Consequently, staff are of the opinion the proposed building height will not adversely impact the character of the neighbourhood and is appropriate for the subject property.

### **Reduced Front Yard Setback Variance**

The applicant is requesting relief from the Zoning By-law to permit a minimum front yard setback of 33.4 ft. (10.18 m), whereas the By-law requires that the front yard setback of a dwelling to be erected between two existing dwellings shall comply with the corresponding yards of the two existing dwellings being 42.7 feet (13.01 m). Given that the main front wall of the building is generally consistent with the established front yard setback pattern on the street or rear yard setback pattern, staff have does not anticipate any adverse impacts as a result of the requested variance and therefore have no concerns.

### **Increased Maximum Eaves Encroachment Variance**

The applicant is requesting a maximum eaves encroachment of 98 in (2.48 m) into the south side yard, whereas a maximum eaves encroachment of no more than 18 in (0.45 m) is permitted. This represents an increase of 79.92 in (2.03 m). Staff are of the opinion that since the requested variance maintains the permitted side yard setback, it will not add to the overall massing of the building. Staff are of the opinion that the requested variance is appropriate for the development of the site.

### **Metrolinx Requirements**

The subject property is located within 300 m of Metrolinx's Bala Subdivision which carries Metrolinx's Stouffville GO Train service. Metrolinx provided comments on this application on June 23, 2022 (Appendix "C"), requiring that an environmental easement is provided in accordance with Section 3.9 of the Federation of Canadian Municipalities and Railway Associate of Canada's Guidelines for New Development in Proximity to Railway Operations. The environmental easement provides clear notification to those who may acquire an interest in the subject property and reduces the potential for future land use conflicts. The environmental easement shall be registered on title of the subject property.

Staff recommend that the proposed development is subject to the associated condition of approval provided in Appendix "A".

### **PUBLIC INPUT SUMMARY**

No written submissions were received as of August 14, 2023. It is noted that additional information may be received after the writing of the report, and the Secretary-Treasurer will provide information on this at the meeting.

### **CONCLUSION**

Planning Staff have reviewed the application with respect to Section 45(1) of The *Planning Act*, R.S.O. 1990, c. P.13, as amended, and are of the opinion that the variance request meets the four tests of the *Planning Act* and have no objection. Staff recommend that the Committee consider public input in reaching a decision.

The onus is ultimately on the applicant to demonstrate why they should be granted relief from the requirements of the zoning by-law, and how they satisfy the tests of the Planning Act required for the granting of minor variances.

Please refer to Appendix "A" for conditions to be attached to any approval of this application.

PREPARED BY:



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Brashanthe Manoharan, Planner II, East District

REVIEWED BY:



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Rick Cefaratti, MCIP, RPP Senior Planner II, West District

**APPENDIX “A”**

**CONDITIONS TO BE ATTACHED TO ANY APPROVAL OF FILE A/114/22**

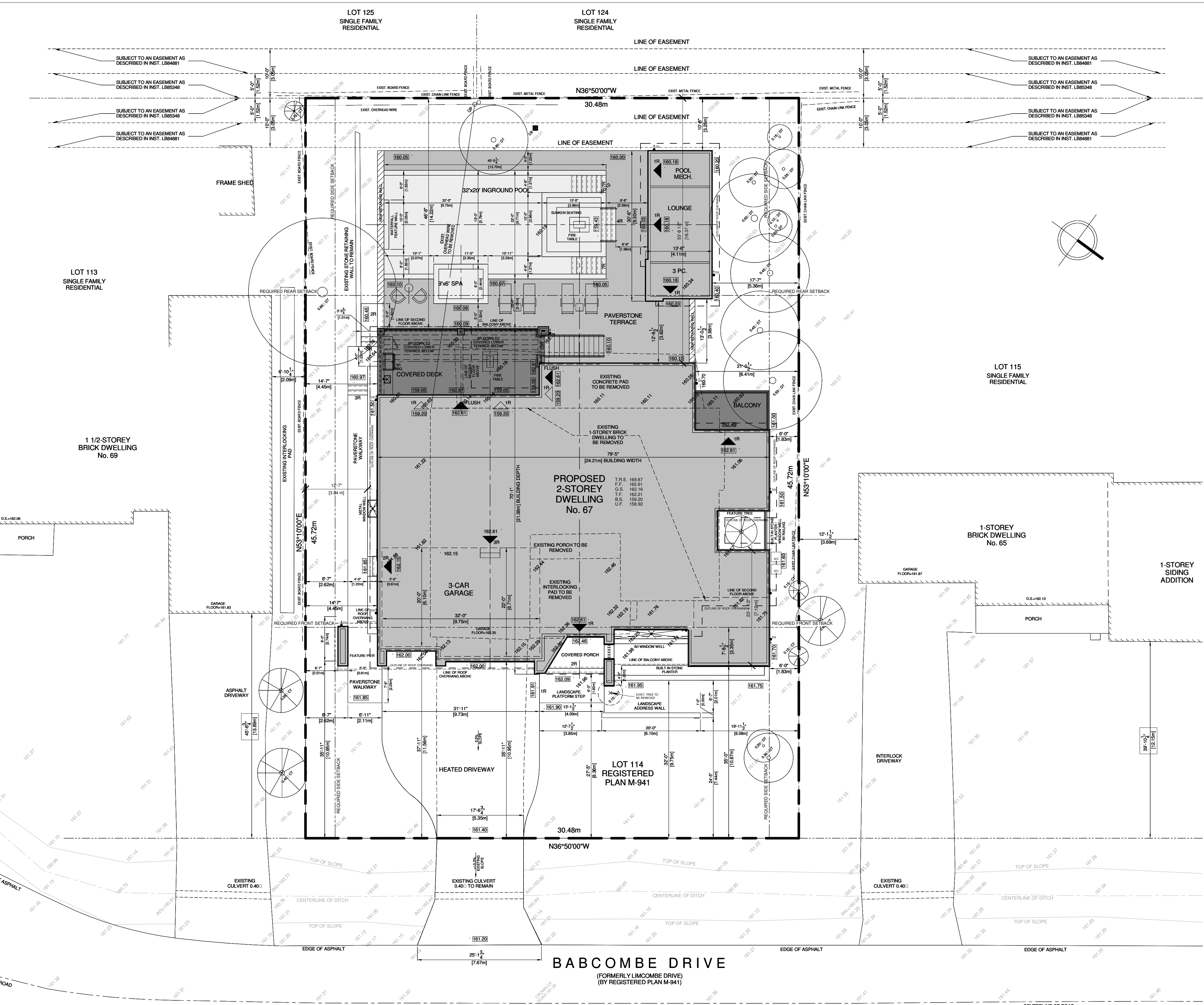
1. The variances apply only to the proposed development for as long as it remains.
2. That the variances apply only to the proposed development, in substantial conformity with the plans attached as Appendix “B” to this Staff Report, and that the Secretary-Treasurer receive written confirmation from the Director of Planning and Urban Design or designate that this condition has been fulfilled to his or her satisfaction.
3. That the Owner satisfies the requirements of Metrolinx, financial or otherwise, as indicated in their letter to the Secretary-Treasurer, attached as Appendix “C” to this Staff Report, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of Metrolinx.
4. Submission of a Tree Assessment and Preservation Plan, prepared by a qualified arborist in accordance with the City’s Streetscape Manual (2009), as amended, to be reviewed and approved by the Director of Planning and Urban Design, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
5. That tree replacements be provided and/or tree replacement fees be paid to the Director of Planning and Urban Design, or their designate, if required, in accordance with the Tree Assessment and Preservation Plan, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.
6. That prior to the commencement of construction or demolition, tree protection be erected and maintained around all trees on site, including street trees, in accordance with the City’s Streetscape Manual (2009), as amended, and inspected by the Tree Preservation Technician, or their designate, and that the Secretary-Treasurer receive written confirmation that this condition has been fulfilled to the satisfaction of the Director of Planning and Urban Design, or their designate.

CONDITIONS PREPARED BY:



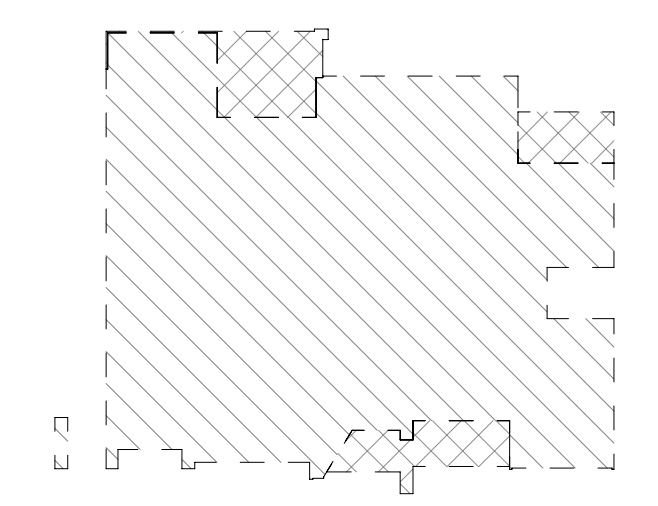
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Brashanthe Manoharan, Planner II, East District

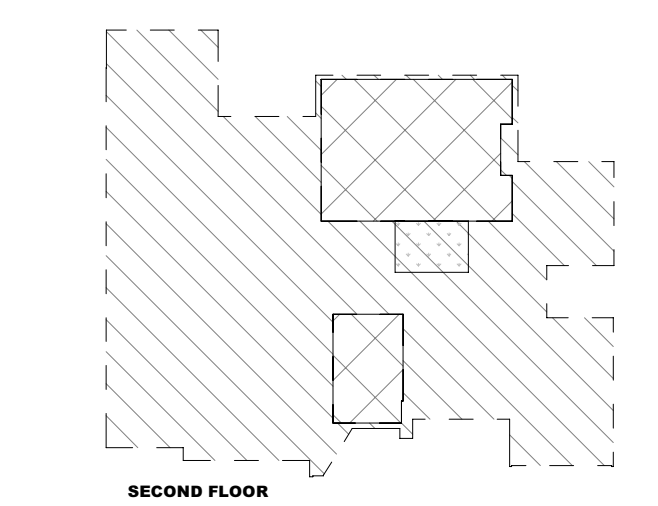


1 SITE PLAN  
 3/32" = 1'-0"

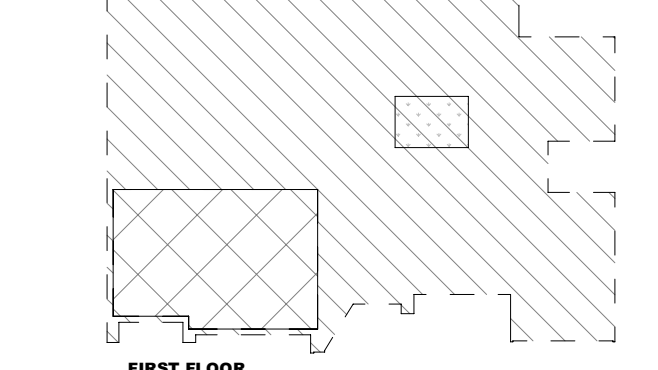
INFORMATION TAKEN FROM:  
 SURVEYOR'S REAL PROPERTY REPORT  
 PLAN OF SURVEY  
 LOT 114  
 REGISTERED PLAN M-941  
 CITY OF MARKHAM, REGIONAL  
 MUNICIPALITY OF YORK  
 PREPARED BY: ALTIMAP LAND SURVEYORS INC.  
 DATED: SEPTEMBER 10, 2021



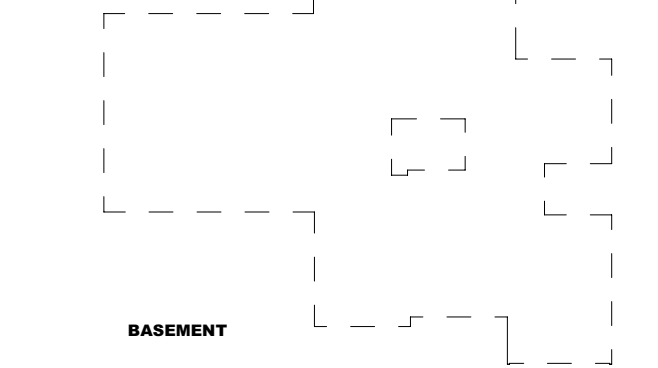
2 COVERAGE DIAGRAM  
 1" = 30'-0"



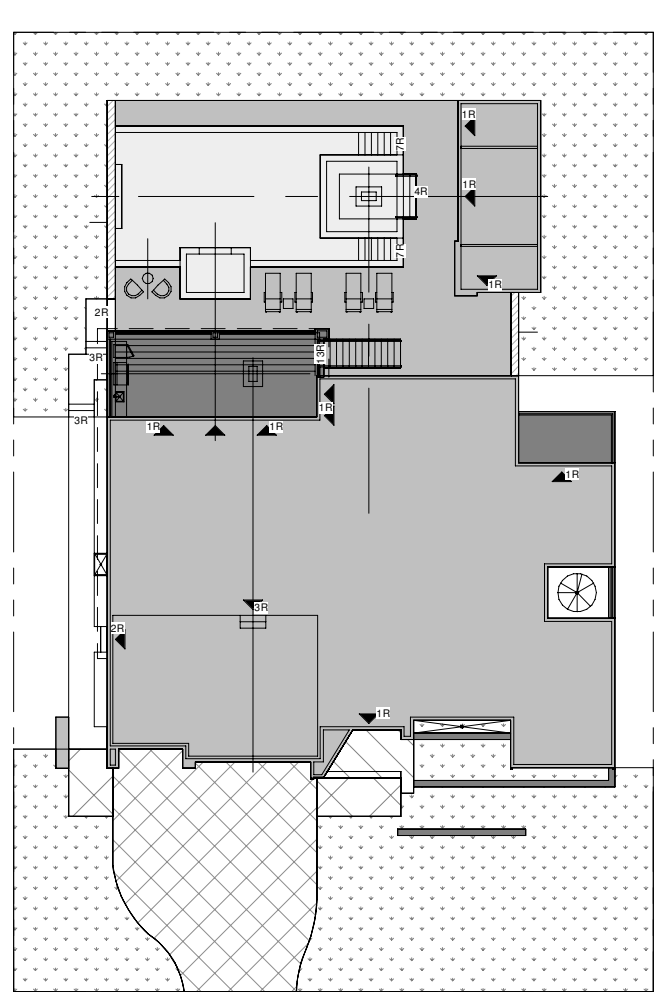
SECOND FLOOR



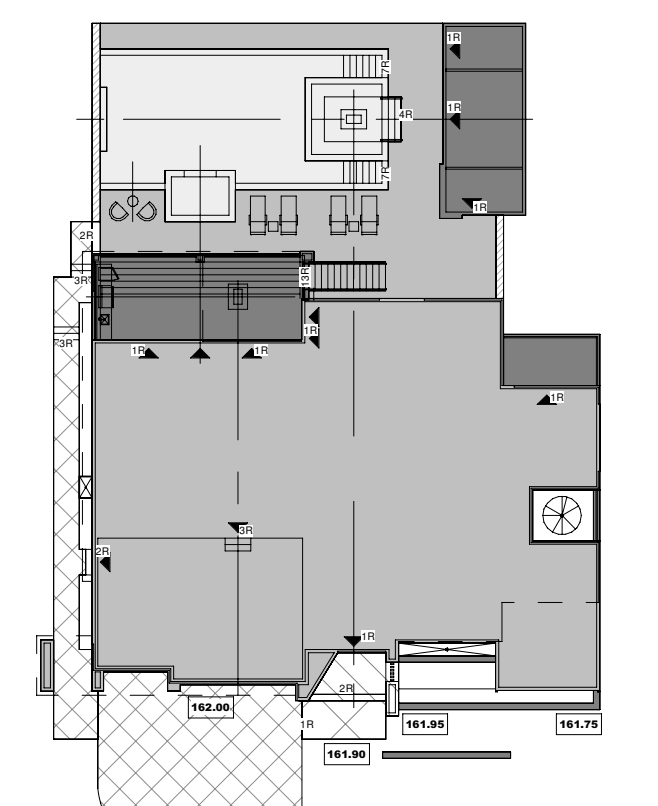
FIRST FLOOR



3 GFA DIAGRAM  
 1" = 30'-0"



4 LANDSCAPE DIAGRAM  
 1" = 30'-0"



5 AVERAGE GRADE DIAGRAM  
 1" = 30'-0"

PROJECT STATISTICS			
Address:	67 Babcombe Drive, Thornhill, ON		
Municipality:	York (Markham)		
Legal Lot Description:	Lot 114, Registered Plan M-941		
Date:	6-14-2023		
Zoning Designation:	SR3		
Lot Area:	15,000.00 sq. ft. 1,393.55 m <sup>2</sup> 0.14 ha		
Lot Frontage:	100.00 ft 30.48 m		
Lot Depth:	150.00 ft 45.72 m		
GROSS FLOOR AREA (GFA)			
Max FSI	47.00%		
Max GFA	49.53%		
First Floor	3,379.86 sq. ft. 314.01 m <sup>2</sup>		
Second Floor	3,279.66 sq. ft. 304.69 m <sup>2</sup>		
GFA Sub-Total	6,659.52 sq. ft. 618.70 m <sup>2</sup>		
Attached Garage	769.93 sq. ft. 71.53 m <sup>2</sup>		
GFA Total	7,429.45 sq. ft. 690.23 m <sup>2</sup>		
LOT COVERAGE			
House Footprint +	4,394.14 sq. ft. 406.23 m <sup>2</sup>		
Front Porch	78.57 sq. ft. 7.30 m <sup>2</sup>		
Rear Covered Deck	224.17 sq. ft. 20.83 m <sup>2</sup>		
Front Balcony	108.40 sq. ft. 10.07 m <sup>2</sup>		
Rear Balcony	120.33 sq. ft. 11.18 m <sup>2</sup>		
Main Building Coverage Subtotal	4,925.61 sq. ft. 457.60 m <sup>2</sup>		
Accessory Structure Coverage Subtotal	395.79 sq. ft. 36.77 m <sup>2</sup>		
Total Coverage	5,321.40 sq. ft. 494.37 m <sup>2</sup>		
Total Coverage	33.30%		
BUILDING DEPTH			
Max Building Depth	16.80 m 70.08 ft 21.36 m		
ESTABLISHED GRADE CALCULATION			
Grade Point	Wall Length (m)	Product	
@ Front Garage Wall	162.00	10.31	1,670.22
@ Front Porch	161.00	4.31	697.79
@ Front Porch Left Side	161.95	4.79	775.74
@ Front Porch Right Side	161.75	4.79	774.78
Total	647.60	24.20	3,918.53
Total Product / Total Wall Length		Est. Grade	161.92
BUILDING HEIGHT			
Height From Established Grade	Permitted	Proposed	
Max Top of Pitch Roof	N/A ft	N/A m	
Max Top of Parapet	26.08 ft	7.95 m	
Max Top of Flat Roof	26.25 ft	8.00 m	
Height From Crown of Road	Permitted	Proposed	
Max Top of Pitch Roof	9.80 m	N/A ft	
Max Top of Parapet	8.00 m	28.02 ft 8.54 m	
Max Top of Flat Roof	8.00 m	28.18 ft 8.59 m	
Max Sidings	2	2	
FRONT YARD SETBACK CALCULATION			
Left Side	Right Side	Permitted	
13.90 m	12.15 m	13.02 m	
45.57 ft	39.86 ft	42.72 ft	
SETBACKS			
Min Front (North-East)	13.92 m	35.00 ft 10.67 m	
Min Left (South-East)	1.83 m	6.00 ft 1.83 m	
Min Right (North-West)	1.83 m	6.00 ft 1.83 m	
Min Rear (South-West)	12.19 m	46.66 ft 14.22 m	
Combined Side Yard	6.10 m	20.00 ft 6.28 m	
Deck (0.6-m high) Side	0.60 m	0.00 ft 0.00 m	
Deck (0.6-m high) Rear	3.00 m	0.00 ft 0.00 m	
Deck (>1m high) Side	1.83 m	6.00 ft 1.83 m	
Deck (>1m high) Rear	3.00 m	46.66 ft 14.22 m	
Under 3.0m projection from point on dwelling closest to rear lot line			
FRONT YARD LANDSCAPING			
Permitted	Proposed		
Total Front Yard Area	3,535.42 sq. ft. 328.45 m <sup>2</sup>		
Walkway	78.57 sq. ft. 7.30 m <sup>2</sup>		
Steps	11.79 sq. ft. 1.10 m <sup>2</sup>		
Less Driveway	1,033.74 sq. ft. 96.04 m <sup>2</sup>		
Less Feature Arch	6.00 sq. ft. 0.56 m <sup>2</sup>		
Total Front Yard Landscaping Area	2,405.92 sq. ft. 68.93 m <sup>2</sup>		
Less Hardscaping			
Walkway	148.54 sq. ft. 13.80 m <sup>2</sup>		
Planting Wall	20.00 sq. ft. 1.86 m <sup>2</sup>		
Total Front Yard Softscaping Area	89.38 m <sup>2</sup> 2,385.92 sq. ft. 221.60 m <sup>2</sup>		
Total Front Yard Softscaping Area	40.00%		
Soft landscaping percent = soft landscaping area / front yard area			
GARAGE & DRIVEWAY			
Permitted	Proposed		
Garage Entry Width	N/A m	3.00 ft 9.14 m	
Garage Projection	2.10 m	0.00 ft 0.00 m	
Max Driveway Width	10.23 m	31.92 ft 9.73 m	
ENCROACHMENTS			
Permitted	Proposed		
Eaves	0.46 m	0.75 ft 0.23 m	
Chimney	0.46 m	0.00 ft 0.00 m	
Architectural Feature	0.46 m	4.00 ft 1.22 m	
Covered Platform	0.46 m	0.60 ft 0.18 m	
ACCESSORY STRUCTURES			
Permitted	Proposed		
Max Coverage	395.79 sq. ft. 36.77 m <sup>2</sup>		
Max Height	TBC m	11.00 ft 36.09 m	
Min Side Setback	TBC m	17.50 ft 5.36 m	
Min Rear Setback	TBC m	10.67 ft 3.25 m	

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked "for construction" must assume full responsibility and bear costs for any corrections or damages resulting from this work.

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1. Issued for: \_\_\_\_\_ Date: \_\_\_\_\_

2. \_\_\_\_\_

**contempostudio**  
 1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI *Signature* 45250 BCIN  
 NAME SIGNATURE

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

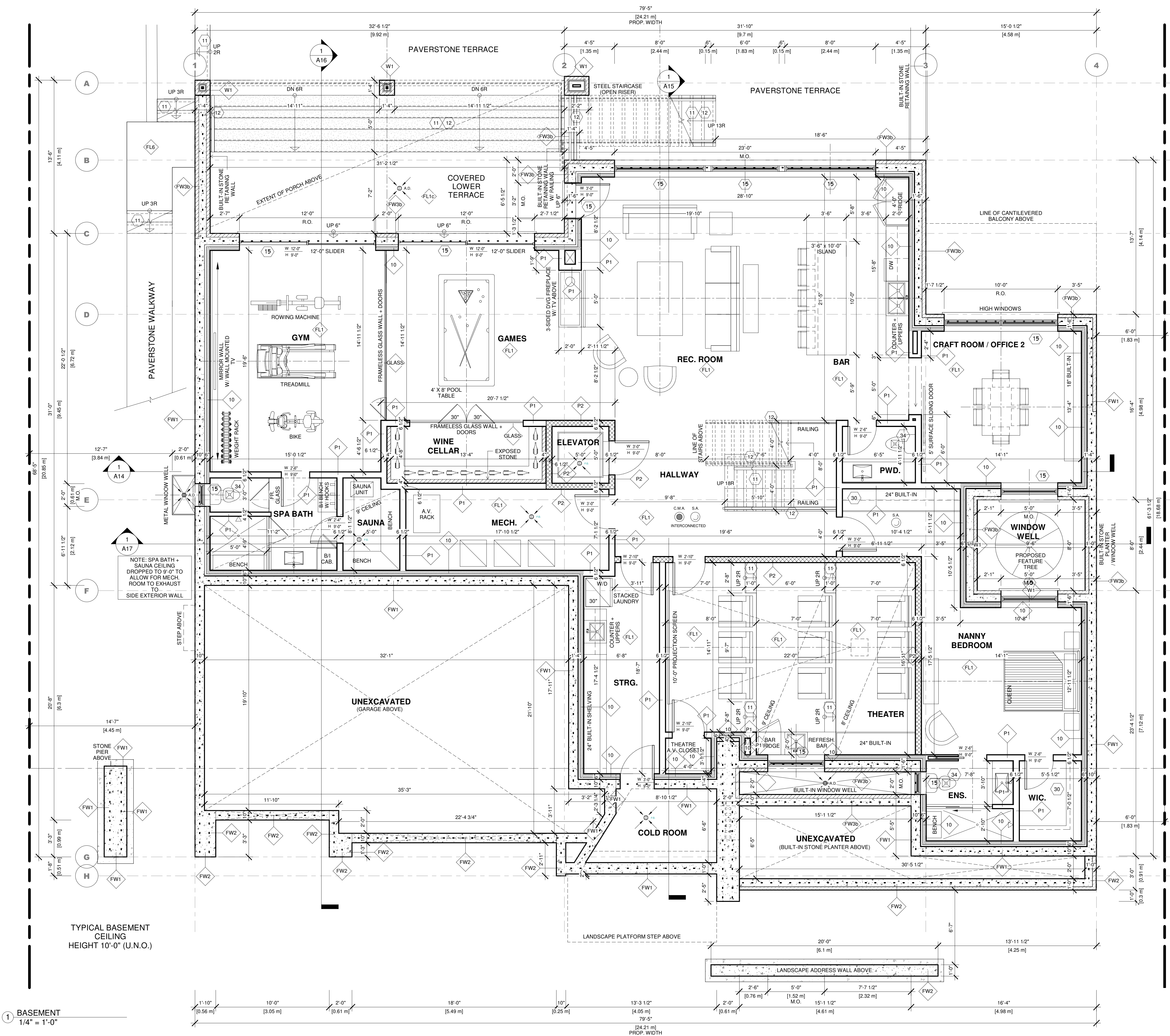
2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

SITE PLAN

Project number: 2022-41  
 Rev. no.: \_\_\_\_\_  
 Scale: As indicated  
 Date: 2023-06-14 4:55:33 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: \_\_\_\_\_

**A1**



Type Mark	Type	Description	Comments
10	Interior - (P8)	2" X 4" W.D. STUDS @ 16" O.C. SPRUCE #1 2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY COINT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R10 EPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD WALL TOTAL R-VALUE =+15.0 (CONTINUOUS)	
FW1	Foundation	250mm (10") REINFORCED POURED CONC. WALL 25 MPa (2080 PSI) STRENGTH IN 28 DAYS W/ 15MM(5/8") FIRM INSIDE FACE @ 16" O.C. (VERTICAL) + 15MM(5/8") @ 16" O.C. IF LONG 3" 15M COWELS ON 24" X 8" POURED CONC. FOOTING. W/ 15MM(5/8") FIRM INSULATION CONTINUOUS BARS 2" CONC. COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL. PROVIDE 2 COATS OF RUB-B WALL WATERPROOFING & INSTALL DRAINAGE LAYER WHEN INST. INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE. WATERPROOF THE EXTERIOR FACE OF WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.1.3.1 OF THE O.B.C. OR DAMPROOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE W/ SECTION 9.1.3.2 OF THE O.B.C. & PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO 8.1.2.2 OF THE O.B.C. SEAL JOINTS BETWEEN WALL & HOLES W/ CEMENT MORTAR TO CREATE SMOOTH FINISH. DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR WALL RELATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE. PROVIDE 15MM (5/8") POLYURETHANE VAPOUR BARRIER CONFORMING TO SUBSECTION 9.2.5.4 OF THE O.B.C. TO EXTEND FROM THE USE OF THE O.B.C. TO THE EXTERIOR FACE OF THE WALL. MOISTURE BARRIER CONFORMING TO SUBSECTION 9.2.5.3 OF THE O.B.C. BETWEEN STUD WALLS & JOINTS. PROVIDE FOUNDATION WALL & WOOD FRAMING. PROVIDE CONTINUOUS 2 X 6 SILL PLATE FASTENED W/ 12" DIA. 1" LONG ANCHOR BOLTS TO THE TIE IN 18" O.C. SET MIN. 6" INTO CONCRETE. SILL PLATE TO BE ON A FLEXIBLE SILL GASKET.	
FW2	Foundation	2" X 4" W.D. STUDS @ 16" O.C. SPRUCE #1 2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY COINT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R10 EPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD WALL TOTAL R-VALUE =+15.0 (CONTINUOUS)	
FW3b	Foundation	UNCONFINED FOUNDATION WALL AS PER ENG.	
P1	Partition	12mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES 3849mm (2'4") @ 400mm (16") O.C. NON LOAD BEARING. PROVIDE 15MM (5/8") POLYURETHANE VAPOUR BARRIER CONFORMING TO SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. ON WARM SIDE OF INST. ALL JOINTS OF GYP. WALL BOARD TO BE TAPED & SEALED AS TIGHT NOTE: APPLY FIRECALCULATING AT ALL JOINTS AND GAPS AT FLOOR & CEILING TO PREVENT OBVIOUS GAS ENTERING LIVING AREA GAS PROOF AS PER OBC 3.3.6.6. SEE NOTE TO	
P2	Partition	3849mm (2'4") @ 400mm (16") O.C. OR 3840 (2'4") @ 400mm (16") O.C. USE 1/2" ANCHOR BOLTS EMBEDDED MIN. 127mm (5") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") INT. CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. ON UNDISTURBED SOIL. 127mm (5") INT. GYPSUM WALLBOARD ON BOTH SIDES. 3849mm (2'4") BOTTOM PLATE. 3849mm (2'4") TOP PLATE. PROVIDE 38x140mm (2" X 6") STUDS PLATES WHERE NOTED & ANCHOR STUDS TO CONCRETE TO ALLOW FOR WOOD STUDS TO BEAR ON CONC.	
P4	Partition	127mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING BETWEEN HOUSE & GARAGE. RSI 4.23 (R24) INS. IN 38x140mm (2" X 6") WALLS. RSI 4.45 (R25) INS. IN 38x140mm (2" X 6") WALLS. CONFORMING TO CANOCS8-51.34.4. SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. ON WARM SIDE OF INST. ALL JOINTS OF GYP. WALL BOARD TO BE TAPED & SEALED AS TIGHT NOTE: APPLY FIRECALCULATING AT ALL JOINTS AND GAPS AT FLOOR & CEILING TO PREVENT OBVIOUS GAS ENTERING LIVING AREA GAS PROOF AS PER OBC 3.3.6.6. SEE NOTE TO	
W1	Window	MIN. 25mm (1") AIR SPACE. 254x1762.76mm (10" X 69") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL & 800mm (31") O.C. VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING. 17mm (5/8") BUILDING PAPER (AIR BARRIER) OR BLESKIN VP 100 TO OVERLAP @ JOINTS. 127mm (1/2") EXTERIOR GRADE PLYWOOD SHEATHING. 38x140mm (2" X 6") WOOD STUDS @ 400mm (16") O.C. MINERAL WOOL INSULATION. RSI 3.97 (R22) COMPLIANCE PACKAGE A1 INSULATION 6 mm POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER (WARM SIDE). 15mm (5/8") INTERIOR GYP. WALLBOARD FINISH. PROVIDE 15mm (5/8") WEEP HOLES MAX. 800mm (32") O.C. IN STARTER COURSE. PROVIDE BASE FLASHING UP MIN. 150mm (6") OR BLESKIN VP 100 BENDING BUILDING PAPER. PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILLS.	
W3	Window	2" X 4" WOOD OR CONCRETE COMPOSITE RANSHEEN CLADDING 2 SYSTEM CONTINUOUS AIR BARRIER. 15.5mm (5/8") EXTERIOR GRADE PLYWOOD SHEATHING OR 1/2" (12") DENSGLASS GOLD GYPSUM BOARD. 38x140mm (2" X 6") WOOD STUDS @ 400mm (16") O.C. RSI 3.97 (R22) MINERAL WOOL INSULATION (R12 IN 2" X 4" STUDS). 0.15mm (5/64") AIR VAPOUR BARRIER TO CONFORM TO CANOCS8-51.34.4 & SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. 127mm (1/2") INTERIOR GYP. WALL BOARD FINISH.	
W4	Window	ALUMINUM SIDING AS PER PLANS INSTALLED OVER 1/2" OR 1/2" WOOD @ 16" O.C. & 1/2" WOOD VERTICAL FURRING STRIPS W/ GALVANIZED OR STAINLESS STEEL NAILS PENETRATION 38mm (1 1/2") APPROX INTO WALL STUDS. 1" RS MIN. XPS RIGID INSULATION W/ TAPED JOINTS. INSTALLED OVER 1/2" (12") EXTERIOR GRADE PLYWOOD SHEATHING OR 1/2" (12") DENSGLASS GOLD GYPSUM BOARD. RSI 3.97 (R22) INSULATION OR R19 MIN. FOR ADDITIONS ONLY 0.15mm (5/64") AIR VAPOUR BARRIER TO CONFORM TO CANOCS8-51.34.4 & SUBSECTION 9.2.5.3 & 9.2.5.4 OF THE O.B.C. 127mm (1/2") INTERIOR GYP. WALL BOARD FINISH UNLESS SPECIFIED OTHERWISE. PROVIDE 15mm (5/8") WEEP HOLES MAX. 800mm (32") O.C. IN STARTER COURSE. PROVIDE BASE FLASHING UP MIN. 150mm (6") OR BLESKIN VP 100 BENDING BUILDING PAPER. PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILLS.	
W5	Window	MIN. 25mm (1") AIR SPACE. 254x1762.76mm (10" X 69") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL & 800mm (31") O.C. VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING. 17mm (5/8") BUILDING PAPER (AIR BARRIER) OR BLESKIN VP 100 TO OVERLAP @ JOINTS. 127mm (1/2") EXTERIOR GRADE PLYWOOD SHEATHING. 38x140mm (2" X 6") WOOD STUDS @ 400mm (16") O.C. MINERAL WOOL INSULATION. RSI 3.97 (R22) COMPLIANCE PACKAGE A1 INSULATION 6 mm POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER (WARM SIDE). 15mm (5/8") INTERIOR GYP. WALLBOARD FINISH. PROVIDE 15mm (5/8") WEEP HOLES MAX. 800mm (32") O.C. IN STARTER COURSE. PROVIDE BASE FLASHING UP MIN. 150mm (6") OR BLESKIN VP 100 BENDING BUILDING PAPER. PROVIDE BRICK OR STONE SILLS UNDER ALL OPENINGS & FLASH UNDER SILLS.	
FL1	Floor	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB AS PER STRUCTURAL. SEE NOTE FL1 W/ RADIANT FLOOR WARMING TUBE (AS PER MECHANICAL). FINISH: W/ 8 X 8 W/ 1.1" FROM TOP OF SLAB PROVIDE 2" (50mm) R10 PERIMETER RIGID INSULATION UNDER SLAB AT ALL AREAS OF IN-LOOR HEATING. PROVIDE 8 X 8 VAPOUR BARRIER (ON WARM SIDE) ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR CRUSHED STONE PER GEOTECH REPORT. PROVIDE GEOTECH TERRAZX 2700 OR EQUIVALENT UNDISTURBED SOIL. LOCATE AND COORDINATE FLOOR DRAINS WITH PLUMBING. SLOPE TO DRAINS AS REQUIRED TRADE.	
FL1c	Floor	6" (150 mm) 25MPa (3500psi) CONC. SLAB ON 4" (100) COARSE GRANULAR FILL. 5.8% AIR ENTRAINMENT REIN. W/ 6 X 6 @ 6" OR 25MPa (3500psi) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 15MM (5/8") POLYURETHANE VAPOUR BARRIER ON WARM SIDE. EDGE @ 13.1 WHERE A BASEMENT SLAB IS WITHIN 24" (610) OF THE EXTERIOR GRADE. PROVIDE RIGID INS. AROUND THE PERIMETER EXTENDING MIN. 24" (610) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS 2" R10 EPS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (88-12)	
FL2	Floor	6" CONCRETE SLAB (MINIMUM) REIN. W/ 6 X 6 @ 6" W/ 1.1" FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.8% AIR ENTRAINMENT 1.1M VAPOUR BARRIER ON WARM SIDE. ON MIN. 8" (200mm) 3/4" DIA. CLEAR STONE STONE COMPACTED TO 98% P.C.P. O. SLOPE CONC. MINIMUM 1% TO GARAGE DOORS. IF HEATED 1/2" (38mm) MAXIMUM DENSITOPPING W/ RADIANT HEATING PER DRAWINGS. PROVIDE 2" (50mm) R10 RIGID INSULATION W/ TAPED JOINTS UNDER SLAB & POLY.	
FL3	Floor	FLOOR FINISH AS SPECIFIED ON FLOOR PLANS 1 & 2. PLYWOOD PER STRUCTURAL NOTES. FLOOR JOISTS AS SPECIFIED 12" CYPRESS WALL BOARD. CEILING TREATMENT UNLESS INDICATED OTHERWISE AS SHOWN IN CONSTRUCTION DOCUMENTS DOUBLE JOISTS. UNDERSIDE PARTITION WALLS PARALLEL TO JOISTS. NOTE: FOR AREAS WITH THE ABOVE FLOOR JOISTS SPACING 12" O.C. TYP.	
FL6	Floor	1/2" FLASSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER. 6" CONCRETE SLAB ON GRADE CW MN. 2% SLOPE AWAY FROM ON 1/2" OF 3/4" DIA. CLEAR CRUSHED STONE ON GRADE. NOTE: TOP OF ALL FINISH FLOORS TO BE FIN. REPLACE WALL FINISH W/ CONC. BOARD AND SCLUTER KERD. WATERPROOFING SYSTEM.	

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This drawing is not to be scaled.

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No. 1, 2. Issued for: Date

**contempostudio**  
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 info@contempostudio.ca w.contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

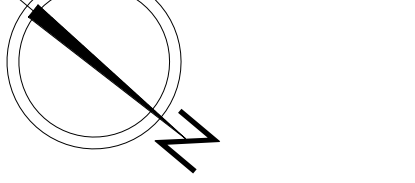
QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPOSTUDIO 46972  
 FIRM NAME BCIN

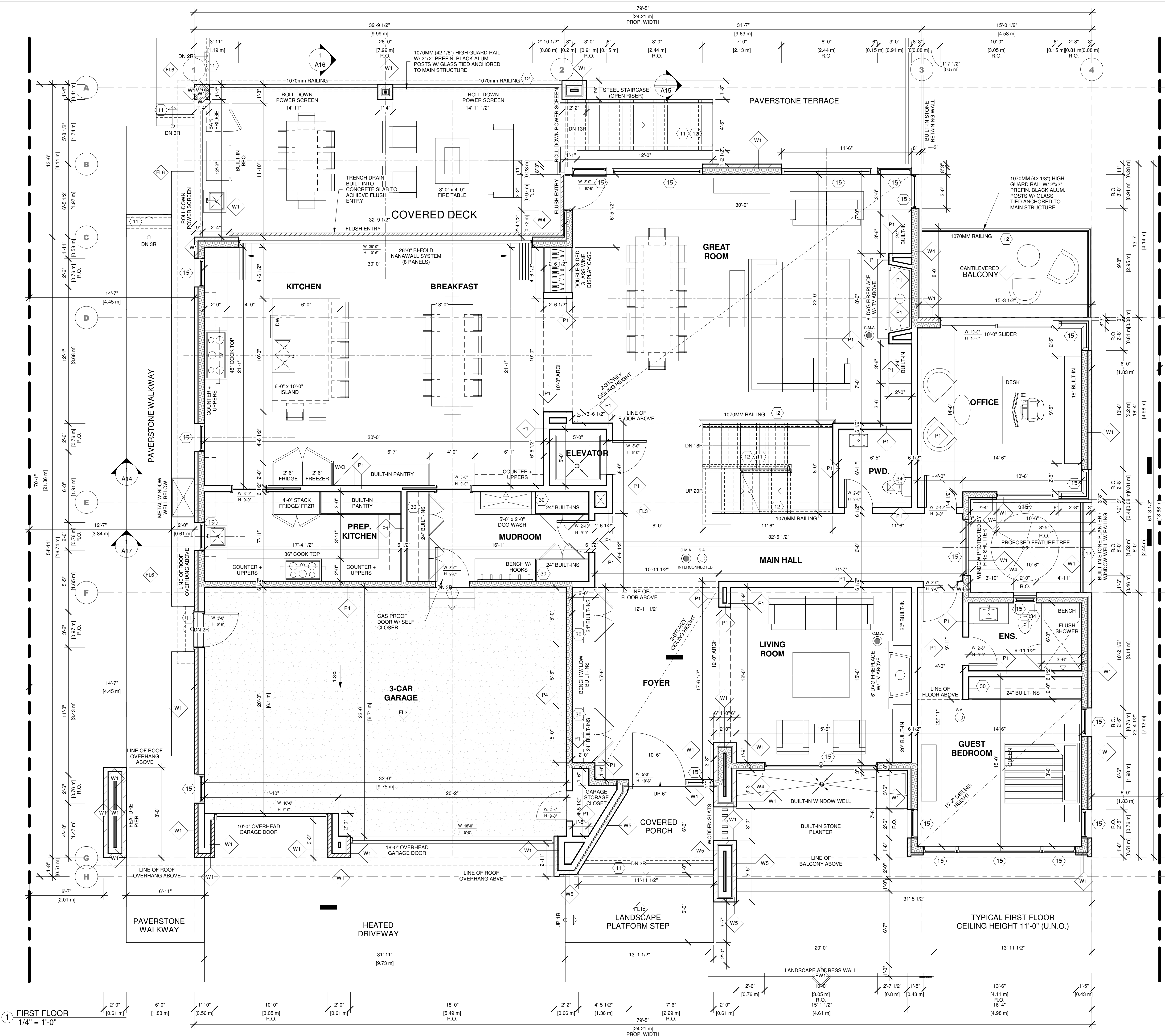
2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON  
 BASEMENT PLAN



Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: 2022-06-14 4:55:39 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A2**

1/4" = 1'-0"



Type Mark	Type	Description	Comments
10	Interior - (P8) 2"x4" Wood Stud	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (S.M.I. POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE =11.0 (CONTINUOUS)	
FW1	Foundation	250mm (10") REINFORCED POURED CONC. WALL 25 MPa. 250mm (10") PSI STRENGTH 28 DAYS W/ 15MM (5/8") FIRM CONCRETE COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL. 18" LONG 3/4" DIA. DOWELS ON 24" O.C. POURED CONC. FOOTING. W/ 1% MIN. CONTRACTURE BARS 2" CONC. COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL. APPLY 2 COATS OF RUB-B WALL WATERPROOFING & INSTALL DRAINAGE LAYER WHEN BEST INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE.	
FW2	Foundation	4" BRICK W/ 6" POURED CONC. BACK-UP TIED TOGETHER W/ 3/8" DIA. 4' TIE BARS @ 16" O.C. EACH WAY. FILL VOID BETWEEN BRICK & BRICK SOLID W/ 20 MPa. CONCRETE GROUT.	
GLASS	Curtain Wall	3849mm (2'4") @ 400mm (16") O.C. FOR LOAD BEARING WALLS. 3849mm (2'4") @ 600mm (24") O.C. NON LOAD BEARING.	
P1	Interior - (P2) 2"x4" Wood Stud	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (S.M.I. POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE =11.0 (CONTINUOUS)	
P2	Interior - (P2) 2"x4" Wood Stud	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (S.M.I. POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE =11.0 (CONTINUOUS)	
P4	Interior - (P4) 2"x4" Wood Stud	2" x 4" W.D. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN CAVITY. (S.M.I. POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R19 RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE =11.0 (CONTINUOUS)	
W1	Window	12" MIN. (12") GYPSUM WALLBOARD ON WALLS & CEILING. BETWEEN HOUSE & GARAGE. RSI 4.23 (R26) INS. N 38x140mm (2"x4") WALLS. 1.0mm (0.004") AIR VAPOUR BARRIER CONFORMING TO CAN/COSHS 3.4 & SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INST. ALL JOINTS OF GYP. WALL BOARD TO BE TAPED & SEALED GAS TIGHT. NOTE: APPLY FIRECALKING AT ALL JOINTS AND GAPS AT FLOOR & CEILING TO PREVENT OBVIOUS GAS ENTERING LIVING AREA GAS PROOFED AS PER OBC 3.3.6. SEE NOTE TO 148.	
W3	Window	12" MIN. (12") GYPSUM WALLBOARD ON WALLS & CEILING. BETWEEN HOUSE & GARAGE. RSI 4.23 (R26) INS. N 38x140mm (2"x4") WALLS. 1.0mm (0.004") AIR VAPOUR BARRIER CONFORMING TO CAN/COSHS 3.4 & SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INST. ALL JOINTS OF GYP. WALL BOARD TO BE TAPED & SEALED GAS TIGHT. NOTE: APPLY FIRECALKING AT ALL JOINTS AND GAPS AT FLOOR & CEILING TO PREVENT OBVIOUS GAS ENTERING LIVING AREA GAS PROOFED AS PER OBC 3.3.6. SEE NOTE TO 148.	
W4	Window	12" MIN. (12") GYPSUM WALLBOARD ON WALLS & CEILING. BETWEEN HOUSE & GARAGE. RSI 4.23 (R26) INS. N 38x140mm (2"x4") WALLS. 1.0mm (0.004") AIR VAPOUR BARRIER CONFORMING TO CAN/COSHS 3.4 & SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INST. ALL JOINTS OF GYP. WALL BOARD TO BE TAPED & SEALED GAS TIGHT. NOTE: APPLY FIRECALKING AT ALL JOINTS AND GAPS AT FLOOR & CEILING TO PREVENT OBVIOUS GAS ENTERING LIVING AREA GAS PROOFED AS PER OBC 3.3.6. SEE NOTE TO 148.	
W5	Window	12" MIN. (12") GYPSUM WALLBOARD ON WALLS & CEILING. BETWEEN HOUSE & GARAGE. RSI 4.23 (R26) INS. N 38x140mm (2"x4") WALLS. 1.0mm (0.004") AIR VAPOUR BARRIER CONFORMING TO CAN/COSHS 3.4 & SUBSECTION 9.25.3 & 9.25.4 OF THE O.B.C. ON WARM SIDE OF INST. ALL JOINTS OF GYP. WALL BOARD TO BE TAPED & SEALED GAS TIGHT. NOTE: APPLY FIRECALKING AT ALL JOINTS AND GAPS AT FLOOR & CEILING TO PREVENT OBVIOUS GAS ENTERING LIVING AREA GAS PROOFED AS PER OBC 3.3.6. SEE NOTE TO 148.	
Type Mark	Type	Description	Comments
FL1	Floor Slab on Grade	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB (AS PER STRUCTURAL). SEE NOTE FL1 W/ W/ BAYMENT FLOOR FINISH W/ 1/8" SAND. W/ 1/2" FROM TOP OF SLAB PROVIDE 2" (50mm) R19 PERIMETER RIGID INSULATION UNDER SLAB AT ALL AREAS OF IN-FLOOR HEATING. MIN. R19 & 1/2" VAPOR BARRIER (ON WARM SIDE ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR GRANULED STONE PER GEOTECH) OVER NON WOODEN GEOTECH TERRAZZO 270R OR EQUIVALENT UNDISTURBED SOIL. LOCATE AND COORDINATE FLOOR DRAINS WITH FINISHING. SLOPE TO DRAINS AS REQUIRED TRADE.	
FL2	Floor Slab on Grade	6" CONCRETE SLAB (MINIMUM REIN. W/ 6 X 6 @ 600MM 1/2" FROM TOP OF SLAB. 32 MPa (4800 PSI) MIN. CONCRETE. 5 MPa (720 PSI) MIN. VAPOR BARRIER (ON WARM SIDE). ON MIN. 8" (200mm) CONC. WITH DAMPROOFING BELOW SLAB. PROVIDE 1/2" (13mm) RIGID INSULATION (ON WARM SIDE) AT EDGE OF SLAB WHERE A BASEMENT SLAB IS WITHIN 24" (610mm) OF THE EXTERIOR GRADE. PROVIDE RIGID INS. AROUND THE PERIMETER EXTENDING MIN. 24" (610mm) BELOW GRADE. FOR SLAB ON GRADE CONDITIONS 2" R19 RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (S8-12)	
FL3	Floor Joist Assembly (11 7/8" Top)	12" CYPRESS WALL BOARD PER STRUCTURAL NOTES FLOOR JOISTS AS SPECIFIED CEILING TREATMENT UNLESS INDICATED OTHERWISE AS SHOWN IN CONSTRUCTION DOCUMENTS DOUBLE JOISTS UNDER PARTITION WALLS PARALLEL TO JOISTS. NOTE: FOR AREAS WITH THE ABOVE FLOOR JOISTS SPACING 12" O.C. TYP.	
FL6	Floor Slab on Grade	1/2" FLAGSTONE TOPPING. STYLE & COLOUR TO BE APPROVED BY OWNER. 4" CONCRETE SLAB ON GRADE CW MN. 2% SLOPE AWAY FROM HOUSE OR DRAINAGE. NOTE: TOP OF ALL FINISH FLOORS TO BE FINISH REPLACE WALL FINISH W/ CONC. BOARD AND SLOUTER KERD WATERPROOFING SYSTEM.	

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 1140 The Queensway, Toronto, Ontario M8Z 1P7  
 info@contempostudio.ca w. contempostudio.com  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

NAME	SIGNATURE	45250 BCIN
MARIN ZABZUNI		

Required unless design is exempt under 3.2.4.3, Division C of the Ontario Building Code.

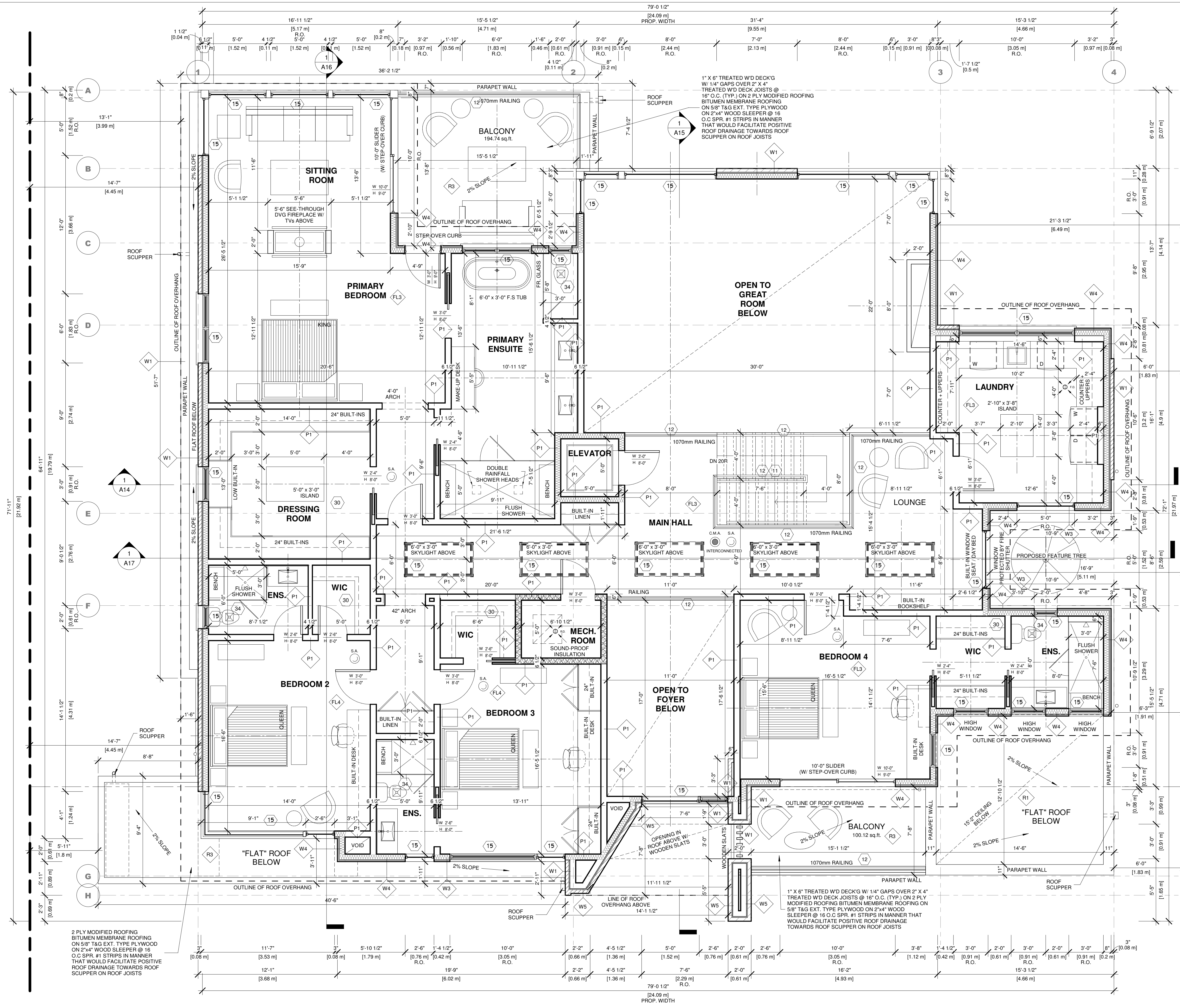
NAME	SIGNATURE	46972 BCIN
CONTEMPO STUDIO		

Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON  
 FIRST FLOOR PLAN

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: 2023-06-14 4:55:43 PM  
 C.C.  
 Drawn by:  
 M.Z.  
 Approved by:  
 M.Z.  
 Drawing number:

G:\Shared drives\CONTEMPO PROJECTS\OFFICIAL\CS 2022 Projects\2022-41-67 BABCOMBE DR.6, Permit Drawings\Phase 4-5 Revit Files\67 BABCOMBE DR - WORKING DRAWINGS 20230614.rvt



Type Mark	Type	Description	Comments
10	Interior - (P6)	2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE = R-15.0 (CONTINUOUS))	
FW1	Foundation	250mm (10") REINFORCED POURED CONC. WALL 50 MPa (3600 PSI) STRENGTH 28 DAYS W/ 20mm (3/4") FIRM INSIDE FACE @ 16" O.C. (VERTICAL) - 15MBARS@16" O.C. HORIZONTAL	
FW2	Foundation	UNCONFINATED FOUNDATION WALL AS PER ENG.	
GLASS	Window	3849mm (2'4") @ 400mm (16") O.C. FOR LOAD BEARING WALLS. 3849mm (2'4") @ 600mm (24") O.C. NON LOAD BEARING	
P2	Interior - (P2)	2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE = R-15.0 (CONTINUOUS))	
P4	Interior - (P4)	12.7mm (1/2") GYPSUM WALLBOARD ON WALLS & CEILING BETWEEN HOUSE & GARAGE	
W1	Window	25mm (1") AIR SPACE	
W3	Exterior - (W3)	2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE = R-15.0 (CONTINUOUS))	
W4	Exterior - (W4)	2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE = R-15.0 (CONTINUOUS))	
W5	Exterior - (W5)	2" X 4" WD. STUDS @ 16" O.C. SPRUCE #2 W/ R12 OR R14 MINERAL WOOL INSULATION IN STUD CAVITY. (BML POLY CONT. VAPOUR BARRIER - OFFSET STUD WALL FROM FOUNDATION WALL 2" AWAY. PLACE 2" THICK R15 RPS RIGID INSULATION (CONTINUOUS) W/ TAPED JOINTS BETWEEN FDN. WALL & STUD TOTAL R VALUE = R-15.0 (CONTINUOUS))	
FL1	Floor Slab	3/4" FINISHED FLOORING AS NOTED POURED CONCRETE SLAB (AS PER STRUCTURAL. SEE NOTE FL1) W/ RADIANT FLOOR HEATING W/ X-RAY WARM 1/2" FROM TOP OF SLAB PROVIDE 2" (50mm) R15 PERIMETER RIGID INSULATION UNDER SLAB AT ALL AREAS OF FLOOR HEATING. R15 RPS RIGID VAPOUR BARRIER ON WARM SIDE ON MIN. 8" COMPACTED GRANULAR "A" OR CLEAR CRUSHED STONE PER GEOTECH REPORT. NEW GEOTECH TERRAZZO 2700 OR EQUIVALENT UNDISTURBED SOIL LOCATE AND COORDINATE FLOOR DRAINS WITH PLUMBING TRADE. DRAINS AS REQUIRED TRADE	
FL2	Floor Slab	6" CONCRETE SLAB (MINIMUM) REIN. W/ 6 X 6 @ 600mm (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.0% AIR ENTRAINMENT. 1.5M. VAPOUR BARRIER ON WARM SIDE. ON MIN. 8" (200mm) 3/4" DIA. CLEAR STONE. STONE COMPACTED TO 98% P.C. O.C. MINIMUM 1% TO GARAGE FLOORS	
FL3	Floor Slab	12" CONCRETE SLAB (MINIMUM) REIN. W/ 6 X 6 @ 600mm (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.0% AIR ENTRAINMENT. 1.5M. VAPOUR BARRIER ON WARM SIDE. ON MIN. 8" (200mm) 3/4" DIA. CLEAR STONE. STONE COMPACTED TO 98% P.C. O.C. MINIMUM 1% TO GARAGE FLOORS	
FL4	Floor Slab	12" CONCRETE SLAB (MINIMUM) REIN. W/ 6 X 6 @ 600mm (24") FROM TOP OF SLAB. 32 MPa (4600 PSI) MIN. CONCRETE. 5.0% AIR ENTRAINMENT. 1.5M. VAPOUR BARRIER ON WARM SIDE. ON MIN. 8" (200mm) 3/4" DIA. CLEAR STONE. STONE COMPACTED TO 98% P.C. O.C. MINIMUM 1% TO GARAGE FLOORS	

1 SECOND FLOOR 1/4" = 1'-0"

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 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.  
 MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON  
 SECOND FLOOR PLAN

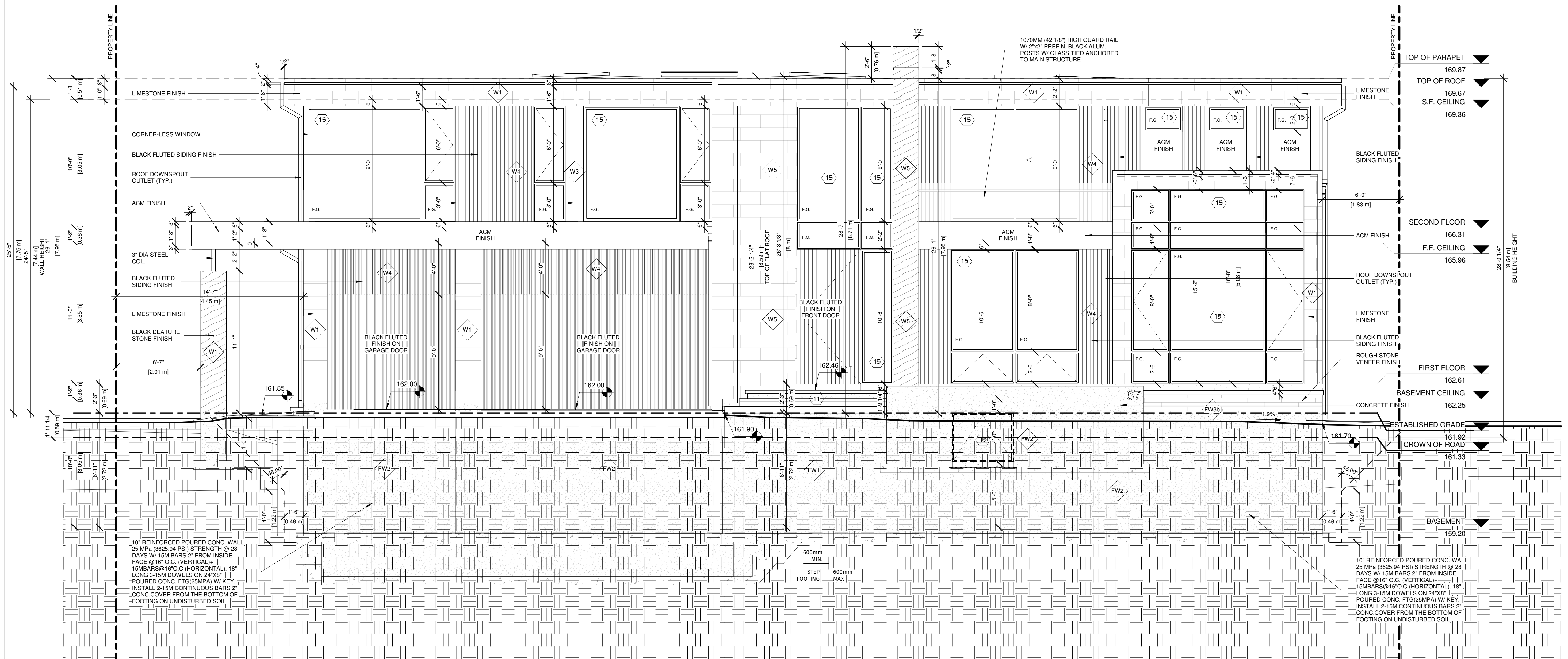
Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: 2022-06-14 4:55:47 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number:



A4





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**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI *[Signature]* 45250  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

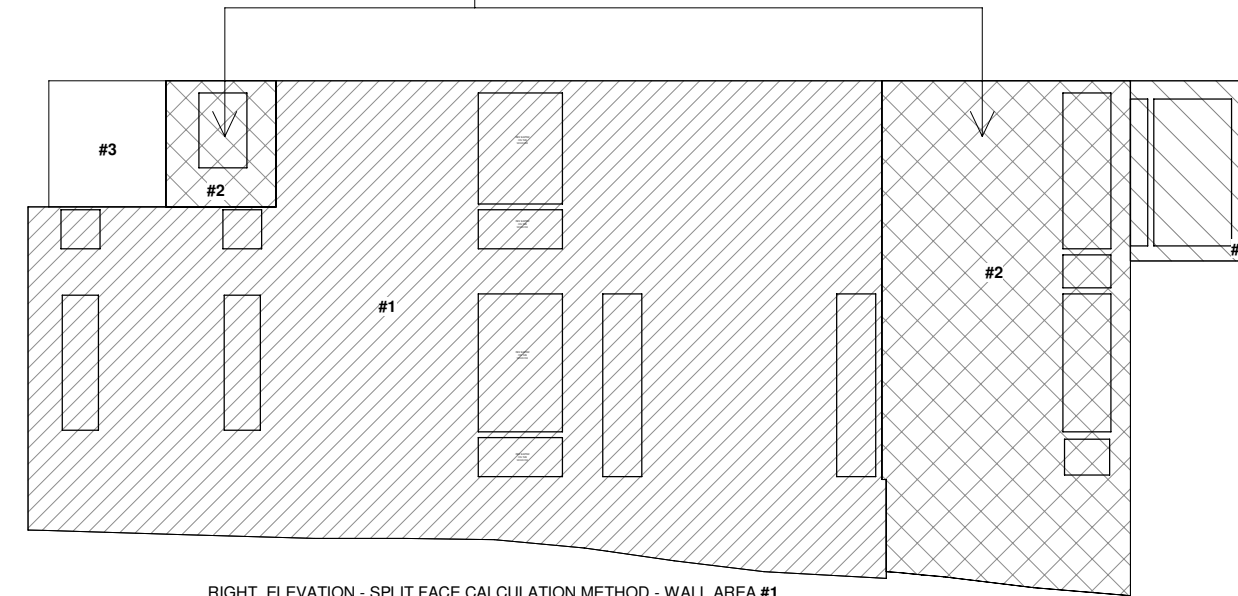
FRONT ELEVATION

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: 2023-06-14 4:55:49 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A6**

① North-East, Front Elevation  
 1/4" = 1'-0"

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #2  
 LIMITING DISTANCE (LD) = 6.41m  
 WALL AREA #2 OF EXPOSED BUILDING FACE = 428.30 SF (39.79m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1676.89 SF (155.79m²), LD = 6.41m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 20.85%  
 ALLOWABLE UPO AREA: 428.30 SF @ 20.85% = 89.28 SF  
 PROPOSED UPO AREA (WALL AREA #2) = 64.50 SF (GLAZING AREAS ONLY)  
 (24.72 SF UNDER THE MAX ALLOWED)

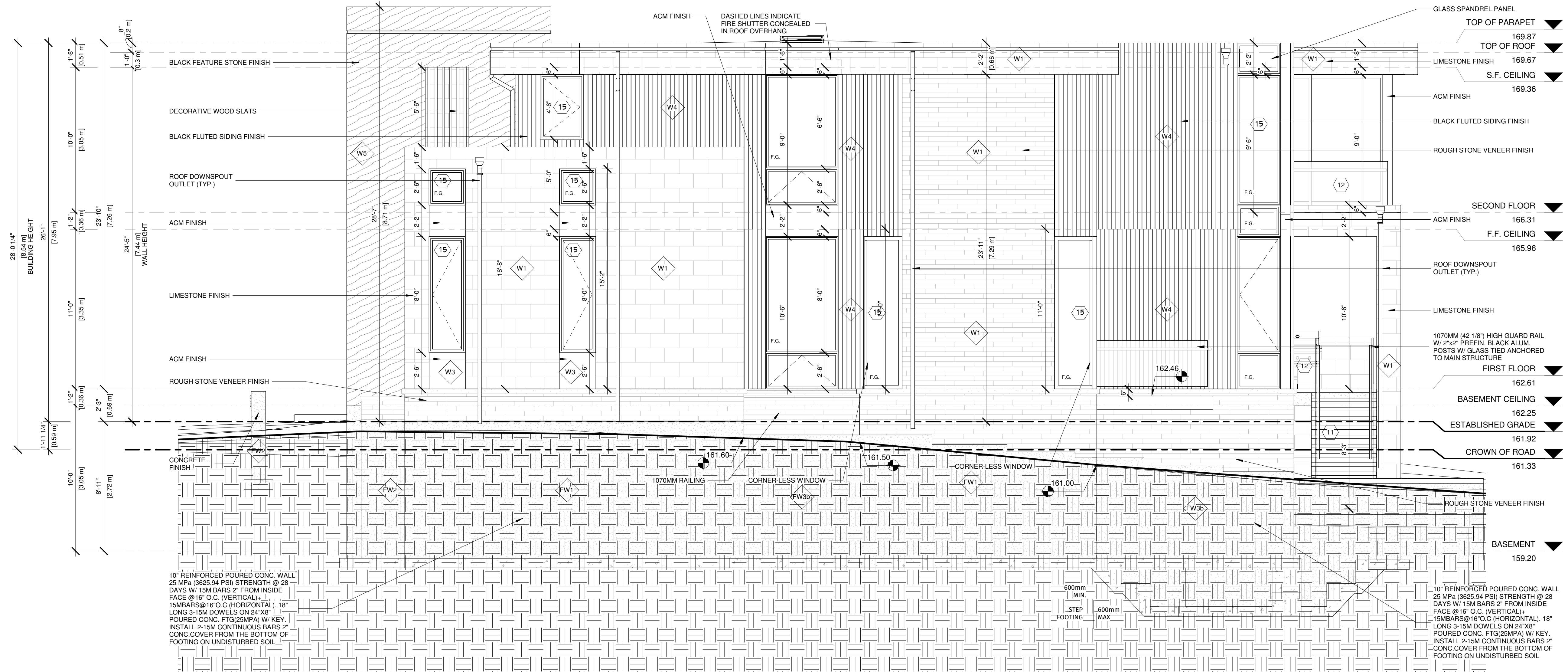


RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #4  
 LIMITING DISTANCE (LD) = 20.79m  
 WALL AREA #4 OF EXPOSED BUILDING FACE = 67.92 SF (6.31m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1676.89 SF (155.79m²), LD = 20.79m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 100.00%  
 ALLOWABLE UPO AREA: 67.92 SF @ 100.00% = 67.92 SF  
 PROPOSED UPO AREA (WALL AREA #4) = 43.22 SF (GLAZING AREAS ONLY)  
 (24.70 SF UNDER THE MAX ALLOWED)

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #1  
 LIMITING DISTANCE (LD) = 1.83m  
 WALL AREA #1 OF EXPOSED BUILDING FACE = 1,135.17 SF (105.46m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1676.89 SF (155.79m²), LD = 1.83m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 7.66%  
 ALLOWABLE UPO AREA: 1,135.17 SF @ 7.66% = 86.35 SF  
 PROPOSED UPO AREA (WALL AREA #1) = 85.00 SF (GLAZING AREAS ONLY)  
 (1.55 SF UNDER THE MAX ALLOWED)

RIGHT ELEVATION - SPLIT FACE CALCULATION METHOD - WALL AREA #3  
 LIMITING DISTANCE (LD) = 15.72m  
 WALL AREA #3 OF EXPOSED BUILDING FACE = 45.50 SF (4.23m²)  
 TABLE 9.10.15.4 (WITH TOTAL WALL AREA = 1676.89 SF (155.79m²), LD = 15.72m) EXTRAPOLATED MAX ALLOWED PERCENTAGE OF UPO = 89.41%  
 ALLOWABLE UPO AREA: 45.50 SF @ 89.41% = 40.68 SF  
 PROPOSED UPO AREA (WALL AREA #3) = 0 SF (GLAZING AREAS ONLY)

**RIGHT ELEVATION UNPROTECTED AREA CALCS.**  
 3/32" = 1'-0"



10" REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS W/ 15M BARS 2" FROM INSIDE FACE @ 16" O.C. (VERTICAL) - 15MBARS@16" O.C. (HORIZONTAL), 18" LONG 3-15M DOWELS ON 24"X8" POURED CONC. FTG.(25MPa) W/ KEY. INSTALL 2-15M CONTINUOUS BARS 2" CONC. COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL.

10" REINFORCED POURED CONC. WALL 25 MPa (3625.94 PSI) STRENGTH @ 28 DAYS W/ 15M BARS 2" FROM INSIDE FACE @ 16" O.C. (VERTICAL) - 15MBARS@16" O.C. (HORIZONTAL), 18" LONG 3-15M DOWELS ON 24"X8" POURED CONC. FTG.(25MPa) W/ KEY. INSTALL 2-15M CONTINUOUS BARS 2" CONC. COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL.

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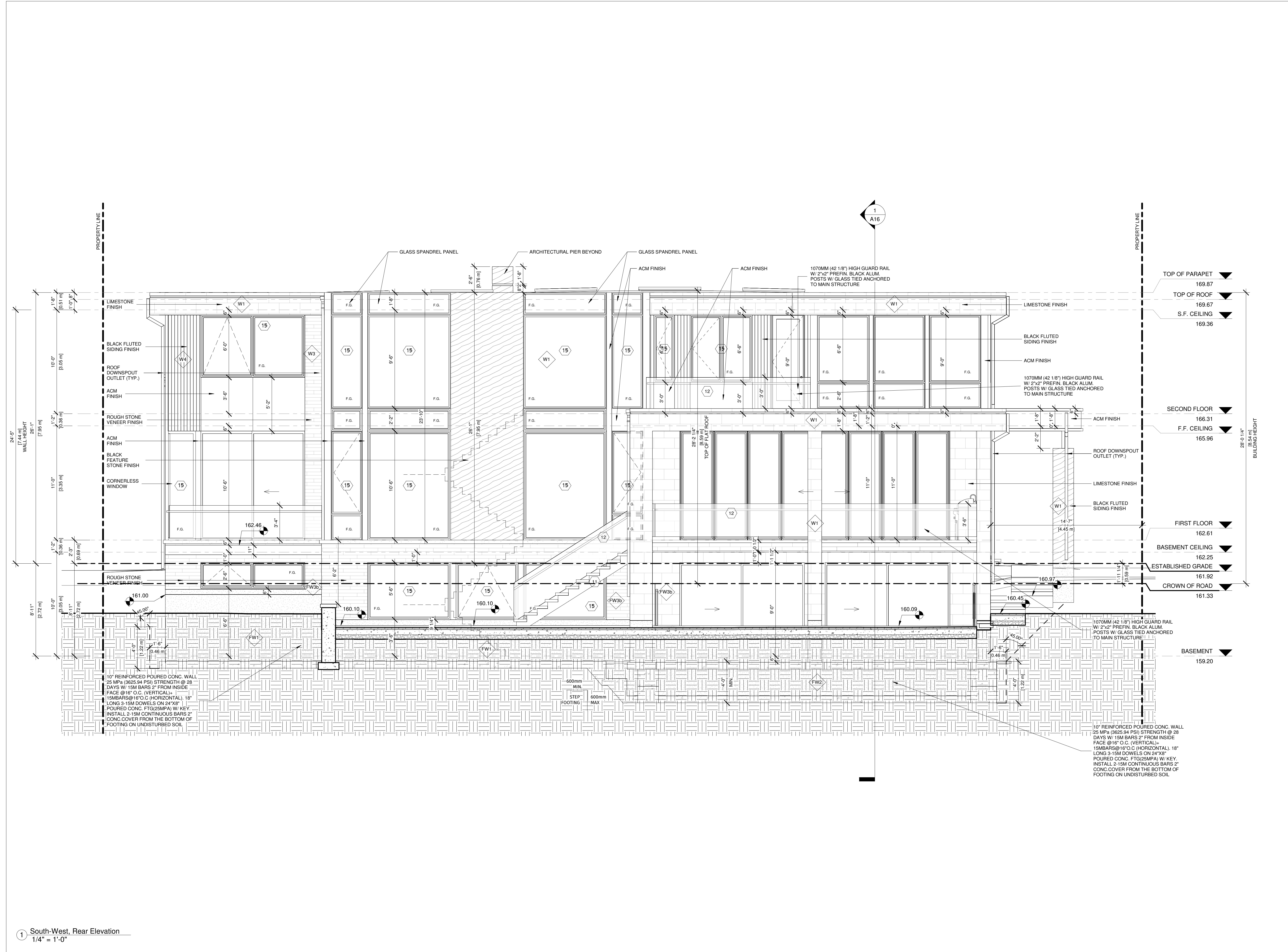
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:  
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 MARIN ZABZUNI 45250  
 NAME SIGNATURE BCIN  
**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.  
 CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

**RIGHT ELEVATION**

Project number: 2022-41  
 Rev. no.:  
 Scale: As indicated  
 Date: 2023-06-14 4:55:49 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A7**



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 info@contempostudio.ca w. contempostudio.ca  
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI *[Signature]* 45250  
 NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972  
 FIRM NAME BCIN

2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

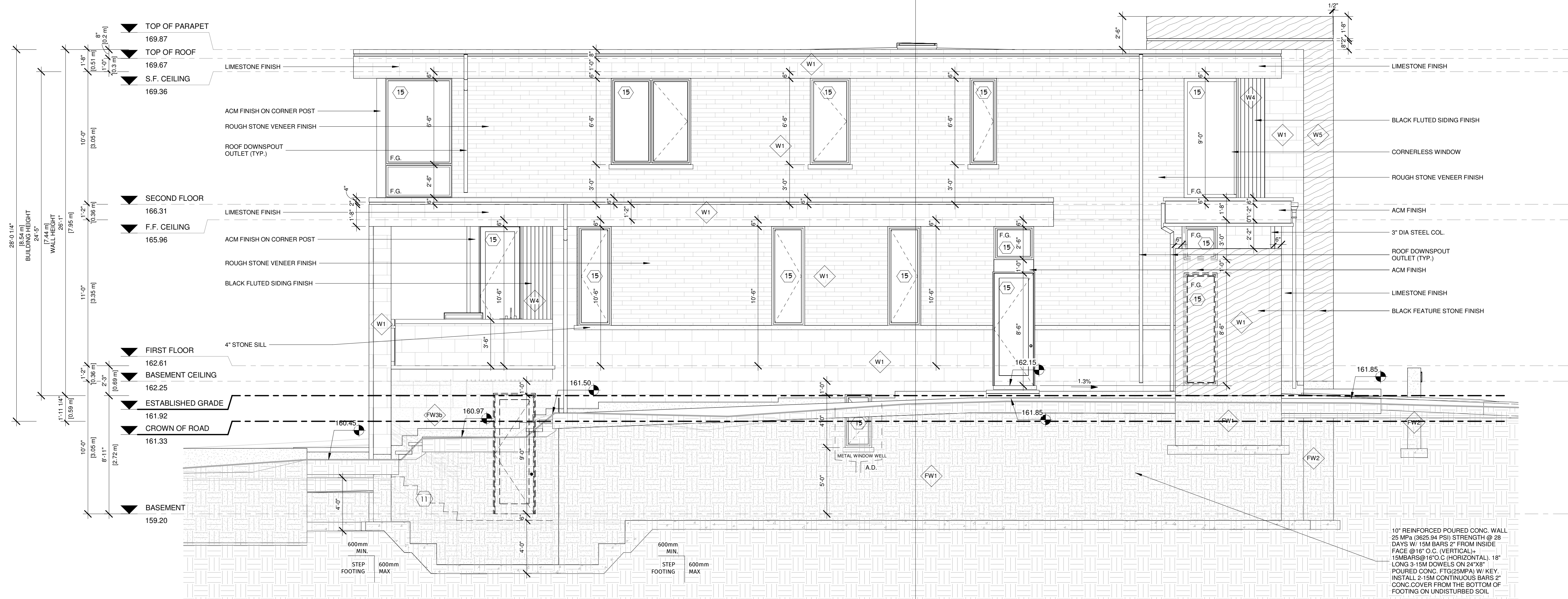
REAR ELEVATION

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: 2023-06-14 4:55:50 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A8**

① South-West, Rear Elevation  
 1/4" = 1'-0"

**WALL AREA**  
 UNPROTECTED OPENING CALCULATION AS PER S.10.15.4  
 EXPOSING BUILDING FACE AREA 146.00m<sup>2</sup>  
 LIMITED DISTANCE 4.45m @ 13.58%  
 MAX. ALLOWABLE GLASS OPENING 19.82m<sup>2</sup>  
 TOTAL GLASS OPENING PROVIDE 18.86m<sup>2</sup>



10" REINFORCED POURED CONC. WALL  
 25 MPa (3625.84 PSI) STRENGTH @ 28  
 DAYS W/ 15M BARS 2" FROM INSIDE  
 FACE @ 16" O.C. (VERTICAL),  
 15MBARS@16" O.C. (HORIZONTAL), 18"  
 LONG S-15M DOWELS ON 24"X8"  
 POURED CONC. FTG(25MPa) W/ KEY.  
 INSTALL 2-15M CONTINUOUS BARS 2"  
 CONC COVER FROM THE BOTTOM OF  
 FOOTING ON UNDISTURBED SOIL

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MARIN ZABZUNI		45250
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.		
CONTEMPO STUDIO		46972
FIRM NAME		BCIN

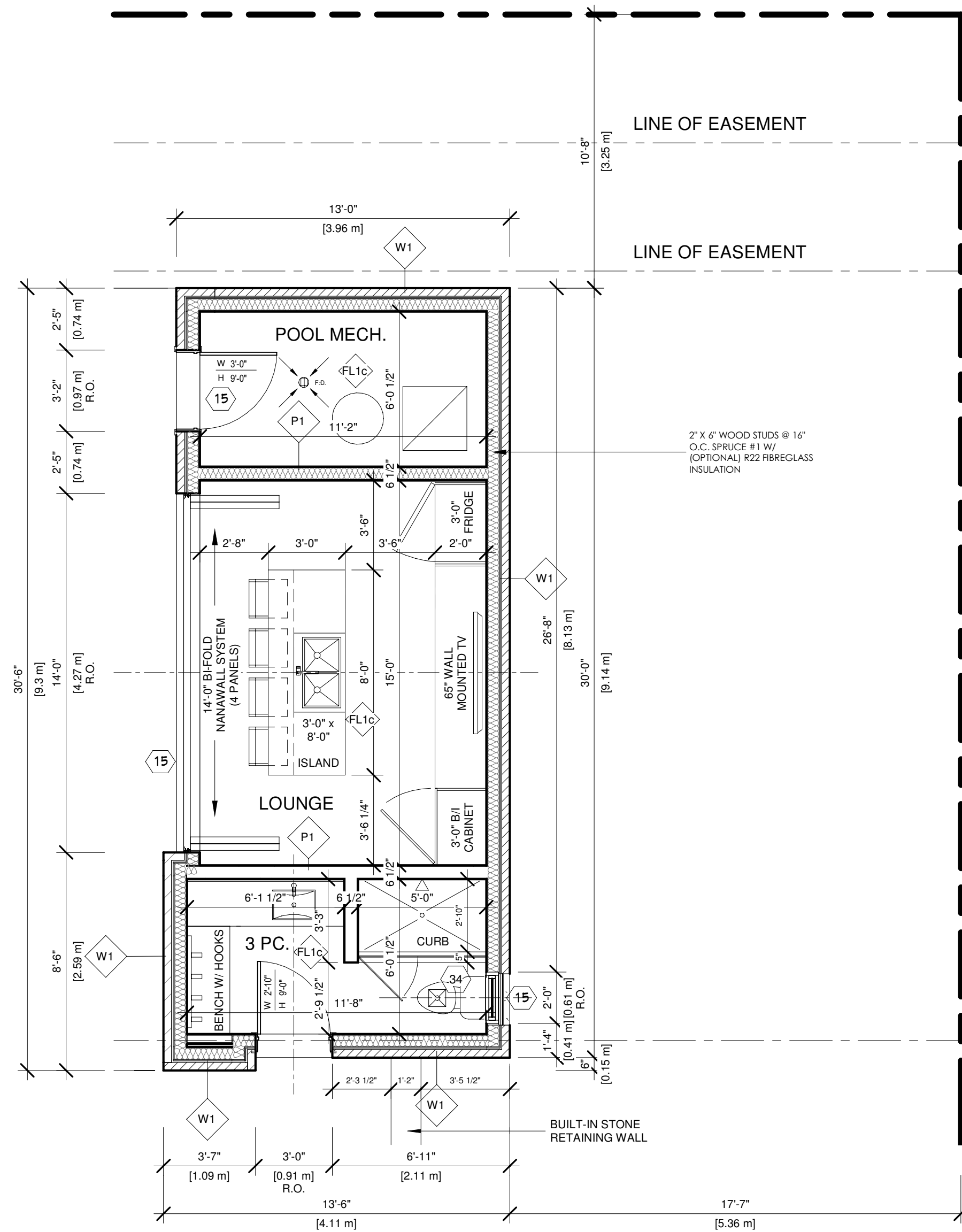
2 STOREY DETACHED WELLING  
 AT  
 67 BABCOMBE DR  
 THORNHILL, ON

LEFT ELEVATION

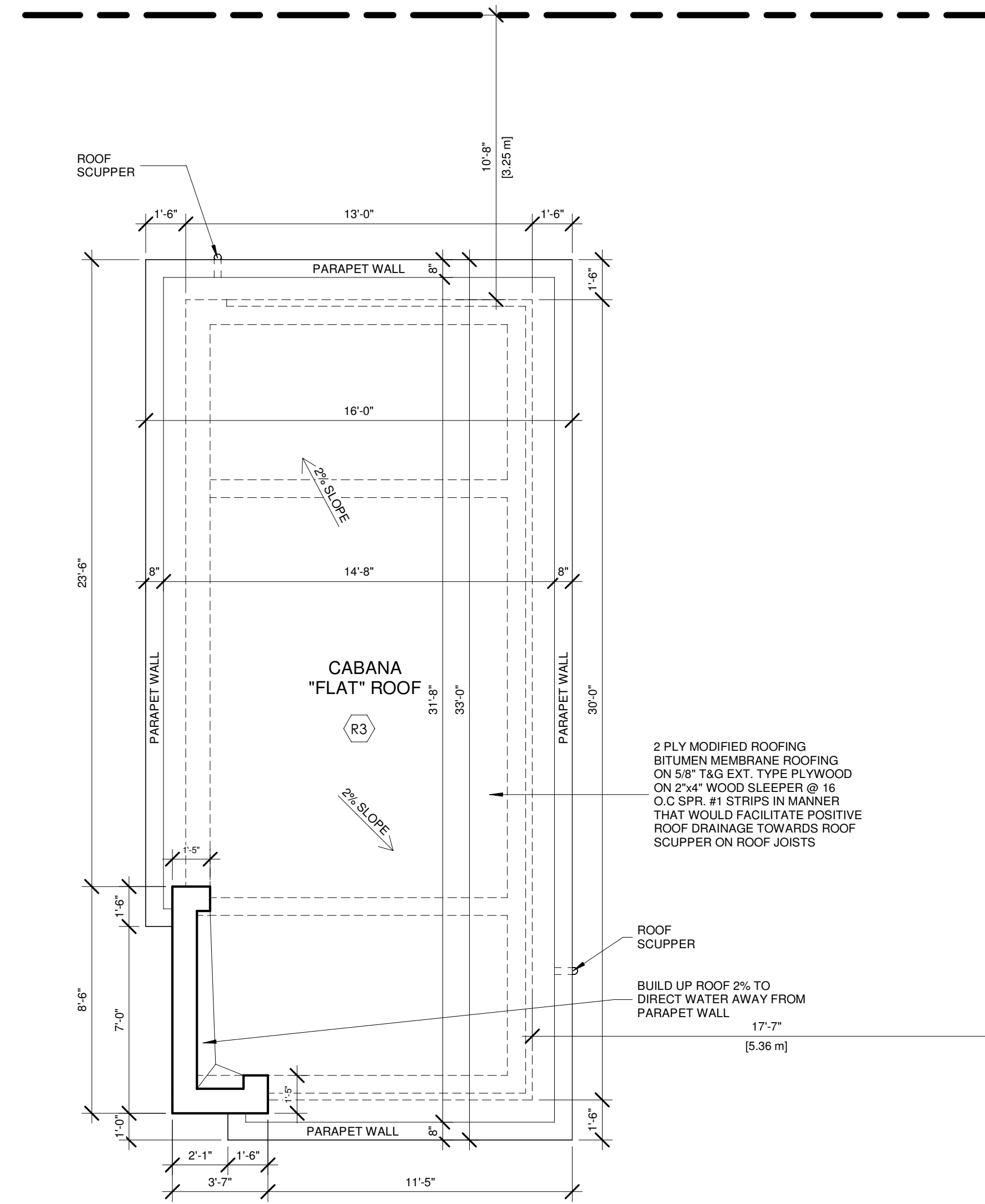
Project number:	2022-41
Rev. no.:	
Scale:	1/4" = 1'-0"
Date:	2023-06-14 4:55:51 PM
Drawn by:	C.C.
Approved by:	M.Z.

Drawing number: **A9**

1 South-East, Left Elevation  
 1/4" = 1'-0"



1 CABANA FLOOR  
1/4" = 1'-0"



2 CABANA ROOF  
1/4" = 1'-0"

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MARIN ZABZUNI  45250  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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CONTEMPO STUDIO 46972  
FIRM NAME BCIN

2 STOREY DETACHED WELLING

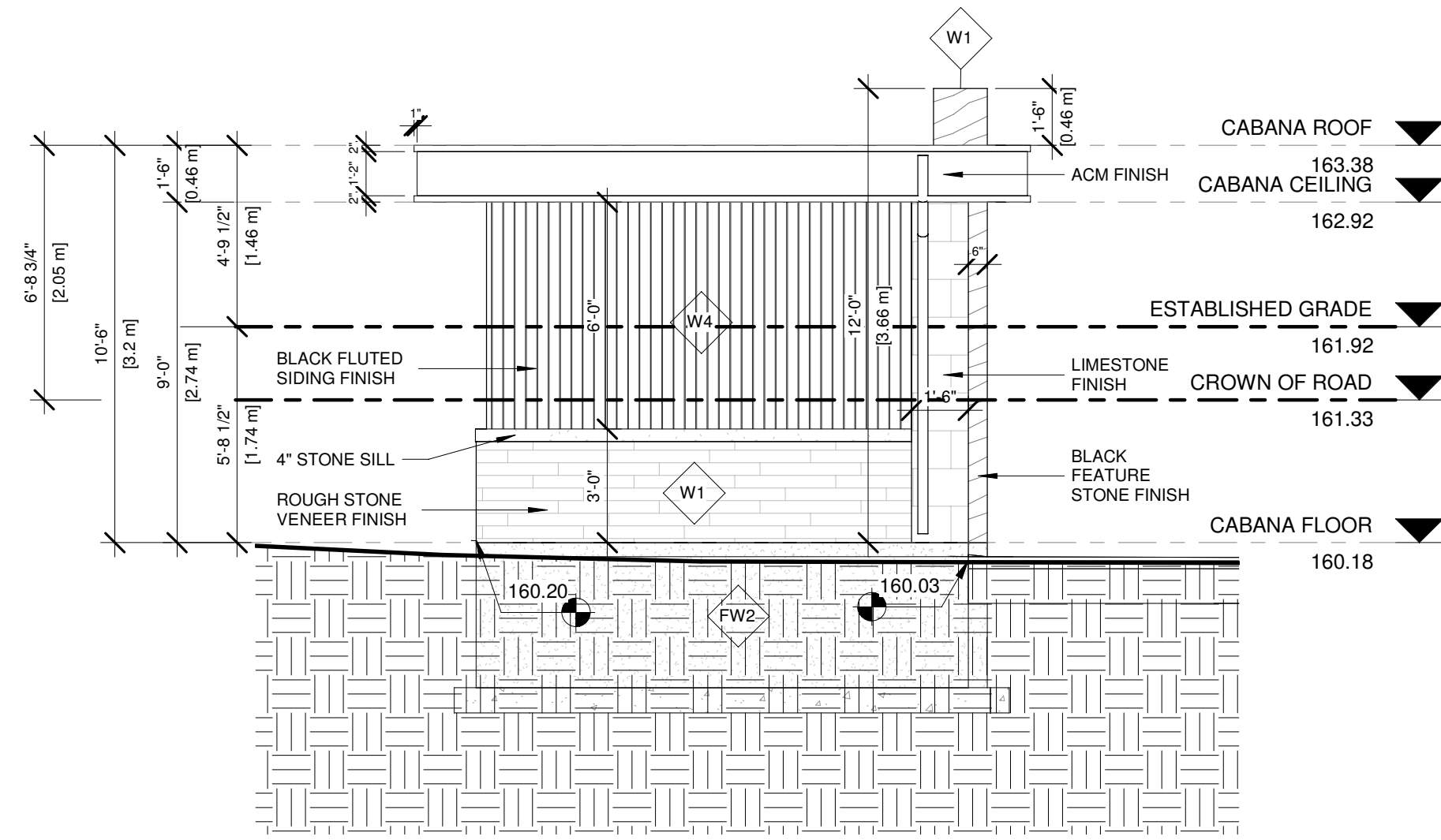
AT  
67 BABCOMBE DR  
THORNHILL, ON

CABANA PLANS

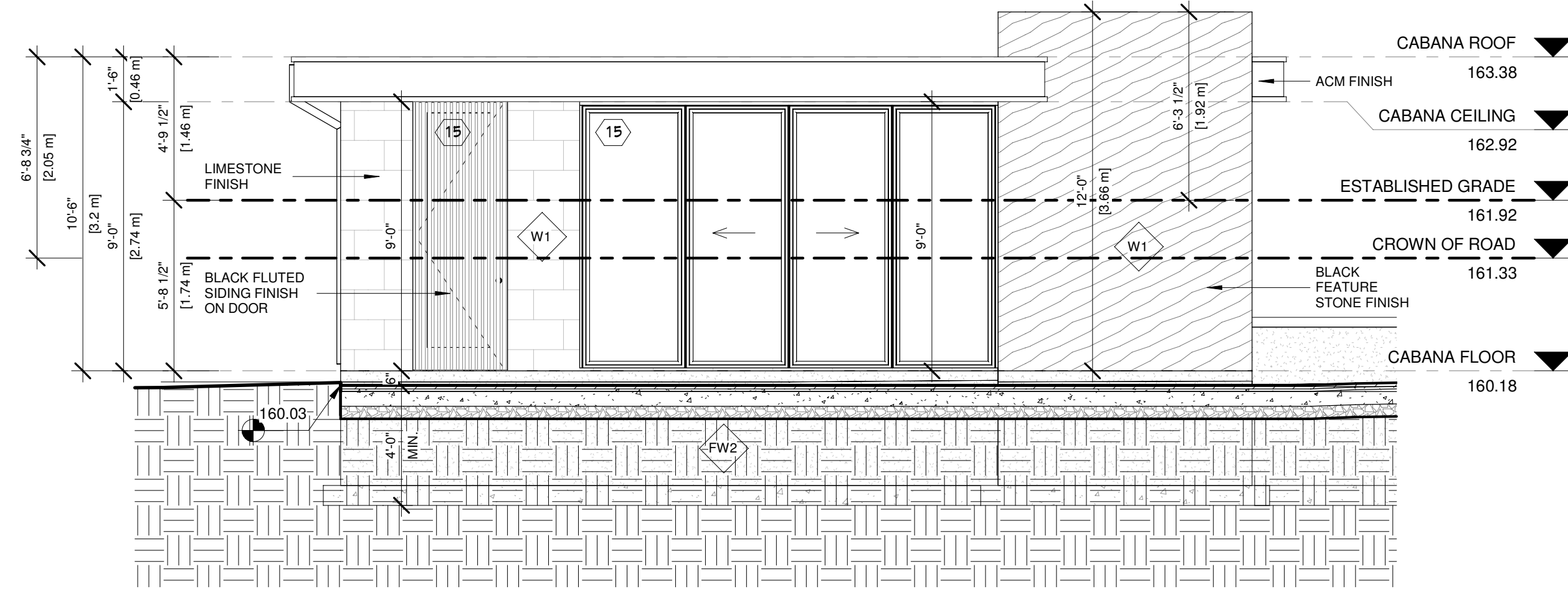
Project number: 2022-41  
Rev. no.:  
Scale: 1/4" = 1'-0"  
Date: 2023-06-14 4:55:52 PM  
Drawn by: C.C.  
Approved by: M.Z.

Drawing number:

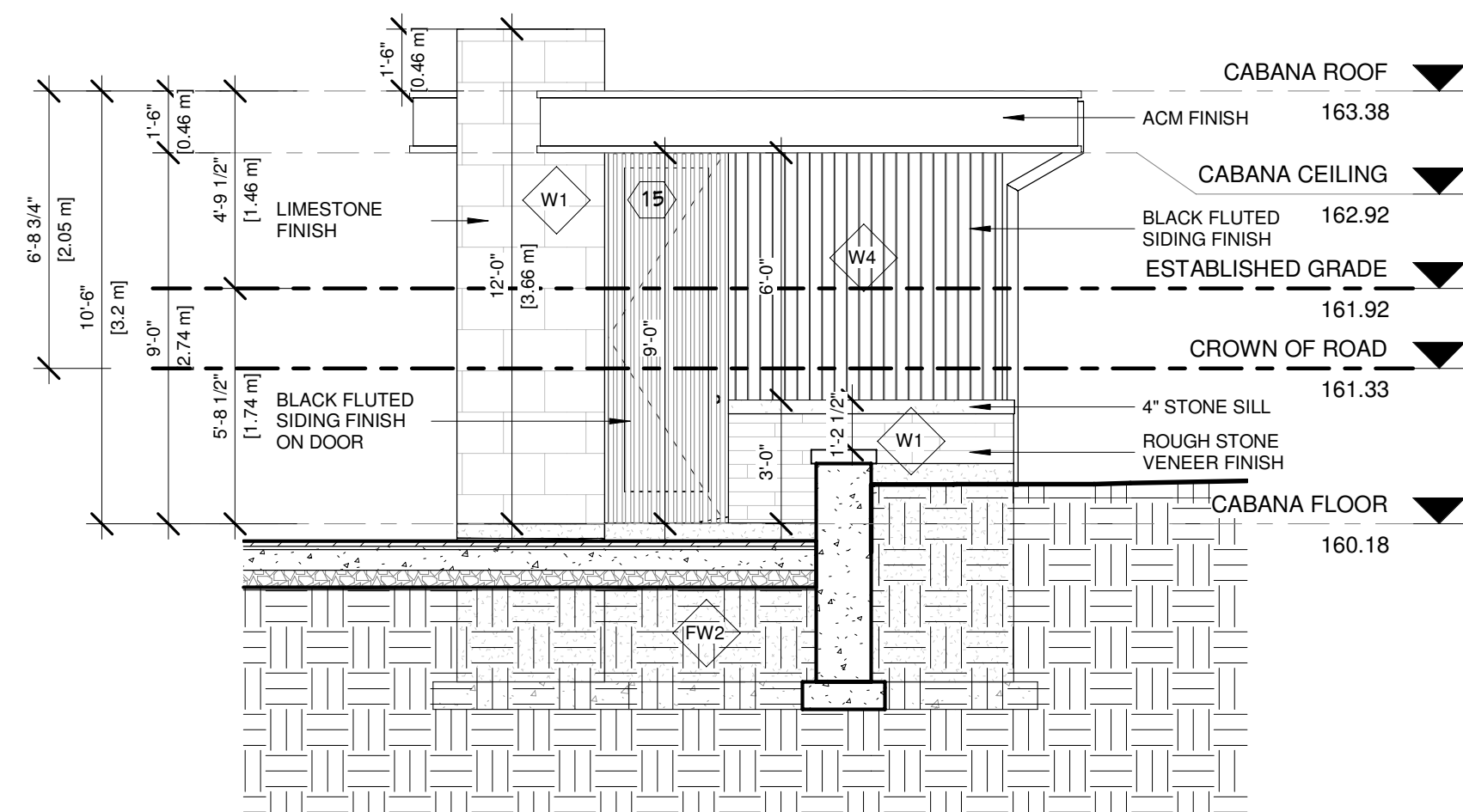
# A12



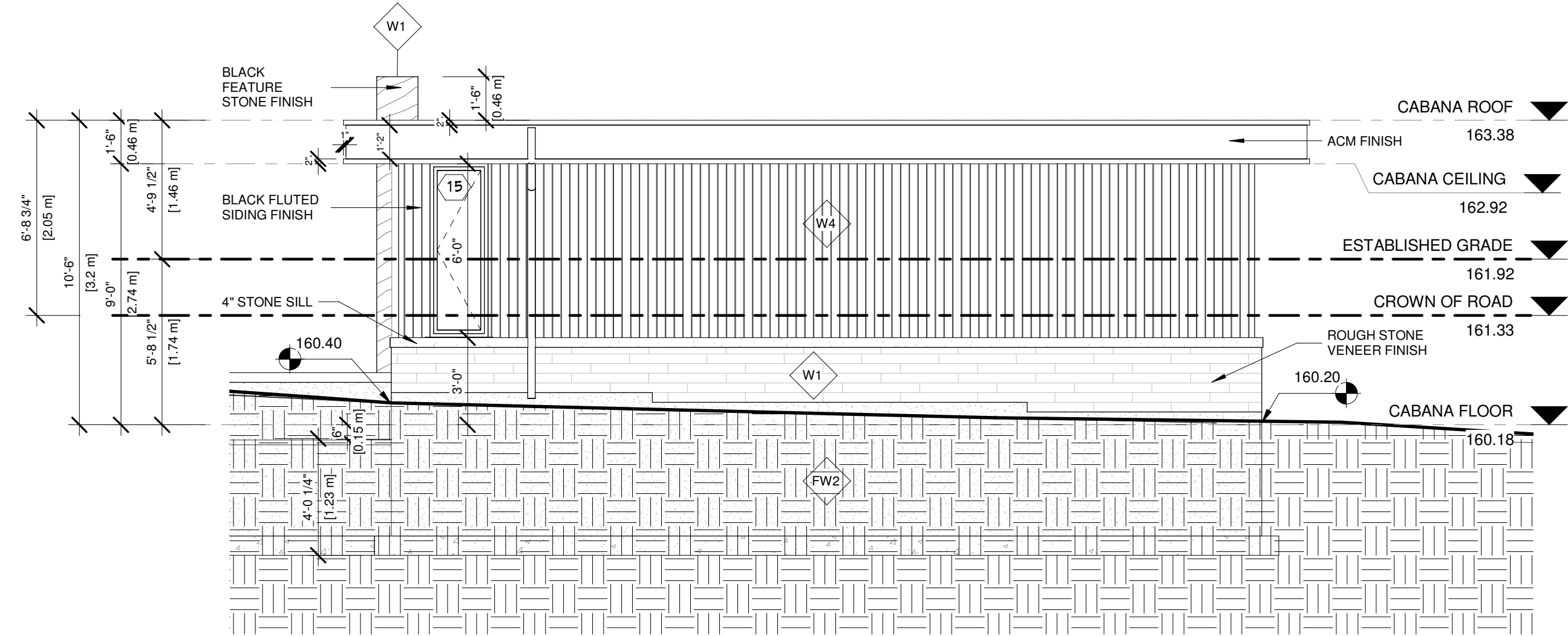
1 Cabana - South-West Elevation  
 1/4" = 1'-0"



2 Cabana - South-East Elevation  
 1/4" = 1'-0"



3 Cabana - North-East Elevation  
 1/4" = 1'-0"



4 Cabana - North-West Elevation  
 1/4" = 1'-0"

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MARIN ZABZUNI  
 NAME SIGNATURE 45250 BCIN

**REGISTRATION INFORMATION**  
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972 BCIN  
 FIRM NAME

2 STOREY DETACHED WELLING

AT  
 67 BABCOMBE DR  
 THORNHILL, ON

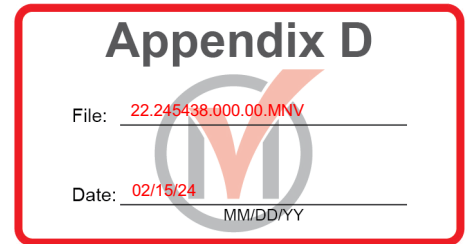
CABANA ELEVATIONS

Project number: 2022-41  
 Rev. no.:  
 Scale: 1/4" = 1'-0"  
 Date: 2023-06-14 4:55:53 PM  
 Drawn by: C.C.  
 Approved by: M.Z.

Drawing number: **A13**



**CITY OF MARKHAM**  
**Virtual Meeting on Zoom**



**August 16, 2023**  
**7:00 pm**

**COMMITTEE OF ADJUSTMENT**

**Minutes**

The 14<sup>th</sup> regular meeting of the Committee of Adjustment for the year 2023 was held at the time and virtual space above with the following people present:

Arrival Time

Gregory Knight Chair	7:00 pm
Tom Gutfreund	7:00 pm
Jeamie Reingold	7:00 pm
Sally Yan	7:00 pm
Patrick Sampson	7:00 pm
Arun Prasad	7:00 pm

Shawna Houser, Secretary-Treasurer  
Greg Whitfield, Supervisor, Committee of Adjustment

**Regrets**

Kelvin Kwok

**DISCLOSURE OF INTEREST**

None

**Minutes: July 26, 2023**

THAT the minutes of Meeting No. 13, of the City of Markham Committee of Adjustment, held June 26, 2023 respectively, be:

- a) Approved on August 16, 2023.

**Moved By: Arun Prasad**  
**Seconded By: Patrick Sampson**

**Carried**

## **PREVIOUS BUSINESS**

### **1. A/030/23**

**Owner Name: Jinchong Cao**  
**Agent Name: LHW Engineering (Lihang Wang)**  
**78 Southdale Drive, Markham**  
**PLAN 7326 LOT 28**

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

- a) **By-law 99-90, Section 1.2 (vi):**  
a maximum floor area ratio of 49.9 percent, whereas the By-law permits a maximum of 45 percent;

as it related to a proposed second-storey addition and porch.

The Chair introduced the application.

The agent, Tony Yu, appeared on behalf of the application.

Member Gutfreund thanked the applicant for reducing the floor area ratio, indicating the final design would be an excellent addition to the neighbourhood.

Member Reingold noted that the revisions had resulted in a good-looking home that would complement and be compatible with the neighbourhood.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund**  
**Seconded By: Jeamie Reingold**

The Committee unanimously approved the application.

THAT Application No. **A/030/22** be **approved** subject to conditions contained in the staff report.

Resolution Carried

### **2. A/114/22**

**Owner Name: Sakineh Safarzad Gourabjavar**  
**Agent Name: Contempo Studio (Marin Zabzuni)**  
**67 Babcombe Drive, Thornhill**  
**PLAN M941 LOT 114**



The applicant was requesting relief from the requirements of By-law 1767, as amended, to permit:

- a) **By-law 100-90, Section 1.2(i):**  
a building height of 8.54 metres, whereas the By-law permits a maximum flat roof building height of 8.0 metres;
- b) **By-law 100-90, Section 1.2(iii):**  
a maximum building depth of 21.36 metres, whereas the By-law permits a maximum building depth of 16.8 metres;
- c) **By-law 1767, Section 9(i):**  
a south side yard roof encroachment of 98 inches, whereas the By-law permits a maximum encroachment of no more than 18 inches into the required side yard setback;
- d) **By-law 1767, Section 12 (iv)(a):**  
a minimum front yard setback of 33.4 feet, whereas the By-law requires that the front yard setback of a dwelling to be erected between two existing dwellings shall comply with the corresponding yards of the two existing dwellings being 42.7 feet;
- e) **By-law 1767, Section 18(ii)(b):**  
a lot coverage of 36.2 percent, whereas the By-law requires a maximum lot coverage of 33 1/3 percent; and
- f) **By-law 100-90, Section 1.2 (vi):**  
a floor area ratio of 49.4 percent, whereas the By-law permits a maximum floor area ratio of 47 percent;

as it related to the construction of a new two-storey detached dwelling.

The Chair introduced the application.

The agent, Marin Zabzuni, appeared on behalf of the application.

The Committee received six written pieces of correspondence.

Ryan Levins, of 69 Babcombe Drive, spoke to the Committee, indicating that the requested variances would move the house closer to the lot line, diminish sunlight, alter the streetscape, amplify the massing and scale, and reduce parking. The proposal contradicted the City of Markham's sustainability policies and goals.

Sarah Langdon, of 65 Babcombe Drive, spoke to the Committee and agreed with neighbour Ryan Levins the cumulative effects of the multiple variances would impact the surrounding properties, as would the removal of mature trees. Sarah asked what

mitigation would be taken to preserve the boundary cedars that formed a hedge with their property. Sarah understood that the area has been evolving; however, they disagreed that overbuilding was inevitable as numerous infill builds had added to the neighbourhood's character.

Marin Zabzuni responded to the neighbour's comments, addressing the tree questions and presented a rendering of the proposal to visually represent the house within the context of the neighbouring properties.

Member Yan noted that the agent had emphasized in their presentation that the proposal was beneficial to everyone and that some variances related to decorative aspects of the home; however, without previous discussion with the neighbours, it had been difficult for them to understand how the proposal would fit in the context of the neighbourhood. Member Yan encouraged the applicant to work with the neighbours to minimize the cumulative effects of the variances and consider the impacts on the immediate neighbours.

Member Sampson expressed that each variance considered on its own might be minor; however, when considered together, the variances had cumulative effects that were reflected in the massing of the proposal.

Member Reingold indicated that the proposal's impacts would overwhelm the neighbourhood as the design did not reflect current infill development. The lot had significant as-of-right lot coverage, and the proposal needed to be compatible or complimentary to the neighbourhood due to the proposed size and scale.

Member Prasad noted the size of the lot would permit a significant as-of-right build and agreed with their colleagues that the cumulative effects of the proposal were not desirable.

Member Gutfreund remarked that the presentation and rendering helped show the final development and the requested variances within the context of the neighbouring properties. After considering all the materials presented, they felt the requests were minor, reasonable and appropriate within the context of the neighbourhood and motioned for approval with conditions. The motion to approve was not seconded.

The Chair recommended deferral to provide the applicant time to confer with the neighbours, and the applicant agreed with the recommendation.

Member Prasad motioned for deferral.

**Moved By: Arun Prasad**  
**Seconded By: Jeamie Reingold**

THAT Application No. **A/114/22** be **deferred** sine die.

Resolution Carried

**3. A/116/23**

**Owner Name: Richard Morales**  
**Agent Name: Lifestyle Home Products (Andrijana Adamovic)**  
**370 Main Street N, Markham**  
**CON 7 PT LOT 15 64R6094 PT 2**

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

- a) **By-law 99-90, Section 1.2(iii):**  
a maximum building depth of 22.4 metres, whereas the By-law permits a maximum building depth of 16.8 metres;
- b) **By-law 99-90, Section 1.2(vi):**  
a maximum net floor area ratio of 70.35 percent, whereas the By-law permits a maximum net floor area of 45 percent;
- c) **Table 11.1:**  
a minimum rear yard setback of 14.9 feet, whereas the By-law requires a minimum rear yard setback of 25 feet;
- d) **Table 11.1:**  
a maximum lot coverage of 38.01 percent, whereas the By-law permits a maximum lot coverage of 35 percent; and
- e) **Section 11.3(a)(vi):**  
an accessory building setback of 0.417 feet whereas the by-law requires a minimum setback of 4 feet;

as it related to the construction of a proposed unheated sunroom addition to an existing house.

The Chair introduced the application.

The agent, Syed Ahmed, appeared on behalf of the application.

The Committee received five written pieces of correspondence.

Elizabeth Brown, 65 Lincoln Green Drive, the Committee of Adjustment representative for the Markham Village Sherwood Conservation Residents Association, spoke to the

Committee. Elizabeth was concerned that the cumulative impacts of the variances would reduce opportunities for greenspace and could set precedents for future applications within the area.

Jennifer Morales, the owner, gave a presentation to the Committee, which included photographs of the backyard, existing deck, existing drainage measures and the surrounding properties. Jennifer emphasized that the sunroom would be built to match the footprint of the existing deck, and no additional floor area would be required. The homeowner indicated that the development was desirable for the development of the property as it would provide shelter from the noise, light, and air pollution impacts related to the existing gas station to the north.

Member Gutfreund indicated that while the numbers looked very high, the sunroom would not be visible from the public realm, the applicants had demonstrated a need for the structure, the proposal would add to the quality of life of the applicants, and was supported by the neighbours.

Member Reingold requested additional details regarding the materials used in construction and if the addition would have heating or cooling.

Syed Ahmed indicated there was no arrangement for heating and cooling, and the sunroom would be constructed with an aluminum frame and a coated weather-protected ceiling.

Member Prasad supported the proposal.

Member Sampson opined that given the history of the lot's subdivision, its unique configuration, and the proposal being constructed entirely outside the public realm, the requests would not set precedents and supported the application.

The Chair indicated that the proposal was an excellent addition to a thoughtful heritage renovation.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund**  
**Seconded By: Arun Prasad**

The Committee unanimously approved the application.

THAT Application No. **A/116/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**NEW BUSINESS:**

**4. A/111/23**

**Owner Name: Stephen Kertesz and Sarah Kertesz**  
**Agent Name: Gregory Design Group (Shane Gregory)**  
**40 Rouge Street, Markham**  
**PLAN 173 BLK L LOT 14**

The applicant was requesting relief from the requirements of By-law 1229, as amended, to permit:

- a) **By-law 1229, section 1.2(iii):**  
a maximum building depth of 17.50 metres, whereas the By-law requires 16.80 metres;
- b) **By-law 1229, section table 11.1:**  
a flankage yard of 2.90 metres, whereas the By-law requires 3.05 metres;

as it related to a proposed one-storey addition to the existing one-story dwelling.

The Chair introduced the application.

The agent, Shane Gregory, appeared on behalf of the application.

Member Reingold supported the application, noting the requests were minor, met the heritage conservation goals, the development was compatible and complimentary to the neighbourhood and met the four tests of the *Planning Act*.

Member Sampson agreed with their colleague and supported the application.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund**  
**Seconded By: Jeamie Reingold**

The Committee unanimously approved the application.

THAT Application No. **A/111/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**Applications B/024/23 and B/027/23 were heard concurrently and the record of the discussion can be found under B/024/23.**

**5. B/024/23**

**Owner Name: Michael Canzona  
Agent Name: Evans Planning (Frank Venditti)  
12 Deer Park Lane, Markham  
PLAN 1149 PT LTS 11 AND 12 65R39288 PT PART 5**

The applicant was requesting provisional consent to:

- a) sever and convey** a parcel of land (Part 2 & 3) with an approximate lot frontage of 10.53 metres (9.84 feet) and an approximate lot area of 272.7 sq. metres;
- b) retain** a parcel of land (Part 1) with an approximate lot frontage of 10.53 metres (9.84 feet) and an approximate lot area of 288 sq. metres;

The purpose of this application was to sever the Subject Lands to facilitate the creation of one (1) new residential lot. This application was related to Consent Application B/027/23 which was being reviewed concurrently.

The Chair introduced the application.

The agent, Frank Venditti, appeared on behalf of the application.

Member Sampson did not have issues with the proposal but requested clarification regarding the status of the lot created at 4 Elizabeth Street.

Member Yan noted that the proposed severances met the minimum lot area and frontage and conformed to the neighbourhood lot patterns.

Greg Whitfield clarified that the previous severed lots had been registered and that the proposed severances were to create the individual lots for the semi-detached dwelling units. Greg further explained that the applications had been assessed by both the applicants and the City's legal department, and it had been determined that consent was the appropriate process to create the lots.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund  
Seconded By: Patrick Sampson**

The Committee unanimously approved the application.

THAT Application No. **B/024/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**6. B/027/23**

**Owner Name: Eugenio Sturino**  
**Agent Name: Evans Planning (Frank Venditti)**  
**16 Deer Park Lane, Markham**  
PLAN 1149 PT LTS 11 AND 12 65R39288 PT PART 2

The applicant was requesting provisional consent to:

- a) **sever and convey** a parcel of land (Part 4 & 5) with an approximate lot frontage of 10.54 metres (34.58 feet) and an approximate lot area of 257.7 sq. metres; and
- b) **retain** a parcel of land (Part 6 &7) with an approximate lot frontage of 13.5 metres (44.29 feet) and an approximate lot area of 308 sq. metres.

The purpose of this application was to sever the Subject Lands to facilitate the creation of one (1) new residential lot. This application was related to Consent Application B/024/23 which was being reviewed concurrently.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund**  
**Seconded By: Patrick Sampson**

The Committee unanimously approved the application.

THAT Application No. **B027/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**Applications B/028/23 and A/127/23 were heard concurrently and the record of the discussion can be found under B/028/23.**

**7. B/028/23**

**Owner Name: M&R Holdings**  
**Agent Name: Baldassarra Architects Inc. (Isabella Suppa)**  
**65 Allstate Parkway, Markham**

**PL M2029 BLK 3**

The applicant was requesting provisional consent to:

- a) **Sever and convey** a parcel of land being Parts 1-3 with an approximate lot frontage of 110.85 metres (363.7 feet) and an approximate lot area of 19,274.1 sq. metres as shown in the Draft R-Plan (Part 1 being a future road widening to be conveyed to the City);
- b) **Retain** a parcel of land being Parts 4 and 5 with an approximate lot frontage of 79.33 metres (260.3 feet) and an approximate lot area of 10,859.7 sq. metres as shown in the Draft R-Plan;
- c) **Create** easements for access and servicing in favour of Parts 2 and 5 over Parts 3 and 4;

The purpose of this application was to sever the Subject Lands to facilitate the creation of one (1) new industrial/office lot and create easements for shared access and servicing. This application was related to Minor Variance Application A/127/23 and Site Plan Control Application 22 263203 which were being reviewed concurrently.

The Chair introduced the application.

The agent, Isabella Suppa, appeared on behalf of the application. Isabella presented the proposal, indicating it had gone through various cycles of site plan review and demonstrated the location, impacts and justification for each variance.

Member Gutfreund indicated that the applicant's presentation addressed any questions regarding the applications and supported both.

Member Yan asked regarding the future tenancy of the building. The agent indicated it would be a single-tenant building.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund**

**Seconded By: Patrick Sampson**

The Committee unanimously approved the application.

THAT Application No. **B/028/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

8. **A/127/23**



**Owner Name: M&R Holdings**  
**Agent Name: Baldassarra Architects Inc. (Isabella Suppa)**  
**65 Allstate Parkway, Markham**  
**PL M2029 BLK 3**

The applicant was requesting relief from the requirements of By-law 165-80, as amended, to permit:

- a) **Section 5.2 (d) (iii):**  
a minimum rear yard setback of 8.0 metres, whereas the By-law requires a minimum rear yard setback of 12.0 metres.
  
- b) **Section 4.7.1(b):**  
a landscape strip of 4.0 metres inclusive of curbs and retaining walls, whereas the By-law requires a minimum landscape strip of 6.0 metres immediately abutting the (Allstate Parkway) street line.

as it related to an industrial building. This application was related to Consent Application B/028/23 and Site Plan Control Application 22 263203 which were being reviewed concurrently.

Member Gutfreund motioned for approval with conditions.

**Moved By: Tom Gutfreund**  
**Seconded By: Patrick Sampson**

The Committee unanimously approved the application.

THAT Application No. **A/127/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**Applications B/020/23, A/073/23 and A/074/23 were heard concurrently and the record of the discussion can be found under B/020/23.**

**9. B/020/23**

**Owner Name: Florence Low**  
**Agent Name: Henry Chiu Architect Ltd (Henry Chiu)**  
**187 Helen Avenue, Markham**  
**PLAN 2196 PT LOT 11 PL 65R-28173 PT 1**

The applicant was requesting provisional consent to:

- a) **sever and convey** a parcel of land with an approximate lot frontage of 11.435 metres and an approximate lot area of 0.038 hectares (384.7 sq. metres)(Part 2);
- b) **sever and convey** a parcel of land with an approximate lot frontage of 11.435 metres and an approximate lot area of 0.036 hectares (362.5 sq. metres)(Part 3);
- c) **sever and convey** a parcel of land with an approximate lot frontage of 11.435 metres and an approximate lot area of 0.036 hectares (362.5 sq. metres) Part 4);
- d) **retain** a parcel of land with approximate lot frontage of 11.435 metres and approximate lot area of 0.038 hectares (384.7 sq. metres)(Part 1);

The purpose of this application was to create three new residential lots, to facilitate the construction of four new single detached dwellings. This application was related to Minor Variance applications A/073/23 and A/074/23, which were being reviewed concurrently.

The Chair introduced the application.

The agent, Henry Chiu, appeared on behalf of the application.

Member Sampson agreed with the staff report and indicated that the lot pattern was consistent with the neighbourhood and that the application would complete a portion of the subdivision.

Member Sampson supported the application and motioned for approval with conditions.

**Moved By: Patrick Sampson**

**Seconded By: Arun Prasad**

The Committee unanimously approved the application.

THAT Application No. **B/020/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**10. A/073/23**

**Owner Name: Florence Low**

**Agent Name: Henry Chiu Architect Ltd (Henry Chiu)**

**187 Helen Avenue, Markham**

**PLAN 2196 PT LOT 11 PL 65R-28173 PT 1**

The applicant was requesting relief from the requirements of By-law 177-96, and 304-87, as amended, to permit:

- a) **Amending By-law 304-87, Section 7.5(a)(i):**  
a minimum lot frontage of 11.435 metres, whereas the By-law requires a minimum lot frontage of 45 metres;
- b) **Amending By-law 304-87, Section 7.5(a)(i):**  
a minimum lot area of 0.038 hectares, whereas the By-law requires a minimum lot area of 0.4 hectares;
- c) **Amending By-law 304-87, Section 7.5(b)(i):**  
a minimum interior side yard setback of 1.2 metres, whereas the By-law requires a minimum setback of 3 metres; and
- d) **Amending By-law 304-87, Section 7.5(b)(i):**  
a minimum front yard setback of 6.368 metres, whereas the By-law requires a minimum front yard setback of 7.5 metres;

as it related to a proposed two storey single detached dwelling on the retained lot (Part 1). This application was related to Consent application B/020/23 which was being reviewed concurrently.

Member Sampson motioned for approval with conditions.

**Moved By: Patrick Sampson**  
**Seconded By: Sally Yan**

The Committee unanimously approved the application.

THAT Application No. **A/073/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

11. **A/074/23**  
**Owner Name: Florence Low**  
**Agent Name: Henry Chiu Architect Ltd (Henry Chiu)**  
**187 Helen Avenue, Markham**  
**PLAN 2196 PT LOT 11 PL 65R-28173 PT 1**

The applicant was requesting relief from the requirements of By-law 177-96, and By-law 304-87, as amended, to permit:

- a) **Amending By-law 304-87, Section 7.5(a)(i):**  
a minimum lot frontage of 11.435 m, whereas the By-law requires a minimum lot frontage of 45 metres;

- b) **Amending By-law 304-87, Section 7.5(a)(i):**  
a minimum lot area of 0.038 hectares, whereas the By-law requires a minimum lot area of 0.4 hectares;
- c) **Amending By-law 304-97 Section 7.5(b)(i):**  
a minimum interior side yard setback of 1.2 metres, whereas the By-law requires a minimum setback of 3 metres; and
- d) **Amending By-law 304-87, Section 7.5(b)(i):**  
a minimum front yard setback of 6.368 metres, whereas the By-law requires a minimum front yard setback of 7.5 metres;

as it related to a proposed two storey single detached dwelling on the severed lot (Part 2). This application was related to Consent application B/020/23 which was being reviewed concurrently.

Member Sampson motioned for approval with conditions.

**Moved By: Patrick Sampson**  
**Seconded By: Tom Gutfreund**

The Committee unanimously approved the application.

THAT Application No. **A/074/23** be **approved** subject to conditions contained in the staff report.

Resolution Carried

**Applications A/075/23 and A/076/23 had been determined by staff to not be required and had been withdrawn by the applicant.**

Adjournment

**Moved by: Tom Gutfreund**  
**Seconded by: Patrick Sampson**

THAT the virtual meeting of the Committee of Adjustment was adjourned at 8:35 pm, and the next regular meeting would be held on August 30<sup>th</sup>, 2023.

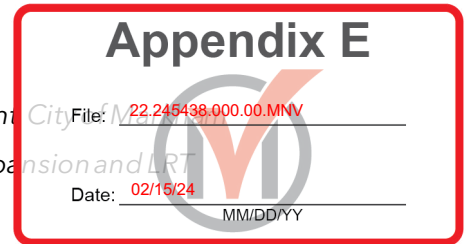


Secretary-Treasurer,  
Committee of Adjustment

CARRIED



Chair



**To:** *Shawna Houser, Secretary-Treasurer, Committee of Adjustment*  
**From:** *Third Party Projects Review - Adjacent Developments - GO Expansion and LRT*  
**Date:** *December 11<sup>th</sup>, 2023*  
**Re:** **A/114/22 - 67 Babcombe Drive, Thornhill**

City File: 22.245438.000.00.MNV  
Date: 02/15/24  
MM/DD/YY

Metrolinx is in receipt of the minor variance application for 67 Babcombe Dr, Thornhill to facilitate the construction of a new two-storey detached dwelling. Metrolinx's comments on the subject application are noted below:

- The subject property is located within 300 meters of Metrolinx's Bala Subdivision which carries Metrolinx's Richmond Hill GO Train service.
- As per section 3.9 of the Federation of Canadian Municipalities and Railway Association of Canada's Guidelines for New Development in Proximity to Railway Operations, the Owner shall grant Metrolinx an environmental easement for operational emissions. The environmental easement provides clear notification to those who may acquire an interest in the subject property and reduces the potential for future land use conflicts. The environmental easement shall be registered on title of the subject property. A copy of the form of easement is included for the Owner's information. The applicant may contact [Farah.Faroque@metrolinx.com](mailto:Farah.Faroque@metrolinx.com) with questions and to initiate the registration process. (It should be noted that the registration process can take up to 6 weeks).

Should you have any questions or concerns, please do not hesitate to contact the undersigned.

Best regards,  
Farah Faroque  
Project Analyst, Third Party Projects Review  
Metrolinx  
10 Bay Street | Toronto | Ontario | M5J 2N8

**Form of Easement**

WHEREAS the Transferor is the owner of those lands legally described in the Properties section of the Transfer Easement to which this Schedule is attached (the “**Easement Lands**”).

IN CONSIDERATION OF the sum of TWO DOLLARS (\$2.00) and such other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the Transferor, the Transferor transfers to the Transferee, and its successors and assigns, a permanent and perpetual non-exclusive easement or right and interest in the nature of a permanent and perpetual non-exclusive easement over, under, along and upon the whole of the Easement Lands and every part thereof for the purposes of discharging, emitting, releasing or venting thereon or otherwise affecting the Easement Lands at any time during the day or night (provided that doing so is not contrary to law applicable to Metrolinx) with noise, vibration and other sounds and emissions of every nature and kind whatsoever, including fumes, odours, dust, smoke, gaseous and particulate matter, electromagnetic interference and stray current but excluding spills, arising from or out of, or in connection with, any and all present and future railway or other transit facilities and operations upon the lands of the Transferee and including, without limitation, all such facilities and operations presently existing and all future renovations, additions, expansions and other changes to such facilities and all future expansions, extensions, increases, enlargement and other changes to such operations.

THIS Easement and all rights and obligations arising from the above easement shall extend to, be binding upon and enure to the benefit of the parties hereto and their respective officers, directors, shareholders, agents, employees, tenants, sub-tenants, customers, licensees and other operators, occupants and invitees and each of its or their respective heirs, executors, legal personal representatives, successors and assigns. The covenants and obligations of a party hereto, if such party comprises more than one person, shall be joint and several.

Easement in gross.